

Application for Approval of Details Reserved by Condition

Town and Country Planning Act 1990 (as amended); Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)

Northing (y)

Description

Access Park (Former Interbrew Site), Eastern Avenue, Gloucester GL4 6SW.

Applicant Details

Name/Company

Title

Mr

First name

Tom

Surname

Maltby

Company Name

Venus Logistics PropCo Ltd

Address

Address line 1

22 Grenville Street

Address line 2

St. 2 Helier

Address line 3

Town/City

Jersey

County

Country

Jersey

Postcode

JE4 8PX

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

***** REDACTED *****

Description of the Proposal

Please provide a description of the approved development as shown on the decision letter

Development of site to create fourteen industrial units having Planning Use Class E(g) (iii), B2 & B8 uses with ancillary offices, plus trade counter uses for Units 9 to 14, carparking, service areas and soft landscaping along with highways works to Chancel Close

Reference number

22/00014/FUL

Date of decision (date must be pre-application submission)

22/09/2022

Please state the condition number(s) to which this application relates

Condition number(s)

Condition 16 - CEMP

Has the development already started?

- Yes
 No

Part Discharge of Conditions

Are you seeking to discharge only part of a condition?

- Yes
 No

Discharge of Conditions

Please provide a full description and/or list of the materials/details that are being submitted for approval

21078-PL1001 Rev00 Site Location Plan (supplementary consented drawing.)
21078-PL1003 Rev07 Proposed Site Plan (supplementary consented drawing.)
C530_Construction Environmental Management Plan (CEMP).

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Declaration

I / We hereby apply for Approval of details reserved by a condition (discharge) as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Roland Lee

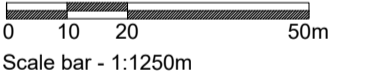
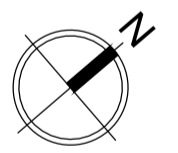
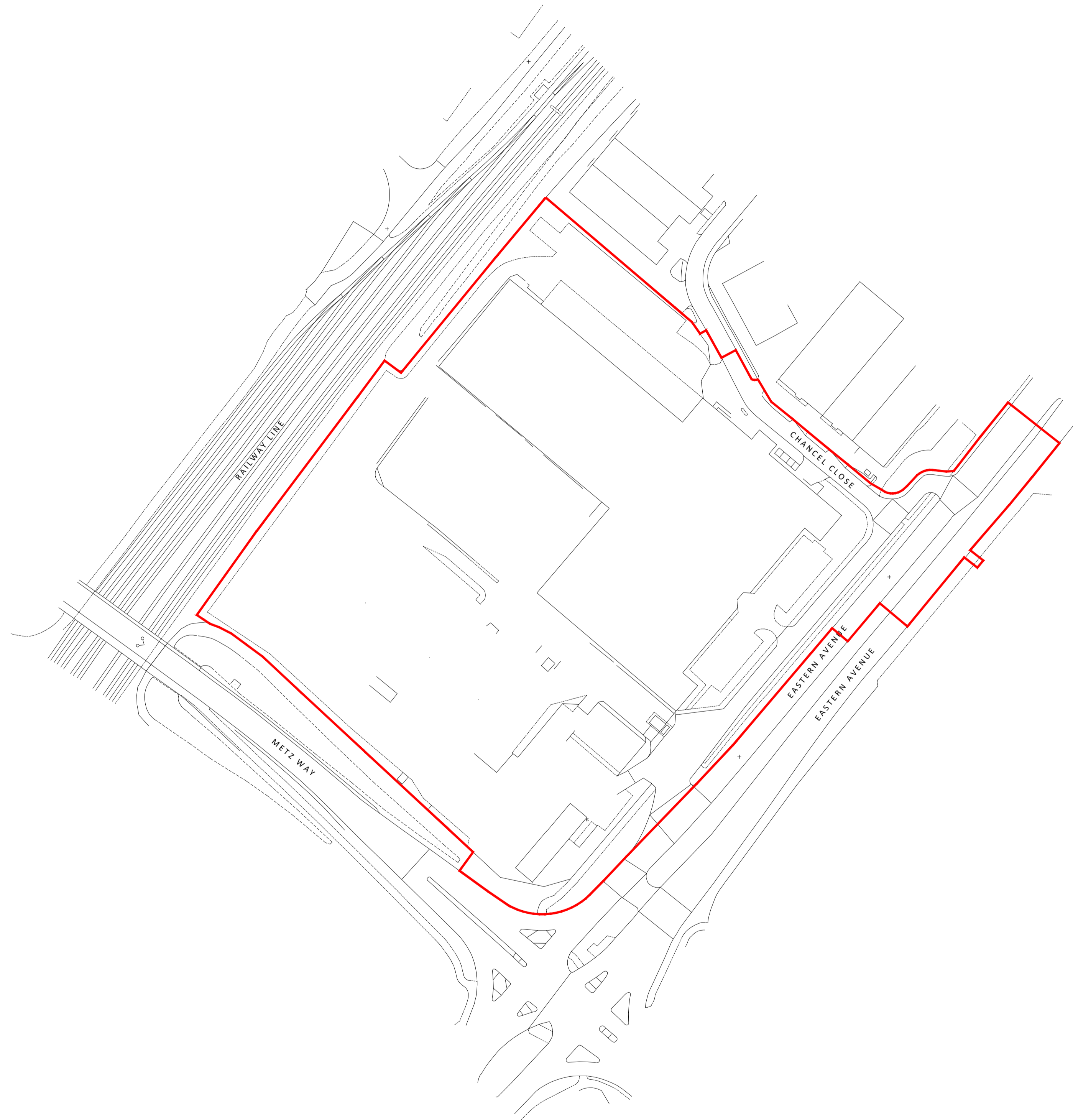
Date

