

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Surname

Brookes and Fowke

Company Name

Address

Address line 1

land adjacent to 10 Sudgrove Park

Address line 2

Address line 3

Town/City

Gloucester

Country

Postcode

GL4 4XS

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes
 No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Mixture of facing brick & render

Proposed materials and finishes:

Mixture of facing brick & render to match existing

Type:

Roof

Existing materials and finishes:

Concrete interlocking tiles

Proposed materials and finishes:

Concrete interlocking tiles to match existing

Type:

Windows

Existing materials and finishes:

White PVCU

Proposed materials and finishes:

White PVCU

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

1596-01A Site Location & Block Plans
1596-02A Existing Site plan & Elevations
1596-03 Proposed Plan

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Please provide information on the existing and proposed number of on-site parking spaces

Vehicle Type:

Cars

Existing number of spaces:

4

Total proposed (including spaces retained):

4

Difference in spaces:

0

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

Connection will be made into adjacent house private drainage, exact point of connection is yet to be determined. Permission to connect will be sought from Severn Trent via an indirect connection.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

Sufficient space in front of the property for refuse & recycling facilities, as per al the other houses in the cul de sac.

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

If Yes, please provide details:

Sufficient space in front of the property for refuse & recycling facilities, as per al the other houses in the cul de sac.

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
 No

Please note: This question is based on the current housing categories and types specified by government.

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
 Social, Affordable or Intermediate Rent
 Affordable Home Ownership
 Starter Homes
 Self-build and Custom Build

Market Housing

Please specify each type of housing and number of units proposed

Housing Type: Houses
1 Bedroom: 0
2 Bedroom: 1
3 Bedroom: 0
4+ Bedroom: 0
Unknown Bedroom: 0
Total: 1

Proposed Market Housing Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown Bedroom Total	Bedroom Total
	<input type="text" value="0"/>	<input type="text" value="1"/>	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="0"/>	<input type="text" value="1"/>

Existing

Please select the housing categories for any existing units on the site

- Market Housing
 Social, Affordable or Intermediate Rent
 Affordable Home Ownership
 Starter Homes
 Self-build and Custom Build

Totals

Total proposed residential units

1

Total existing residential units

0

Total net gain or loss of residential units

1

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes

No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

Yes

No

Is the proposal for a waste management development?

Yes

No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

Paul

Surname

Wood

Declaration Date

31/03/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Paul Wood

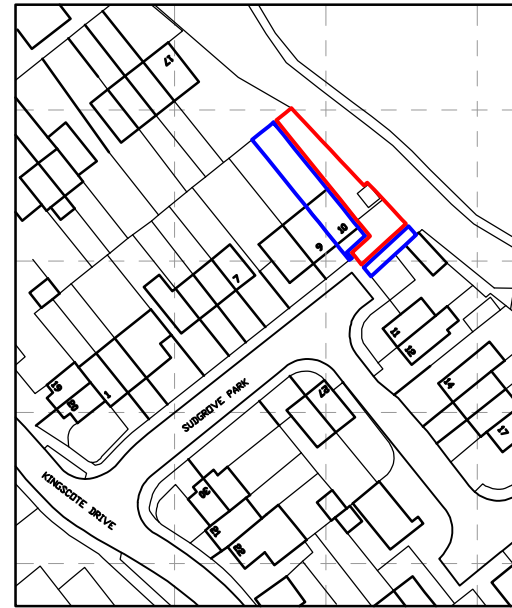
Date

01/04/2022

Note: Do not scale this drawing.
All discrepancies are to be reported
back to PLANET.

