

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

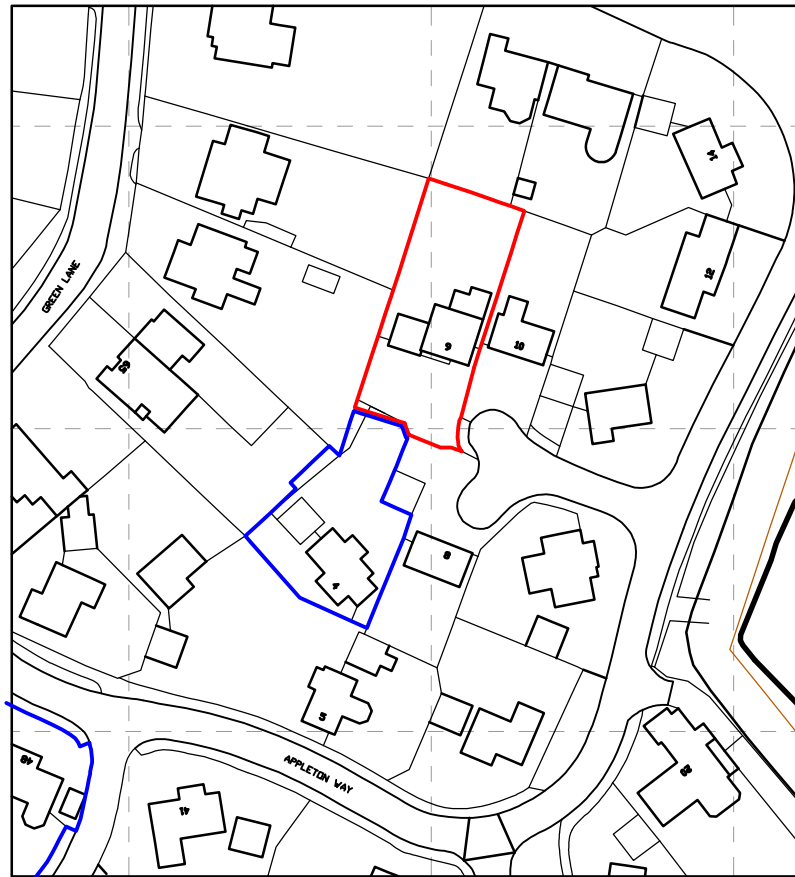
Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

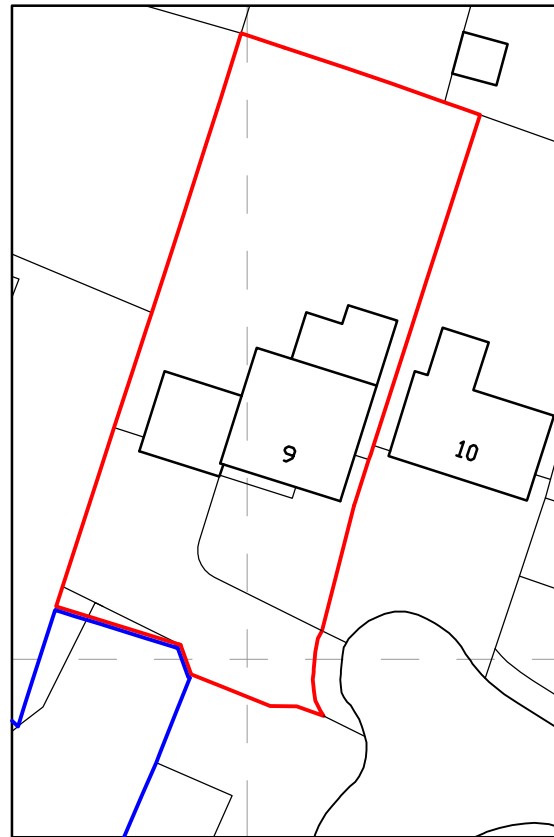
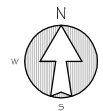
Description