08/11/2022

Disclaimer:
Information Subject to Measured Survey

Notes:

KEY
PLANNING APPLICATION SITE BOUNDARY
(Approx 53,142 m² / 13.13 acres)



00 Planning Issue 30.11.21 HT HA

DR DR Issue 17.11.21 HT HA

Rev: Notes: Date: Dwn: Iss:

Suitability Code:

Client:



hale

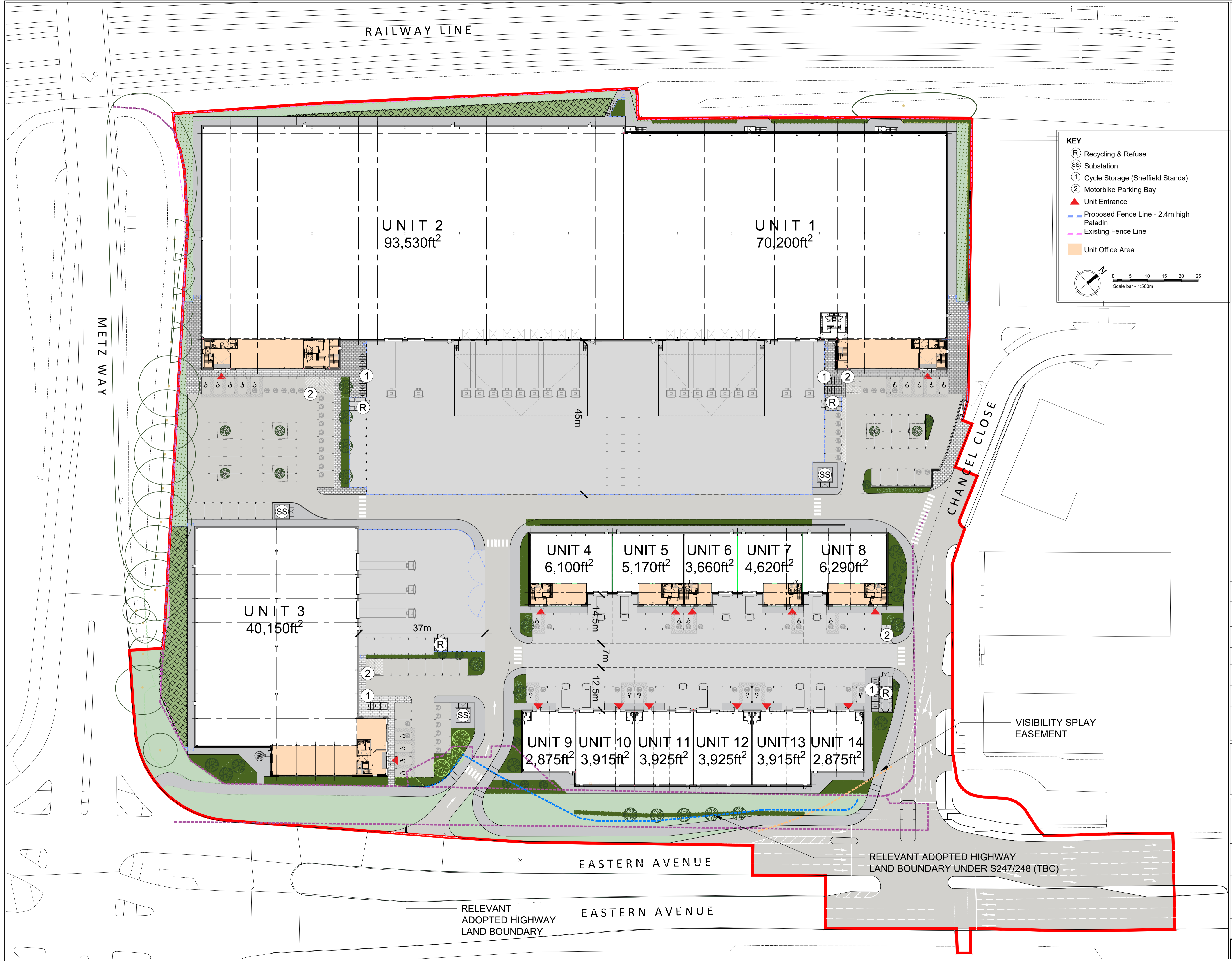
ARCHITECTURE
22c Leathermarket Street, London, SE1 3HP