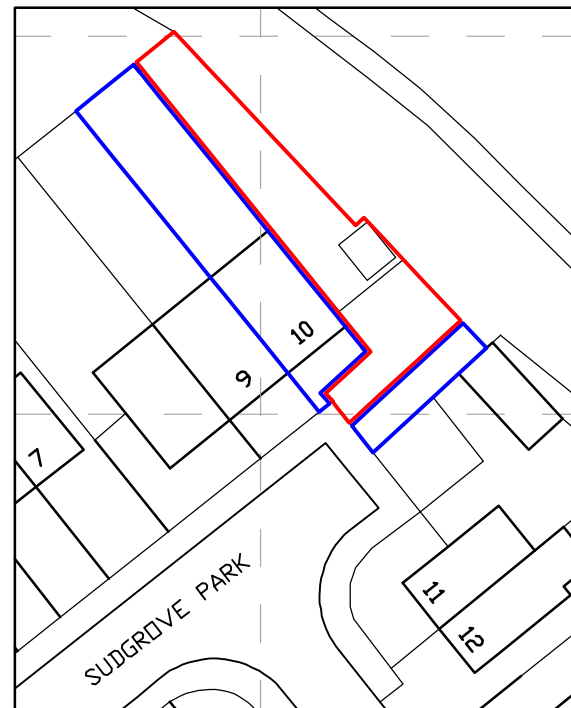
	DATE	REVISION
A	28/03/22	PROP. BLOCK PLAN UPDATED
B	01/04/22	PROP. BLOCK PLAN UPDATED
C		

Scale bar	
0.4m	@ 1:20
1.0m	@ 1:50
2.0m	@ 1:100
4.0m	@ 1:200
10.0m	@ 1:500
25.0m	@ 1:1250

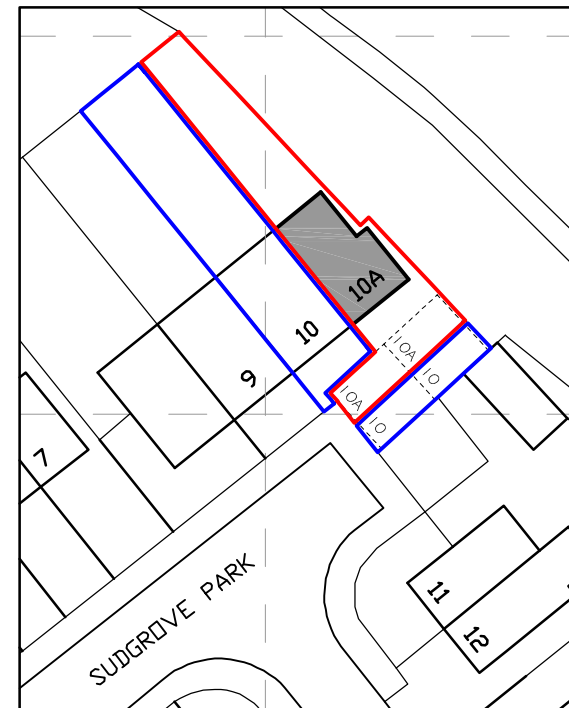


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SITE LOCATION PLAN
Scale 1:1250 @ A3



EXISTING BLOCK PLAN
Scale 1:500 @ A3



PROPOSED BLOCK PLAN
Scale 1:500 @ A3



PLANET
property development Ltd

CLIENT:
MR. D. BROOKES & MR. G. FOWKE

JOB TITLE:
10, SUDGROVE PARK,
ABBEYMEAD,
GLOUCESTER,
GL4 4XS.