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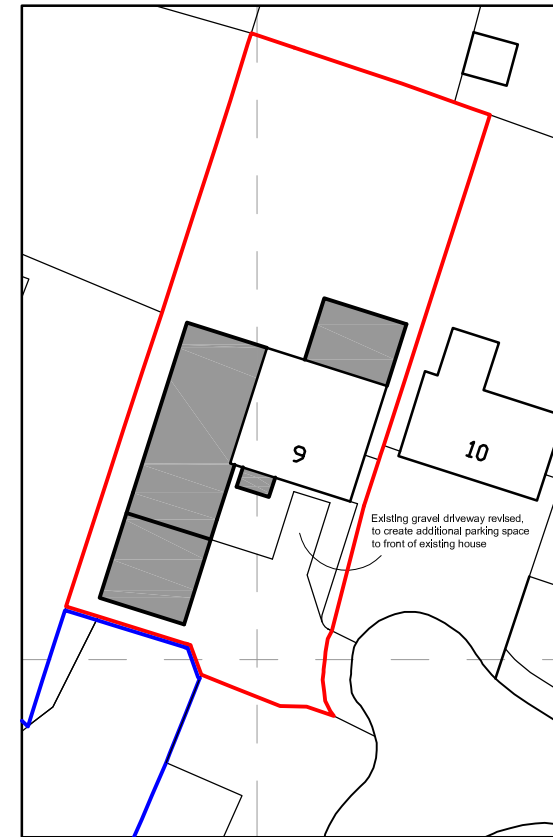
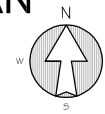


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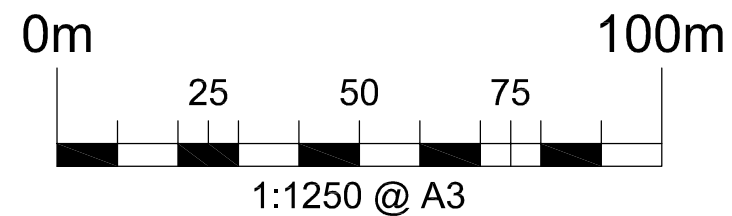
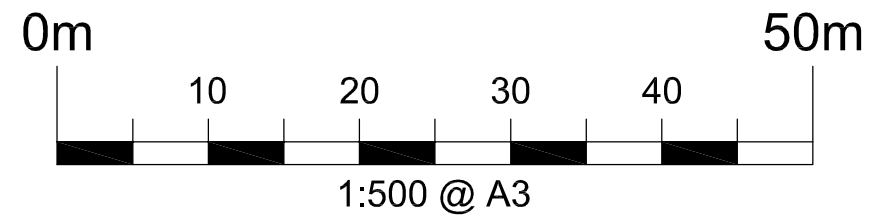
SITE LOCATION PLAN
Scale 1:1250 @ A3



EXISTING BLOCK PLAN
Scale 1:500 @ A3



PROPOSED BLOCK PLAN
Scale 1:500 @ A3



Rev.	Date	Revisions
A	28/04/22	General revisions



TITLE
Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION
Proposed Side & Rear
Extensions & Alterations
Site Location Plan
Existing & Proposed Block Plans