Project:
Access Park, Gloucester

Drawing Title:
Site Location Plan

Project No: 21078 Scale @ A1 / A3 1:1250 / 1:2500 Revision: 00

Drawing No:
21078-PL1001



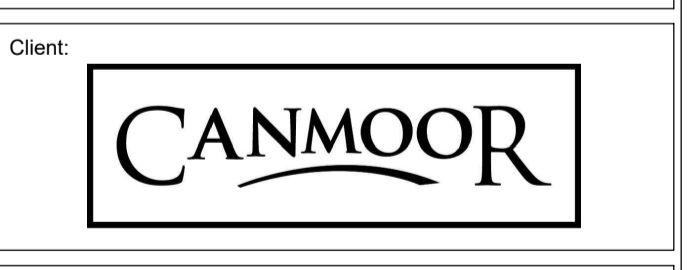
Disclaimer:
Information Subject to Measured Survey

- Notes:
- KEY**
- PLANNING APPLICATION SITE BOUNDARY (Approx 53,142 m² / 13.13 acres)
 - RELEVANT ADOPTED HIGHWAY LAND AND BOUNDARY (WITHIN OWNERSHIP)
 - VISIBILITY SPLAY EASEMENT
 - RELEVANT BOUNDARY UNDER S247/248 (TBC)

AREA SCHEDULE (GIA)

UNIT (GIA)	Area
UNIT 1 (GIA)	70,200 ft ²
Warehouse (incl. office Undercroft)	64,600 ft ²
Office (FF Only)	2,700 ft ²
Office (SF Only)	2,900 ft ²
Car parking spaces	44
UNIT 2 (GIA)	93,530 ft ²
Warehouse (incl. office Undercroft)	86,450 ft ²
Office (FF Only)	3,430 ft ²
Office (SF Only)	3,650 ft ²
Car parking spaces	77
UNIT 3 (GIA)	40,150 ft ²
Warehouse (incl. office Undercroft)	36,375 ft ²
Office (FF Only)	3,775 ft ²
Car parking spaces	31
UNIT 4 (GIA)	6,100 ft ²
Warehouse (incl. office Undercroft)	5,050 ft ²
Office (FF Only)	1,050 ft ²
Car parking spaces	6
UNIT 5 (GIA)	5,170 ft ²
Warehouse (incl. office Undercroft)	4,330 ft ²
Office (FF Only)	840 ft ²
Car parking spaces	5
UNIT 6 (GIA)	3,660 ft ²
Warehouse (incl. office Undercroft)	3,160 ft ²
Office (FF Only)	500 ft ²
Car parking spaces	3
UNIT 7 (GIA)	4,620 ft ²
Warehouse (incl. office Undercroft)	3,900 ft ²
Office (FF Only)	720 ft ²
Car parking spaces	4
UNIT 8 (GIA)	6,290 ft ²
Warehouse (incl. office Undercroft)	5,195 ft ²
Office (FF Only)	1,095 ft ²
Car parking spaces	6
UNIT 9 (GIA)	2,875 ft ²
Warehouse (incl. office Undercroft)	2,875 ft ²
Car parking spaces	3
UNIT 10 (GIA)	3,915 ft ²
Warehouse (incl. office Undercroft)	3,915 ft ²
Car parking spaces	3
UNIT 11 (GIA)	3,925 ft ²
Warehouse (incl. office Undercroft)	3,925 ft ²
Car parking spaces	3
UNIT 12 (GIA)	3,925 ft ²
Warehouse (incl. office Undercroft)	3,925 ft ²
Car parking spaces	3
UNIT 13 (GIA)	3,915 ft ²
Warehouse (incl. office Undercroft)	3,915 ft ²
Car parking spaces	3
UNIT 14 (GIA)	2,875 ft ²
Warehouse (incl. office Undercroft)	2,875 ft ²
Car parking spaces	3
TOTAL GIA	251,150 ft²
Total Car Parking	194