DRAWING TITLE:
SITE LOCATION PLAN
EXISTING & PROPOSED BLOCK PLANS

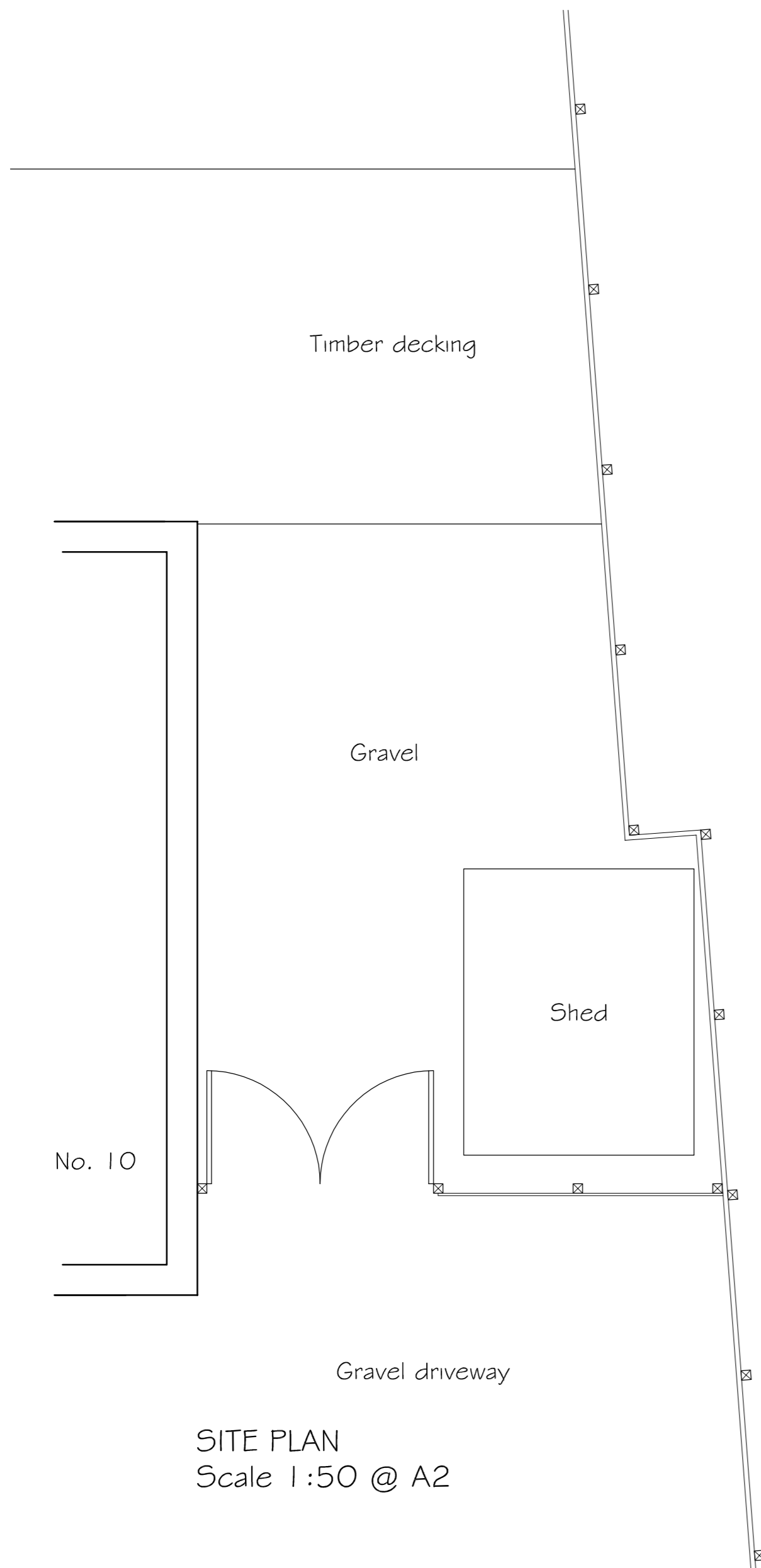
SCALE: A5 NOTED @ A3

DATE: FEB. 2022 DRAWN BY: MCH

DRAWING NO: 1596/01 REVISION: B

Note: Do not scale this drawing.
All discrepancies are to reported
back to PLANET.

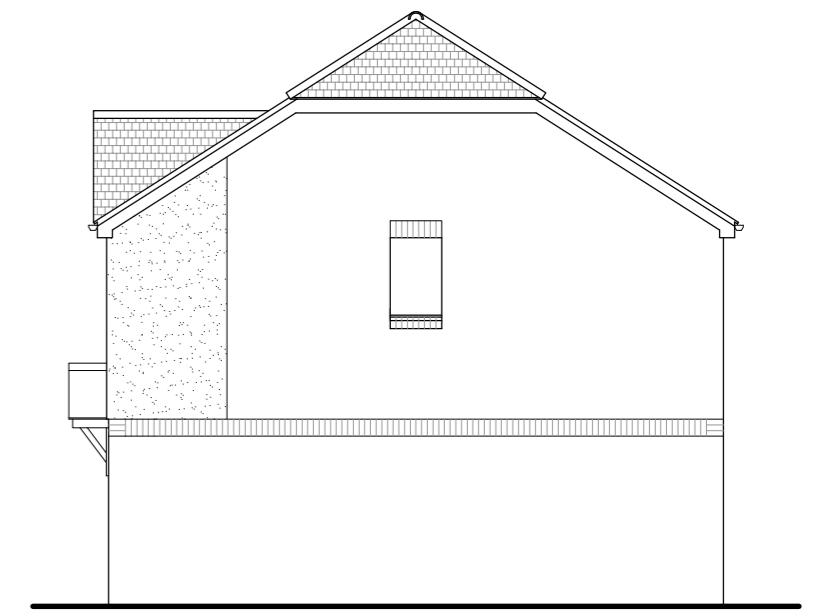
	DATE	REVISION
A	28/03/22	A2. ELEVS ADDED.
B		
C		