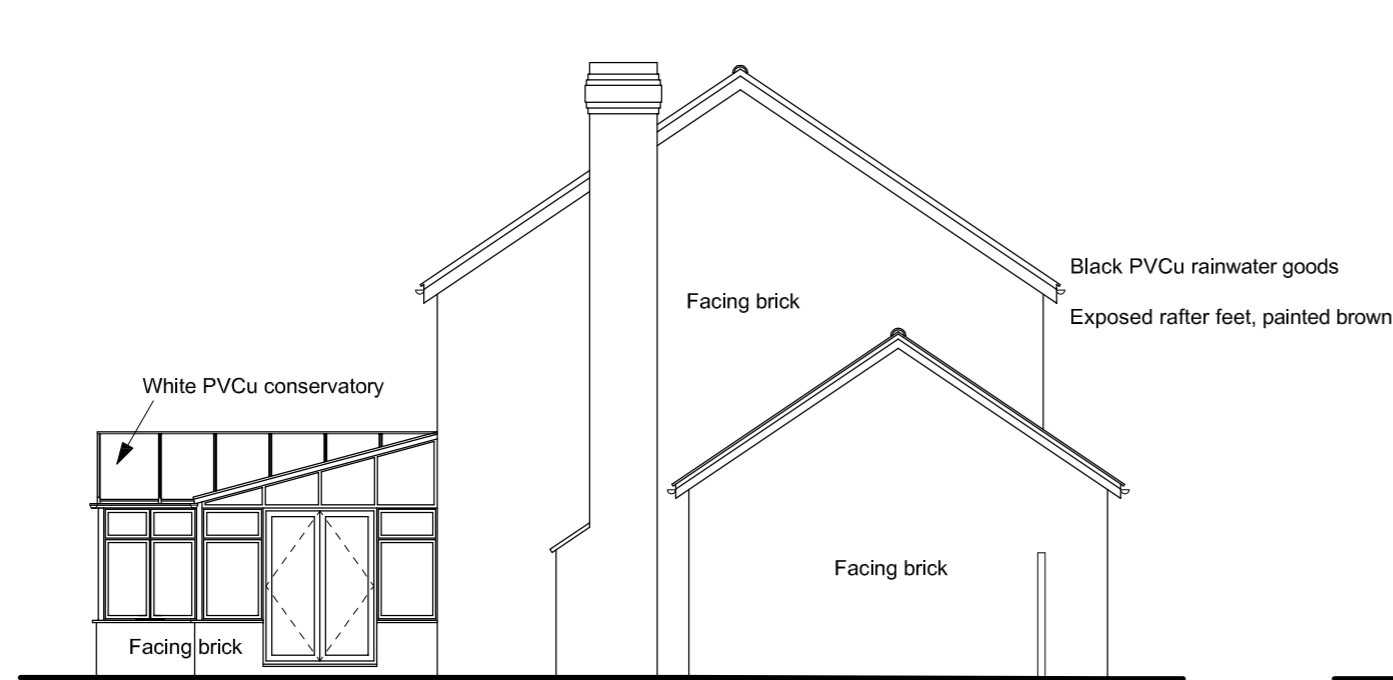
DATE Apr. 2022	SCALE As noted @ A3
DRAWN MCH	CHECKED ---