07	Number of bicycle spaces rationalized 04.05.22	PS	HA
in line with LPA & BREEM requirements & Landscaping updated			
06	Increase to landscaping	03.05.22	HT HA
05	Site layout adjusted to amended levels.	28.03.22	PS MM
04	Amendments to unit cores	12.12.21	HT HA
03	Update U9 to 14	30.11.21	HT HA
02	Unit GA, U1&2 move for trees, U4to8 pavement, Unit 3 pavement	23.11.21	HT HA
01	Update to Unit 2	15.11.21	HT HA
00	Site access updated	15.11.21	HT HA
DR	DR Issue	04.11.21	HT HA
Rev:	Notes:	Date:	Dwn: Iss:



hale
ARCHITECTURE
22c Leathermarket Street, London, SE1 3HP

Project:
Access Park, Gloucester

Drawing Title:
Proposed Site Plan

Project No: 21078	Scale @ A1/A3 1:500 / 1:1000	Revision: 07
Drawing No: 21078-PL1003		

ACCESS PARK, GLOUCESTER

CONSTRUCTION ENVIRONMENT MANAGEMENT PLAN

Review record:

Revision No.	Initials	Date:	Comments:
Rev. 0	GW	31.10.22	Issue for Comment

CONSTRUCTION ENVIRONMENT MANAGEMENT PLAN

CONTENTS

1.0 Introduction

2.0 Operational requirements

- 2.1 General issues
- 2.2 Responsibilities
- 2.3 Waste management
- 2.4 Site management
- 2.5 Working hours
- 2.6 Site setup

3.0 Environmental Controls

- 3.1 Noise
- 3.2 Vibration
- 3.3 Air quality
- 3.4 Water pollution
- 3.5 Other environmental issues

4.0 Construction Programme

- 4.1 Summary
- 4.2 Works generating noise and dust

Appendices

Appendix 1 – Site plan

1.0 INTRODUCTION

This Construction Environment Management Plan (CEMP) is submitted pursuant to Planning Condition No. 16 for the new Access Park, Gloucester Development.

Specific attention has been given to ensuring that the environmental impact of construction operations and surrounding land uses is managed and minimised at all times. This document identifies how these controls will be delivered and enforced.

This document will be in place for the duration of the construction project. Its requirements, in addition to all other environmental and health and safety legislation will be observed during construction operations.

The site is located at the junction of Eastern Avenue / Metz Way and access is possible from both existing entrances retained from the previous development. The Principal Contractor's work area is to be strictly limited to the site area indicated on the drawings provided as part of the tender documentation and will be physically separated from all public areas.

It should be noted that commercial buildings in the surrounding area will remain in occupation for the duration of the works and will be considered by the Principal Contractor when planning the works

The works comprise the design and construction of 14 new industrial units, associated service yard and car parking, with a duration of 63 weeks.

The Principal Contractor shall comply with the Local Environmental Health Department in respect of working hours specifically in relation to noise with respect to adjacent premises.

The Principal Contractor shall ensure that the production of airborne particles of fumes and dust is minimal, and does not interfere with the comfort, health and safety of the residents and occupiers adjacent.

The Marbank Site Manager will make arrangements such that the arrival of subcontractors, delivery of goods and materials and the removal of waste and the like is carried out at times that will not coincide busy traffic flows. The road traffic conditions at these times will be prohibitive, and the safety of road traffic and pedestrians will be compromised if construction site traffic is permitted to mix with other traffic

2.0 OPERATION REQUIREMENTS

2.1 General Issues

The site boundaries are as defined on the plan included in Appendix 1.

Any existing fencing/hoarding and temporary heras fencing will be maintained as a secure site boundary and will display Marbank's name with readily visible 24 hour contact numbers. Marbank Construction will ensure that suitable protection is in place to protect pedestrians, operatives and vehicles during these works. A dedicated Traffic Management Plan will be developed and will be part of the Construction Phase Plan.

Access to the site will be made via the existing entrance on Eastern Avenue, with construction traffic and delivery vehicles exiting the site via Eastern Avenue. Vehicles will be pulled into a holding area on site arranged with Heras fencing, preventing any construction traffic from waiting on the public highway. Pedestrians will access the site via a dedicated pedestrian entrance on Eastern Avenue, utilising the segregated walkway to the site welfare.