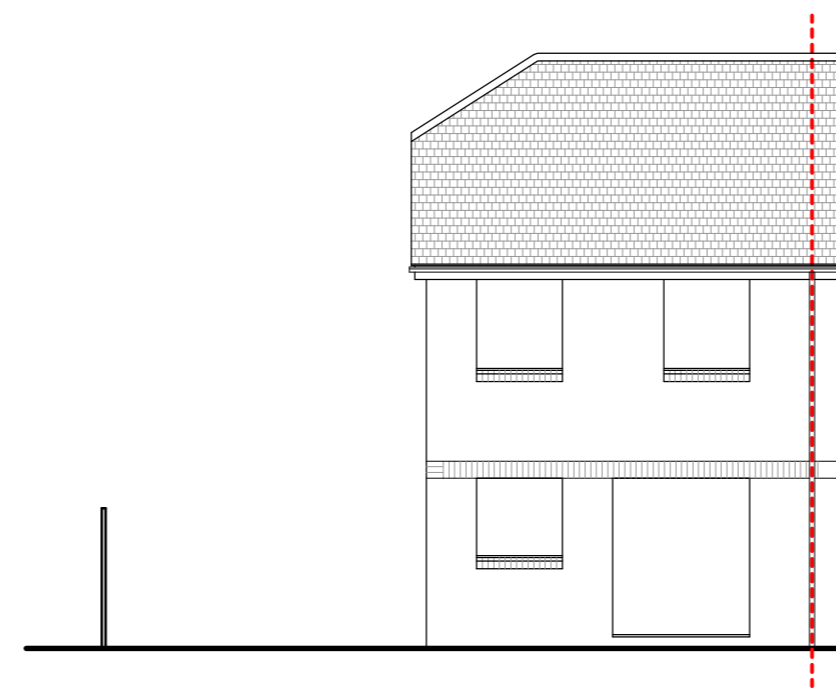
SITE PLAN
Scale 1:50 @ A2



FRONT (SOUTH-EAST)
ELEVATION
Scale 1:100 @ A2



SIDE (NORTH-EAST) ELEVATION
Scale 1:100 @ A2



REAR (NORTH-WEST)
ELEVATION
Scale 1:100 @ A2

Scale bar
0.4m @ 1:20
1.0m @ 1:50
2.0m @ 1:100
4.0m @ 1:200
10.0m @ 1:500
25.0m @ 1:1250

PLANET
property development ltd

CLIENT:
MR. D. BROOKES & MR. G. FOWKE

JOB TITLE:
10, SUDGROVE PARK,
ABBEYMEAD,
GLOUCESTER,
GL4 4XS.