A188P/162 - 103 Rev. A

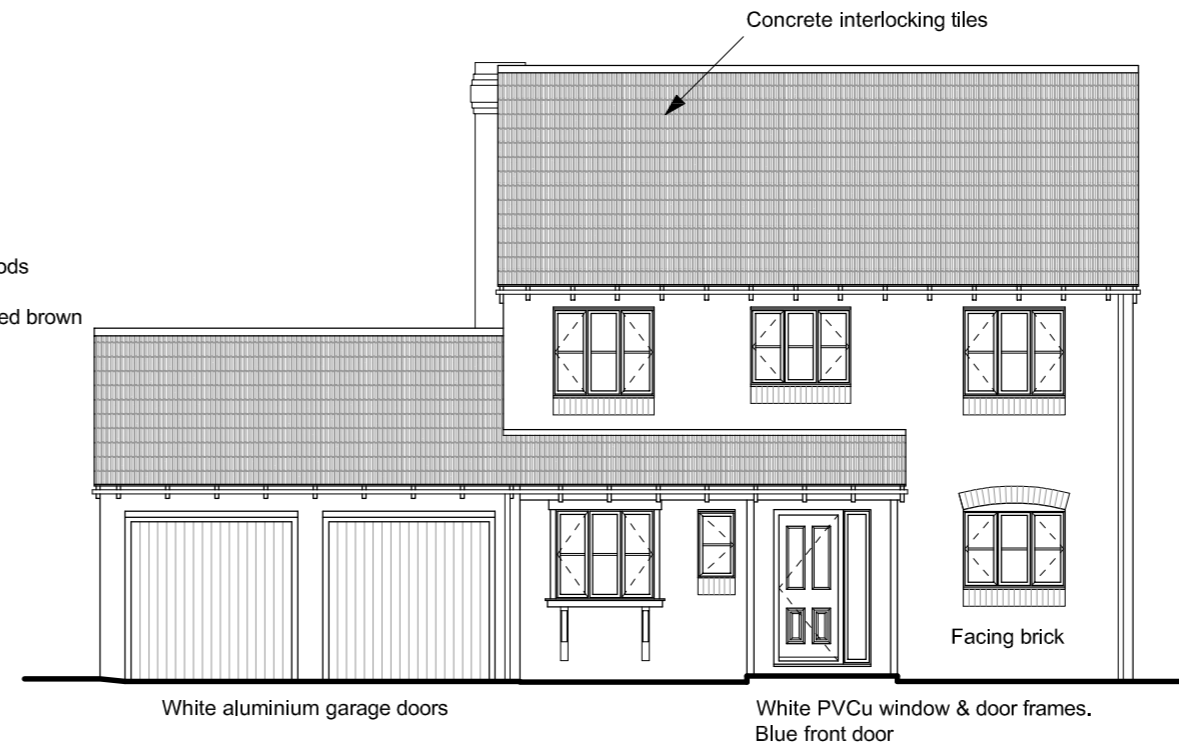


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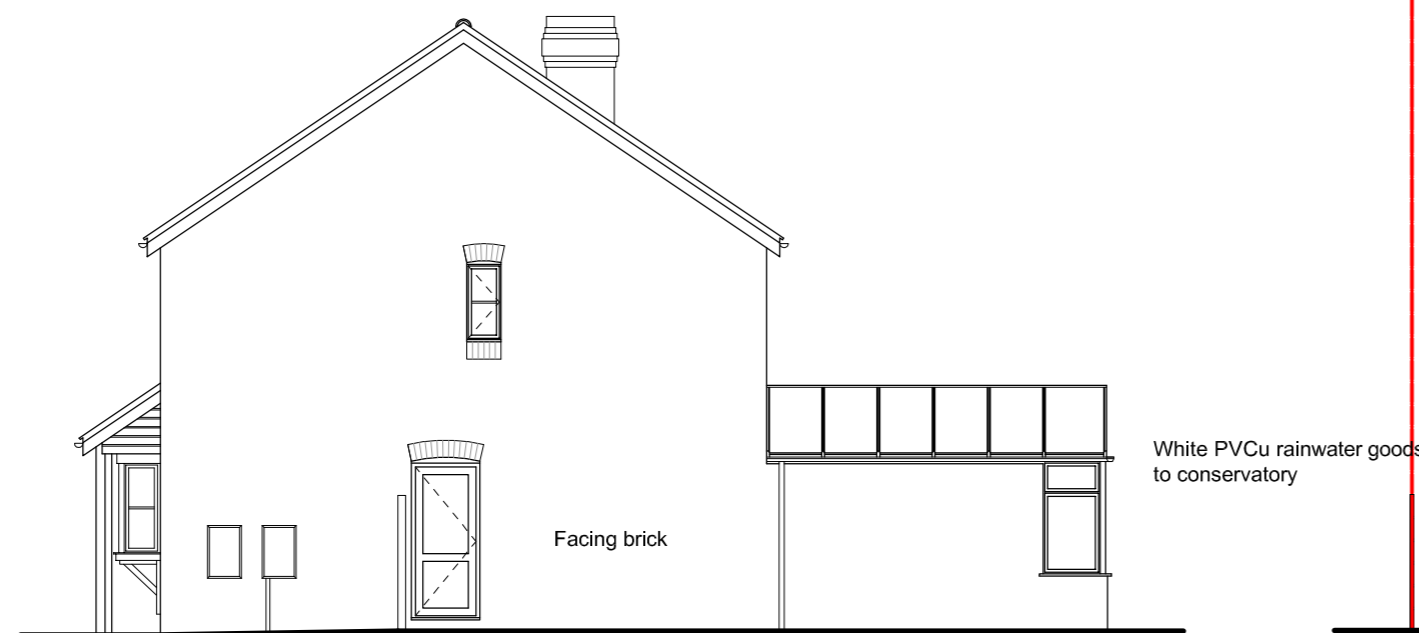
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SIDE (WEST) ELEVATION
Scale 1:100 @ A2



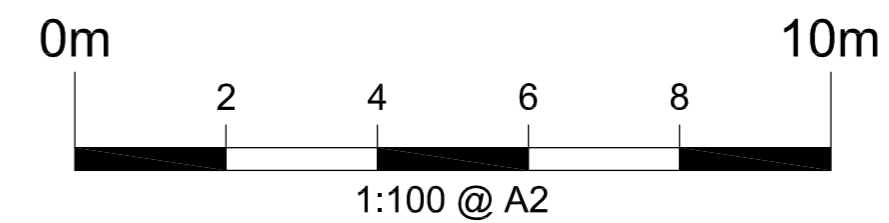
FRONT (SOUTH) ELEVATION
Scale 1:100 @ A2