2.2 Responsibilities

All works being undertaken on site will be managed and co-ordinated by Marbank Construction Limited, who will have a full time Site Manager and supporting site staff who will liaise with our client, resident staff/operatives, site personnel, local authorities, residents and other statutory bodies, as required.

The Marbank management team for this project, and their contact details are included in the below table;



Jamie Murray, Construction Director, has overall responsibility within Marbank Construction to ensure all the correct processes and procedures are in place and implemented on site as well as ensuring these are cascaded to our supply chain. Jamie is also responsible of ensuring all our staff are trained to the correct level and are all competent in their specific roles.

Matt Constable, the Contracts Manager, is responsible for ensuring the site is established correctly and remains compliant with health, safety and environmental requirements. Matt will also support our site team in ensuring all safe working practices are enforced and that all RAMS are in place and signed off prior to any trades commencing on site.

The Site Manager, will be responsible for the implementation of health, safety and environmental procedures on site ensure all operatives and visitors are inducted and that all RAMS are followed by the contractors. The Site Manager will also be responsible to ensure the site is set up and maintained in a safe manor as well and continued communication on safety via tool box talks and site briefings, and will also be a trained first aider.

2.3 Waste Management

It will be the responsibility of Marbank Construction Limited to appoint licensed waste carriers to dispose of any waste which arises during the construction works. All waste transference notes/receipts for spoil removed from site will be retained and issued on project completion. Disposal to landfill will be avoided wherever possible, utilising the waste hierarchy to inform decision making and material selection;

1. Prevention
2. Re-use
3. Recycling
4. Recovery
5. Disposal

Waste disposal points will be positioned within the site boundary, at the designated storage area and where required at close proximity to working areas to reduce the requirement for vehicular movements and manual handling.

2.4 Site Management

An experienced site manager will manage this project and will be directly responsible to Marbank Senior Management.

The works will be carried out in such a way as to minimize inconvenience to the public, and other adjacent occupiers. The works will also take into account of current Legislation, Police, Fire Authority, Aerodrome restrictions, HSE and local authority guidance and other restrictions, procedures and controls (i.e. planning conditions/legal obligations/ecological constraints). The emphasis will be on the management of potential construction impacts.

The site manager will: -

- Liaise with all the contractors' senior management and employers representatives on all aspects of the construction works.
- Enforce the site protocols and procedures that need to be considered for the implementations of this document.
- Represent Marbank Construction Limited on construction matters with all Statutory Authorities, Highway Authority and Aerodrome.
- Co-ordinate and manage site cleaning if / as necessary.
- Co-ordinate site security.
- Co-ordinate the complaints handling procedures.
- Implement the site construction management scheme.
- Liaise with neighbours and contractors of adjacent developments.

All contractors will be required to wear personal protective equipment in accordance with all current health and safety legislation and to conform to Marbank Construction Limited health and safety plan and Site Induction Requirements. The minimum requirement is three points – hard-hat, safety boots and hi-visibility vest. Any additional PPE will be required as defined within a task specific risk assessment.

The site will be secured on all boundaries with Heras fencing which will remain in place throughout the construction period. This fencing will be double clipped, secured with rakers and will be used to segregate the site from the general public and to segregate vehicle movements from work areas and pedestrians on site. The fencing will be formally inspected on a weekly basis by the Site Manager, but will be subject to ongoing maintenance as required throughout the duration of the project. Public viewing of the site will be possible through the Heras fencing and as such no viewing panels shall be required.

Marbank Construction Limited will install signage for the site to cover the following: -

- Construction traffic arriving at the site
- Pedestrians arriving at the site
- Contact address and telephone numbers
- Signage to meet health and safety requirements

Roads around the site are busy and narrow, with parking restrictions.

Signage will be displayed on either side of the carriageway of a Construction Site entrance. Entrance & exits will be signposted and a sufficient amount of space to bring in vehicles from the road before entering site will be available.

Vehicles will be directed to park within the allocated Marbank Car Parking area and subsequently pedestrian footpaths complete with red crossing hoops will be installed.

Signage will be installed at the main gate to the parking area which will be a PPE free zone and the construction zone will have a further HERAS fence in place.

Site Manager is to ensure that busy times are avoided for deliveries.

A vehicle holding point will be established on exit, where a banksman will confirm that the road is clear prior to authorising a vehicle to leave site via Eastern Avenue. The banksman will have responsibility for safe vehicle movements across the site, under the direction of the Site Manager.