DRAWING TITLE:
PROPOSED ATTACHED HOUSE
EXISTING SITE PLAN & ELEVATIONS

SCALE: AS NOTED @ A2

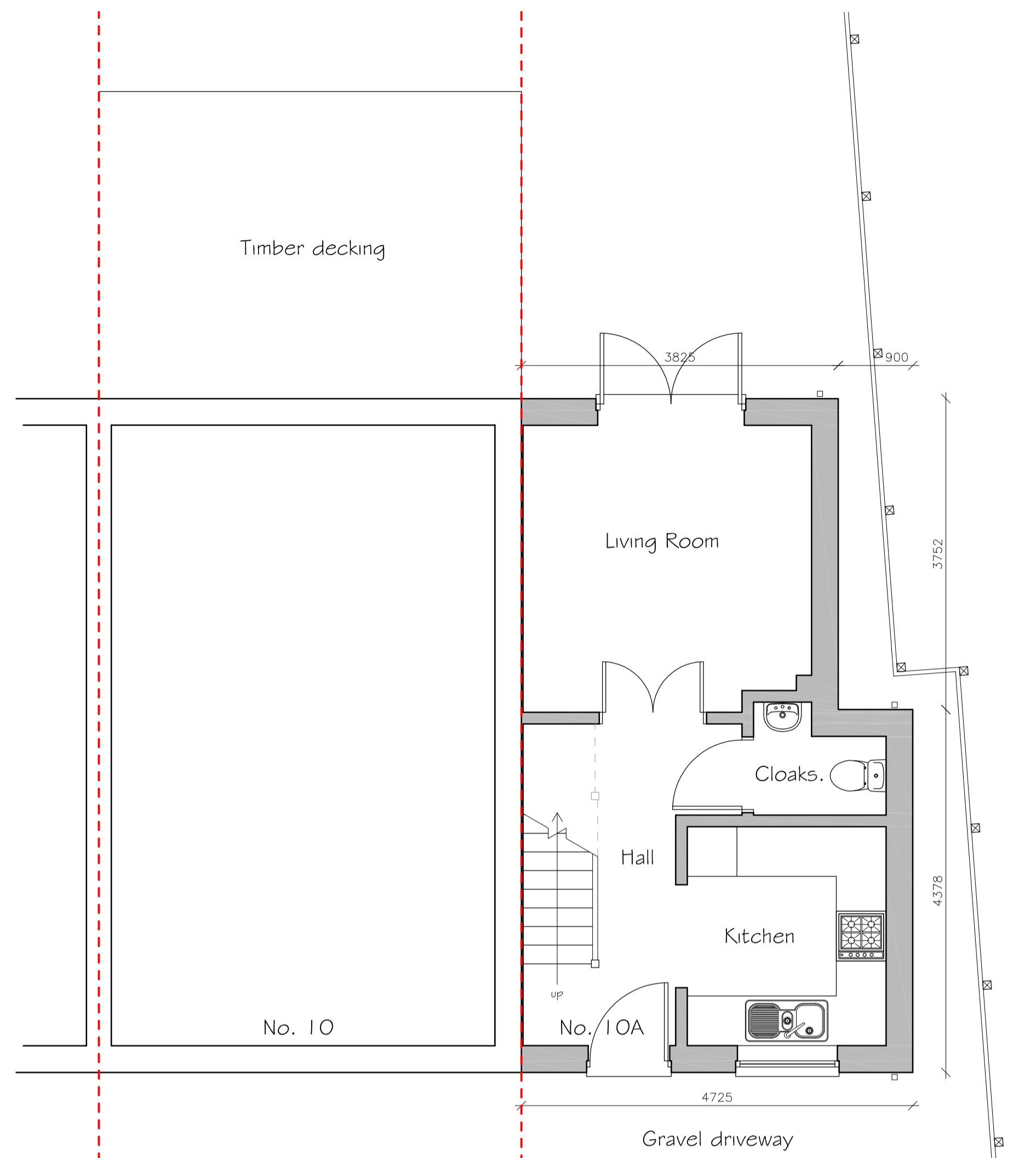
DATE: FEB. 2022 DRAWN BY: PW / MCH

DRAWING NO: 1596/02 REVISION: A

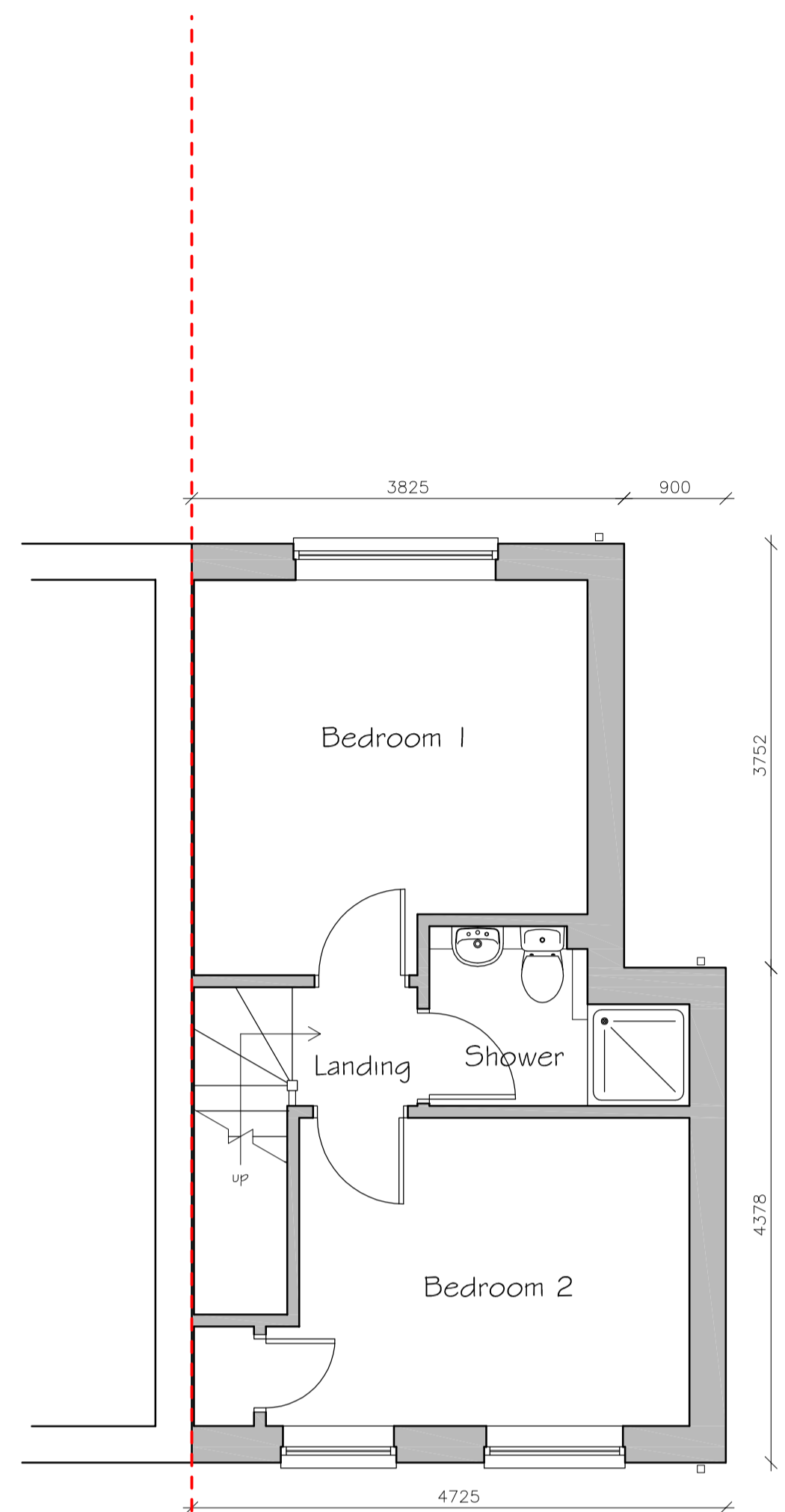
Note: Do not scale this drawing.