SIDE (EAST) ELEVATION
Scale 1:100 @ A2



REAR (NORTH) ELEVATION
Scale 1:100 @ A2



Rev.	Date	Revisions
A	25/05/21	Minor revisions

PSK
architect
Your Home Extension Specialists

PSK Cheltenham Ltd,
Unit B4, Staverton Connection,
Gloucester Road, Cheltenham,
GL51 0TF.
Tel. 01452 714596

TITLE
[REDACTED]
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION

Proposed Side & Rear
Extensions & Alterations

Elevations As Existing

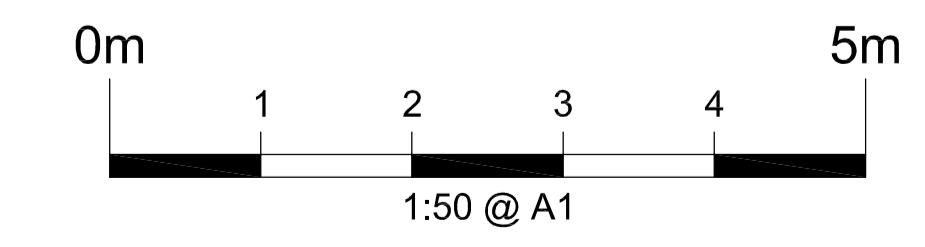
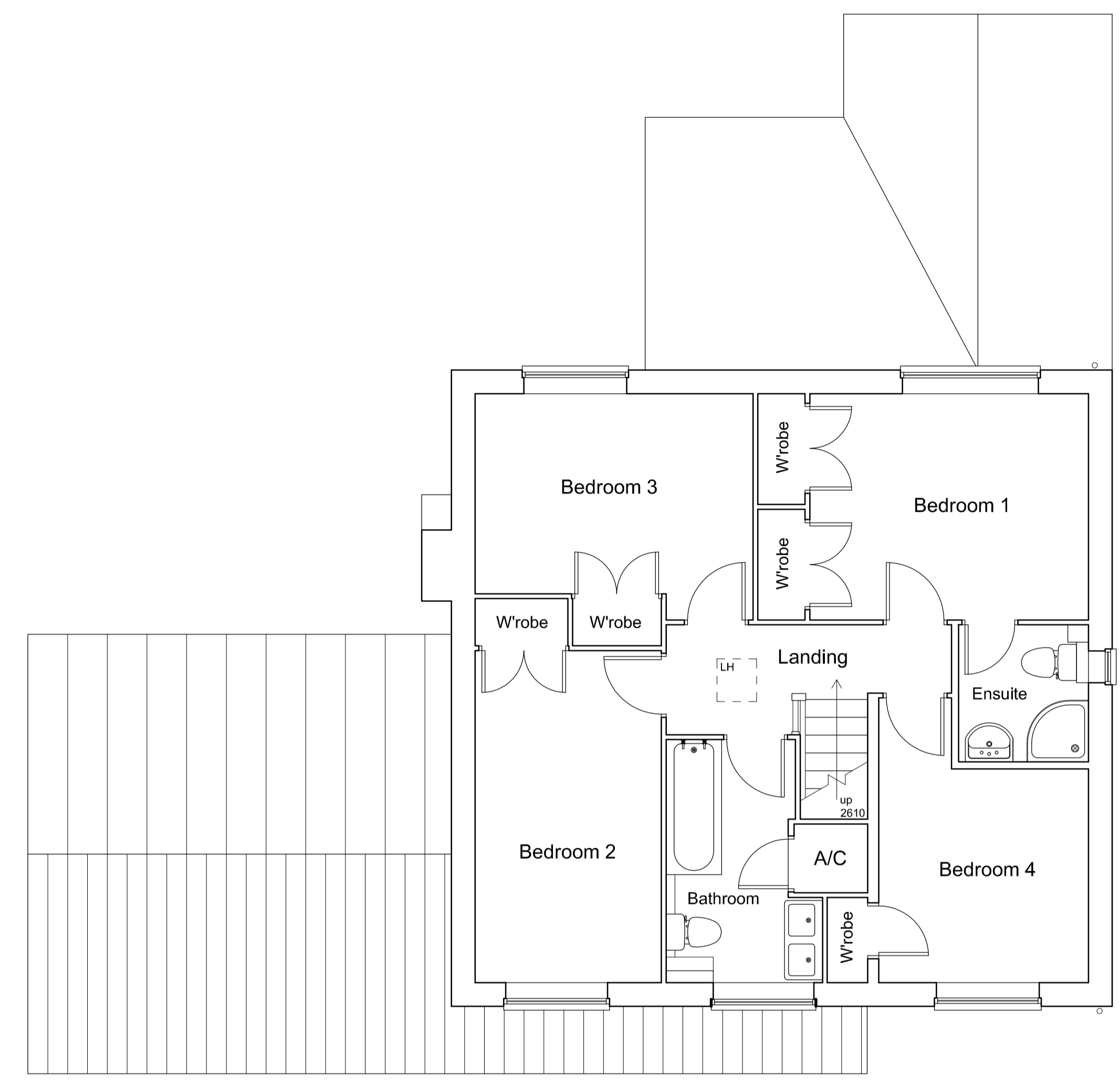
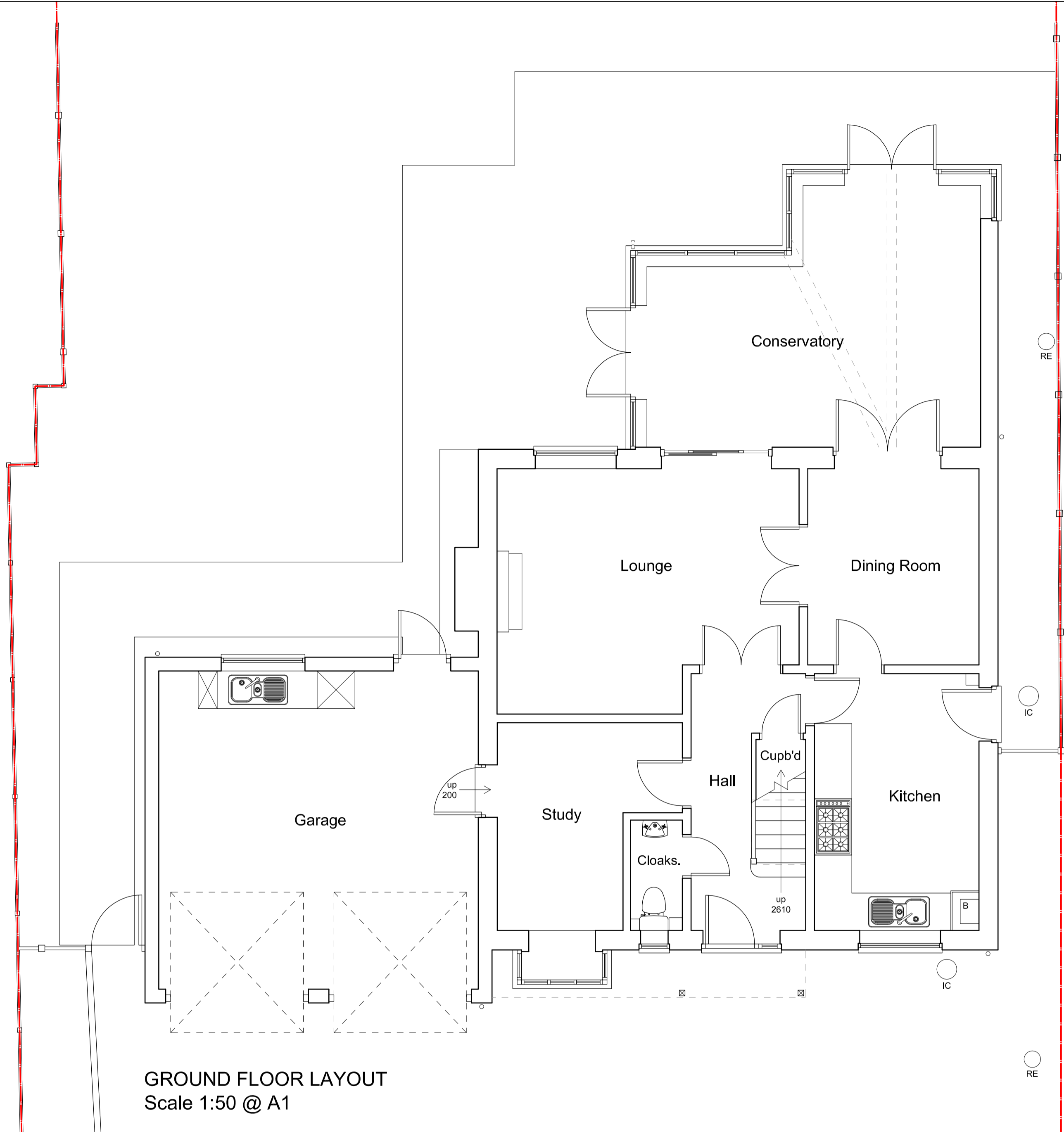
DATE Mar. 2021	SCALE 1:100 @ A2
DRAWN MCH	CHECKED ---