It will be Marbank Construction Limited's responsibility to ensure the above is adhered to, that clear signage is in place to direct deliveries to the correct access and to arrange delivery times to avoid local congestion. Uninterrupted access for emergency vehicles will be maintained at all times.

Parking will be made available on site with a dedicated parking area close to the site welfare. It will be approximately 230m² in size and be capable of parking at least 20 cars / vans at one time. This shall be extended if required to ensure adequate parking is available on site at all times. Contractors shall not park on Eastern Avenue or any of the surrounding roads. Marbank site management will actively police this policy.

Deliveries will be made via Eastern Avenue and controlled as described above. A set-down area will be provided for unloading of materials. A forklift will be available on site for the unloading of materials to the storage area, which will include containers. Offloading will also take place via moffets and HIAB's provided with delivery vehicles.

All materials will be neatly stored on the site (dry store where appropriate). Where there are bulk materials which are stored externally, they will be suitably protected until incorporated within the works. Bulk materials will be off loaded with the mechanical plant if possible to minimise manual handling and standing time for delivery vehicles.

Any debris deposited on the highway will be cleared by the use of a road brush. In addition, wheel washing facilities will be provided in the form of a jet wash at the vehicle holding point. Any loads leaving site likely to produce dust will be covered. Regular road-sweeping will be undertaken in addition to brushing and jet washing to ensure the road remains in clean condition, particularly during adverse weather where the soil conditions on site will likely deteriorate.

The current estimate of delivery vehicles is approximately 15 vehicles per day, however there may be occasions where this is exceeded, but often occasions where there are fewer deliveries than this. Generally deliveries will be made via articulated lorries, fixed-axle trucks, flat-bed trucks and vans and will be agreed with the Site Manager 48 hours in advance of arriving on site.

Crane positions will be confined within the site boundary. Mobile cranes only will be used for the erection of the steel frame and hoisting of roofing material. No other cranes are anticipated to be require, any other lifting being carried out by suitably sized excavator or forklift truck.

Not only will Marbank Construction staff and subcontractors follow the construction site rules but will also comply with emergency procedures that are controlled by the client or client's agents as and where necessary. This includes, but not limited to, evacuation procedures in the case of fire or any other immediate emergency.

2.5 Working Hours

The working hours will be;

The site working hours will be restricted to 08:00 – 18:00 Monday to Friday and 08:00 – 13:00 on Saturdays.

Work outside these hours may only be undertaken with the express permission of the Contract Administrator and the Client. The Principal Contractor should contact the Authority prior to the commencement of the works to agree specific local restrictions for noisy and dusty work operations.

In general Marbank Construction Limited will confine construction activity to within these hours. However, there may be occasions when work beyond these hours will be required. In such cases of special or unusual activities due to take place beyond these hours, relevant neighbours will be notified and appropriate agreements sought.

Floodlighting may be necessary during the winter months, the exact requirement will be defined by a risk assessment undertaken by the Site Manager. Floodlights will be of a mast type with twin heads, adjustable height to a maximum of 6m mounted on a telescopic tripod. They will be equipped with twin 500w halogen bulbs. The use of floodlights will be minimised as much as possible, and the local residents informed of their planned usage. Floodlights shall be directed away from any trees and the Railway Boundary. Any artificial lighting will be selected, positioned and operated in accordance with best practice to minimise disturbance to bats so far as possible.

The point of contact for residents will be confirmed upon the appointment of the Site Manager. The escalation contact will be Matt Constable and Jamie Murray who will proactively engage with the local residents to maintain a strong relationship which is key to the success of this project.

Marbank Construction Limited will initially carry out a letter drop to the locals and the local businesses. This letter will set out the key points of contact on site, details of upcoming works and traffic management arrangements. Occasional updates will be given in newsletter format well as regular face-to-face "check-in's" by the site team. The site will also be made available for open days for interested parties to review the progress of the works and ask questions.

2.6 Site setup

The site setup will consist of 1x 32ft site office, 1x 20ft drying room & 1x 20ft canteen (stacked), 1x 10ft generator and 1x 10ft store. The setup will be shipping container style and the double stacked units will have a maximum height of 5.20m. The height of all fencing, including that used to secure the site will be a maximum of 2.40m.

2.7 Cranage

Cranes will be use for the erection of the steel frame(s) and loading out of the roof cladding. The tallest crane used on the project will have a total height of approximately

30m which shall be used for one day per building, with the steel frame erected using a 12m stick crane for approximately 5 weeks.