All discrepancies are to be reported
back to PLANET.

	DATE	REVISION
A	01/04/22	PARKING ADDED
B		
C		

Scale bar	
0.4m	@ 1:20
1.0m	@ 1:50
2.0m	@ 1:100
4.0m	@ 1:200
10.0m	@ 1:500
25.0m	@ 1:1250



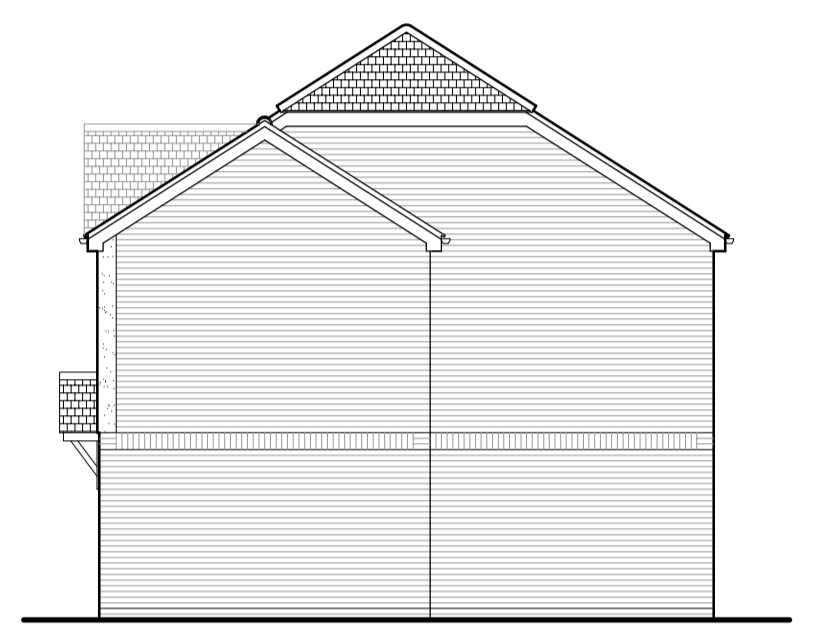
PROPOSED GROUND FLOOR LAYOUT
Scale 1:50 @ A1