3.0 ENVIRONMENTAL CONTROLS

3.1 Noise

Noise levels will be controlled as reasonably as possible to ensure that the development occurs in way that is not detrimental to the amenities of neighbouring properties. Should there be any noise risk then the “best practice recommendations of noise control” as outlined in BS5228-1: 2009 will be followed.

3.2 Vibration

It is considered that vibration impacts will be minimal during the construction of the development. In the event that a complaint is received regarding vibration during the works and is established then remedial measures will be proposed, agreed and implemented.

3.3 Air Quality

Construction works will be carried out in such a way as to limit the emissions of air pollution by employing the best practical means. Any necessary stockpiling will be minimised during the groundworks phase. Should there be any risk of dust generation from stockpiles these will be covered and/or damped down.

Cutting of materials will be carried out in a controlled measure, adopting best practice principles (e.g. the use of extracted cutting enclosures, self-extracting tools and damping down). The specific method for each task will be described in the method statement and approved by the Site Manager in advance of the work being carried out.

All as outlined in the IAQM (Institute of Air Quality Management) “Guidance on the Assessment of the impacts of Construction on Air Quality and the Determination of their Significance”

Open fires are prohibited on Marbank Construction sites and any risk of potential smoke from machinery, vehicles or combustion will be dealt with using the “GLA Best Practice Guidance : The Control of Dust and Omissions from Construction and Demolition”.

3.4 Water Pollution

Mitigation measures will be introduced against pollution of local watercourses and drainage networks. All plant will be equipped with spill kits and operators trained in the appropriate form of spill response in the event of a spill. Spill kits will be inspected on a weekly basis by the Marbank Site Manager. Drain covers are deemed not required, as there is no works being undertaken close to the existing road gullies. None of the on-site foul or surface water drainage is connected to the main network, and the new site drainage will be jetted prior to this connection to ensure no sediment/construction waste is passed through the existing network. All fuel and chemical storage will be bunded, and stored in isolation in lockable cages where appropriate.

3.5 Other Environmental Issues

Marbank Construction Limited will be responsible for ensuring that all subcontractors adopt effective control measures to prevent contamination of the ground through activities.

All debris arising from the construction will be placed into skips. To encourage recycling there will be different skips for different waste, i.e. wood, metal, plasterboard etc. as appropriate.

It will be prohibited to allow waste to be stored for any extended length of time to prevent the attraction of birds and wildlife.

Site operatives will be encouraged to use public transport or vehicle share where possible to avoid extra traffic demand/parking requirements in the area.

Fuel stored on site for plant will be placed in bunded bowsers.

4.0 CONSTRUCTION PROGRAMME

4.1 Summary

The construction programme is 63 weeks in duration, commencing from 14/11/22 – 29/01/24.

The programme will follow a basic construction sequence;

- Site establishment, including access roads and welfare
- Breaking up existing slabs and foundations.
- Earthworks to set site levels and ground improvement.
- Earthworks in connection with and installation of site drainage
- In-situ concrete pad foundations and slab sub-base
- Erection of steel frame(s)
- Cladding
- Glazing and external doors
- Formation of site access roads, concrete yards, car parking, footpaths and cycle ways
- Installation of statutory services – water, gas and electric
- External finishes
- Site wide landscaping
- Handover to client
- Site demobilisation

4.2 Works generating noise and dust

The below table sets out works that are considered to have the potential to be noisy and/or generate dust. Where applicable, the control measures described elsewhere in this document will be used to mitigate the effects to the surroundings areas and neighbours, as well as the principle of pro-active engagement.

Activity	Noise	Dust
Site vehicle movements / deliveries	✓	
Earthworks and associated vehicle movements	✓	
Cutting and grinding of drainage and reinforcement materials	✓	✓
Importing and compacting aggregates	✓	✓
Steel frame erection	✓	
Cladding to external envelope	✓	
Pouring / pumping of in-situ concrete	✓	✓
Power-floating to internal floor slabs	✓	✓
Cutting and grinding of external finishes (e.g. kerbs)	✓	✓

APPENDICES

APPENDIX 1:

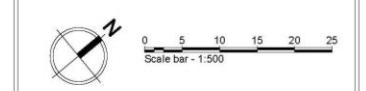
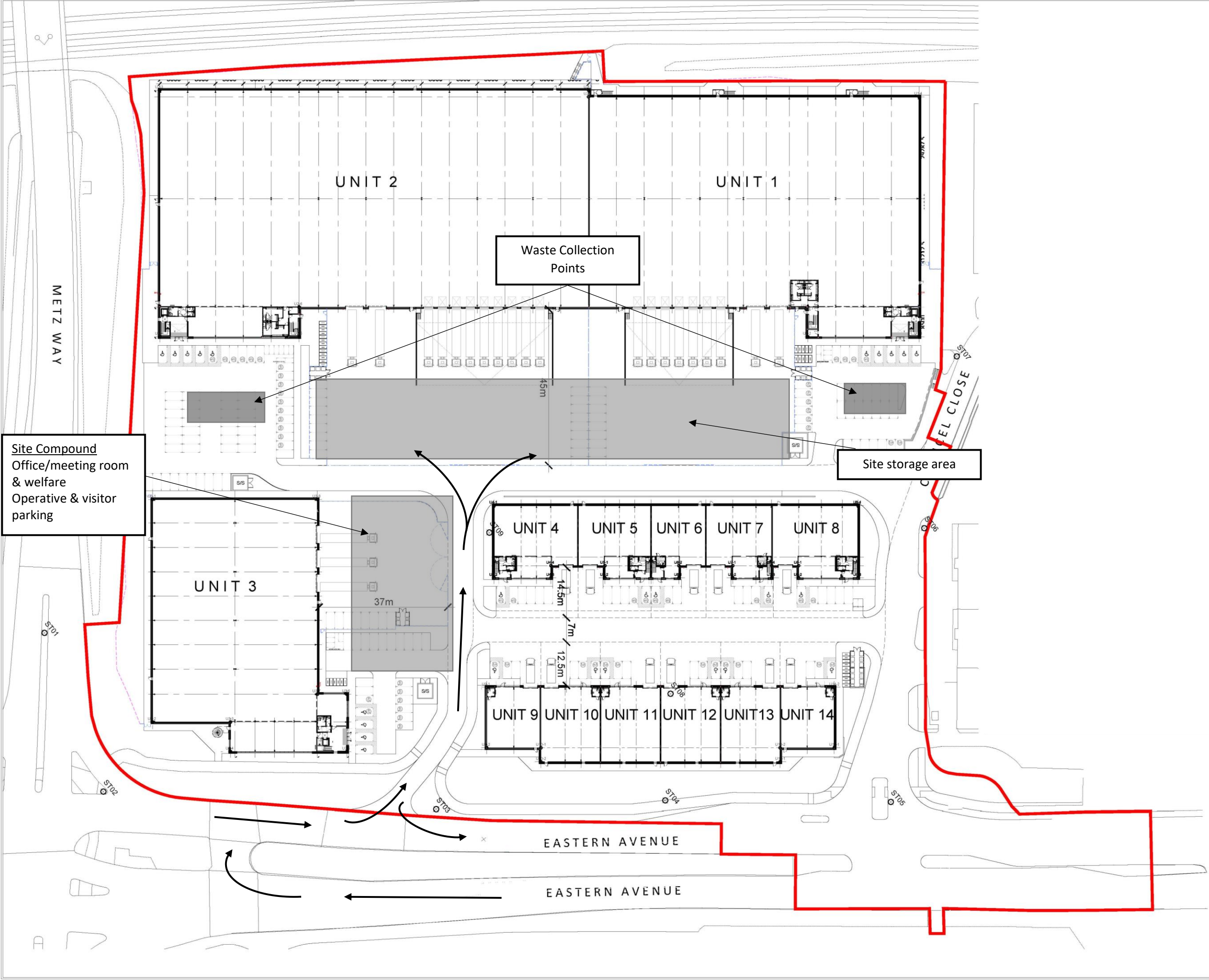
Site Plan

Disclaimer:
DO NOT SCALE FROM THIS DRAWING
ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED AND
SUBJECT TO CONFIRMATION BY SITE MEASUREMENTS
DRAWING TO BE PRINTED IN COLOUR

Notes:
The topographical information shown is based on the
topographical survey by Eliam Surveys, Dwg no.
8362_2D/1, dated Nov21

AREA SCHEDULE (REQUIRED):
— PLANNING APPLICATION SITE BOUNDARY
 (Approx 53,142 m² / 13.13 acres)

N.B. Site boundaries
secured with existing
fencing,
supplemented with
temporary heras type
fencing where
required.



00	First Issue	21.07.22	JC	HA
Rev:	Notes:	Date:	Dim:	Iss:
Suitability Code:				

SKETCH

Client:

hale
 ARCHITECTURE
 22c Leathermarket Street, London, SE1 3HP

Project:
 Access Park, Gloucester

Drawing Title:
 Site Plan - As Proposed
 Unit Setting Out

Project No: 21078	Scale @ A1 / A3 1:500 / 1:1000	Revision: 00
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Drawing No:
 21078-HALE-XX-00-DR-A-SK200