PROPOSED FIRST FLOOR LAYOUT
Scale 1:50 @ A1



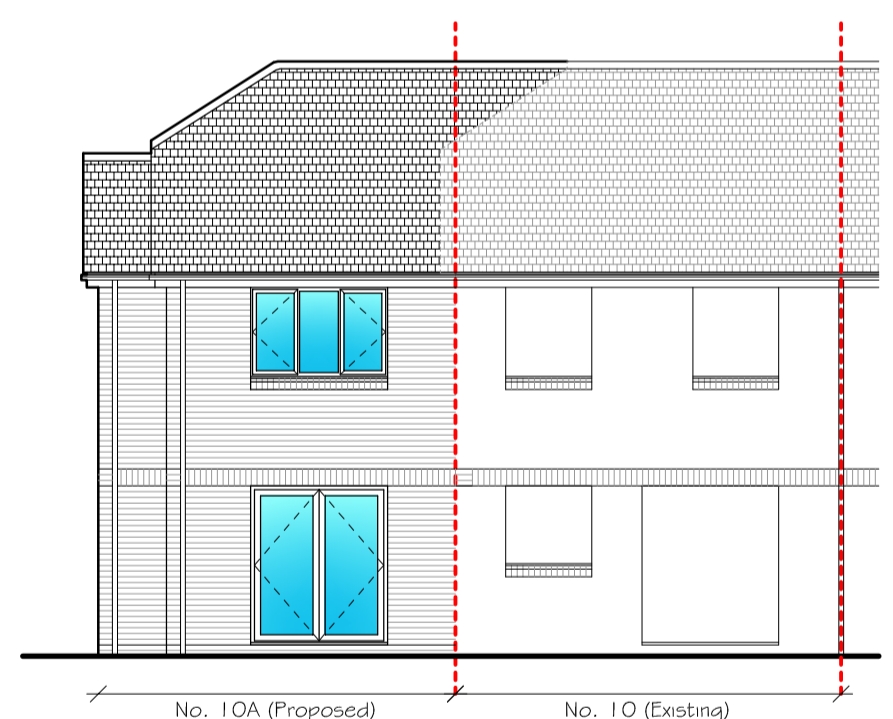
PROPOSED FRONT (SOUTH-EAST)
ELEVATION
Scale 1:100 @ A1



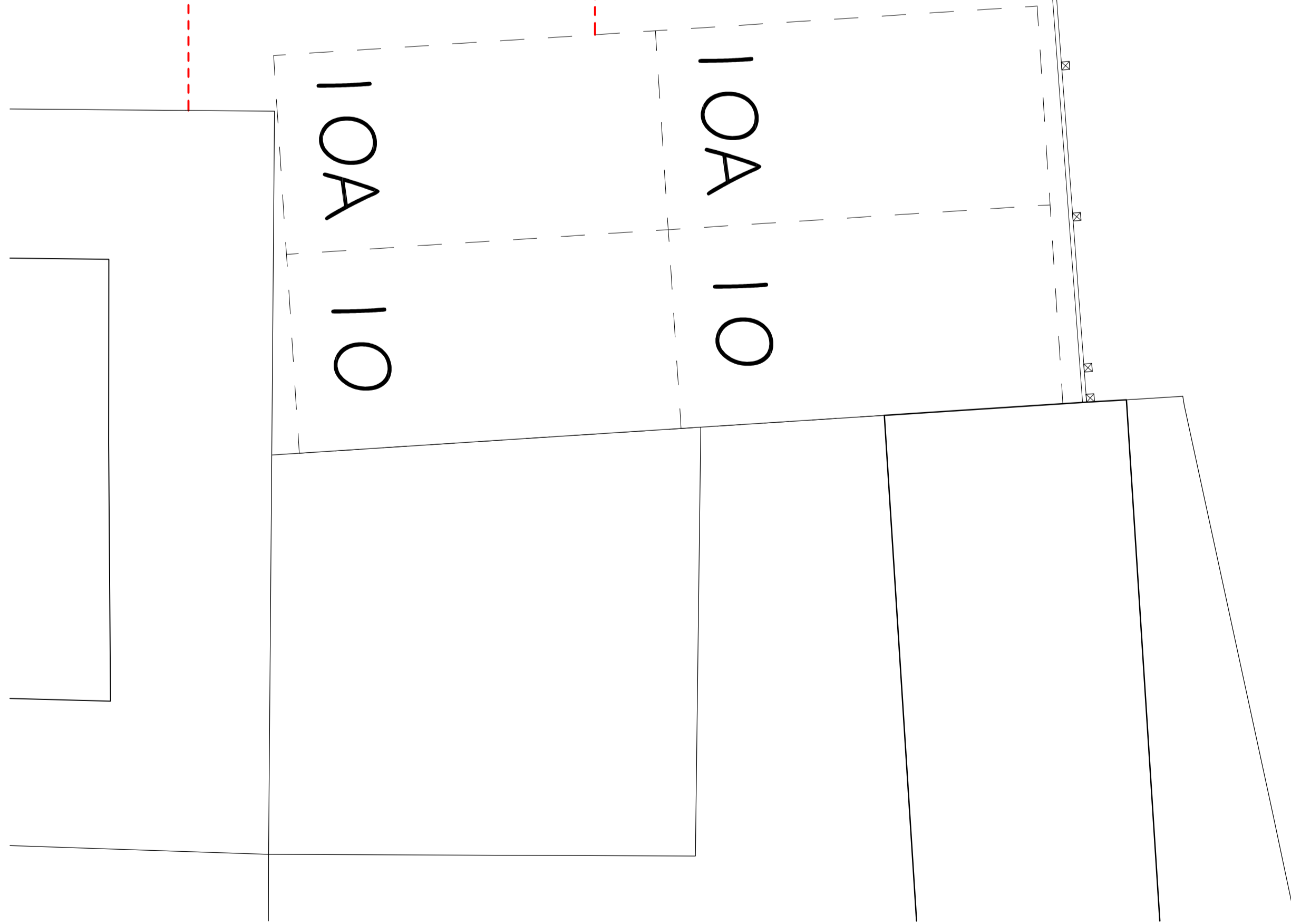
PROPOSED SIDE (NORTH-EAST)
ELEVATION
Scale 1:100 @ A1

PROPOSED EXTERNAL FINISHES (SUBJECT TO LOCAL PLANNING AUTHORITY APPROVAL):

- Samples of all materials (as requested) to be provided for approval by L.P.A. prior to works commencing on site.*
- WALLS:**
- facing brick, to match existing house, including cill & soldier course details;
 - Engineering brick below d.p.c. level, where exposed;
 - render - painted finish (cream, to match existing).
- ROOFS:**
- interlocking clay tiles to main roofs, to match existing;
 - plain clay tiles to porch canopy.
- FASCIA, SOFFIT & VERGE BOARDS:**
- PVCu, dark brown, to match existing.
- RAINWATER GOODS:**
- squareline gutters discharging to square downpipes - dark brown, to match existing.
- WINDOWS & DOORS:**
- white PVCu;
 - dark brown front door.



PROPOSED REAR (NORTH-WEST)
ELEVATION
Scale 1:100 @ A1



CLIENT:	MR. D. BROOKES & MR. G. FOWKE	
JOB TITLE:	10, SUDGROVE PARK, ABBEMEAD, GLOUCESTER, GL4 4XS.	
DRAWING TITLE:	PROPOSED ATTACHED HOUSE PROPOSED LAYOUTS & ELEVATIONS	
SCALE:	AS NOTED @ A1	
DATE:	MAR. 2022	DRAWN BY: MCH
DRAWING NO:	1596/03	REVISION: A