A188P/162 - 02 Rev. A

RIBA

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Rev.	Date	Revisions
A	27/05/21	Minor revisions

PSK
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Tel. 01452 714596

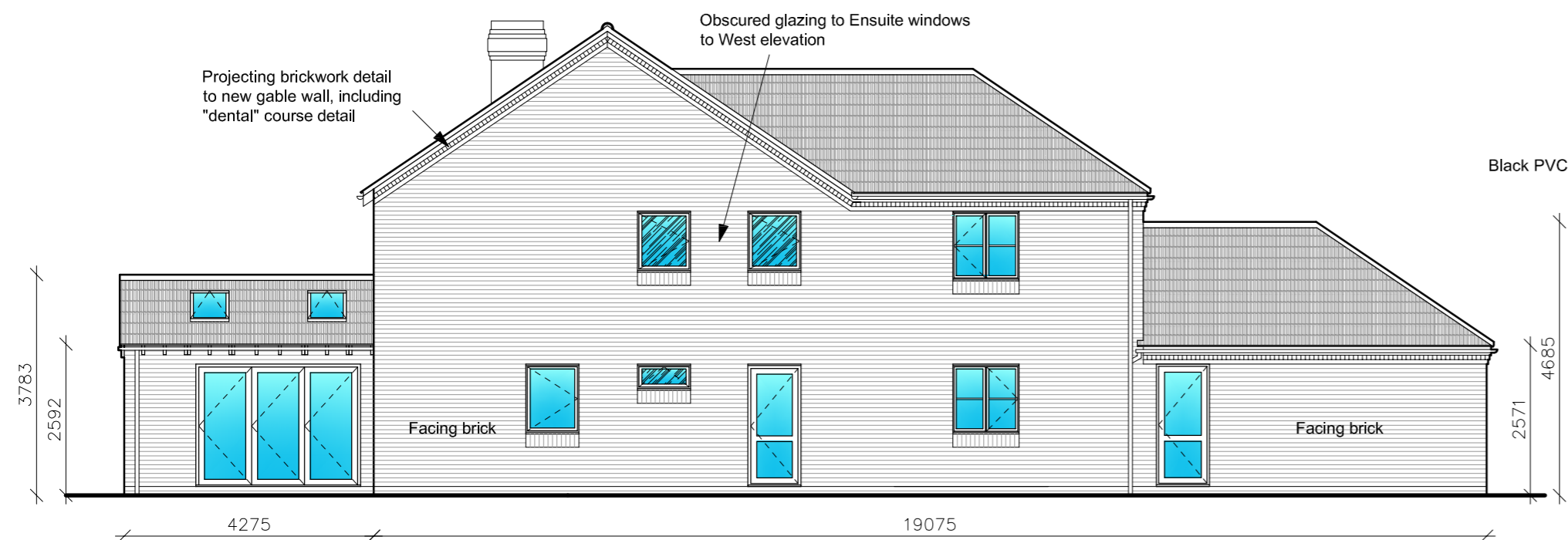
TITLE
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION
Proposed Side & Rear
Extensions & Alterations
Layouts As Existing

DATE Mar. 2021	SCALE As noted @ A1
DRAWN MCH	CHECKED ---

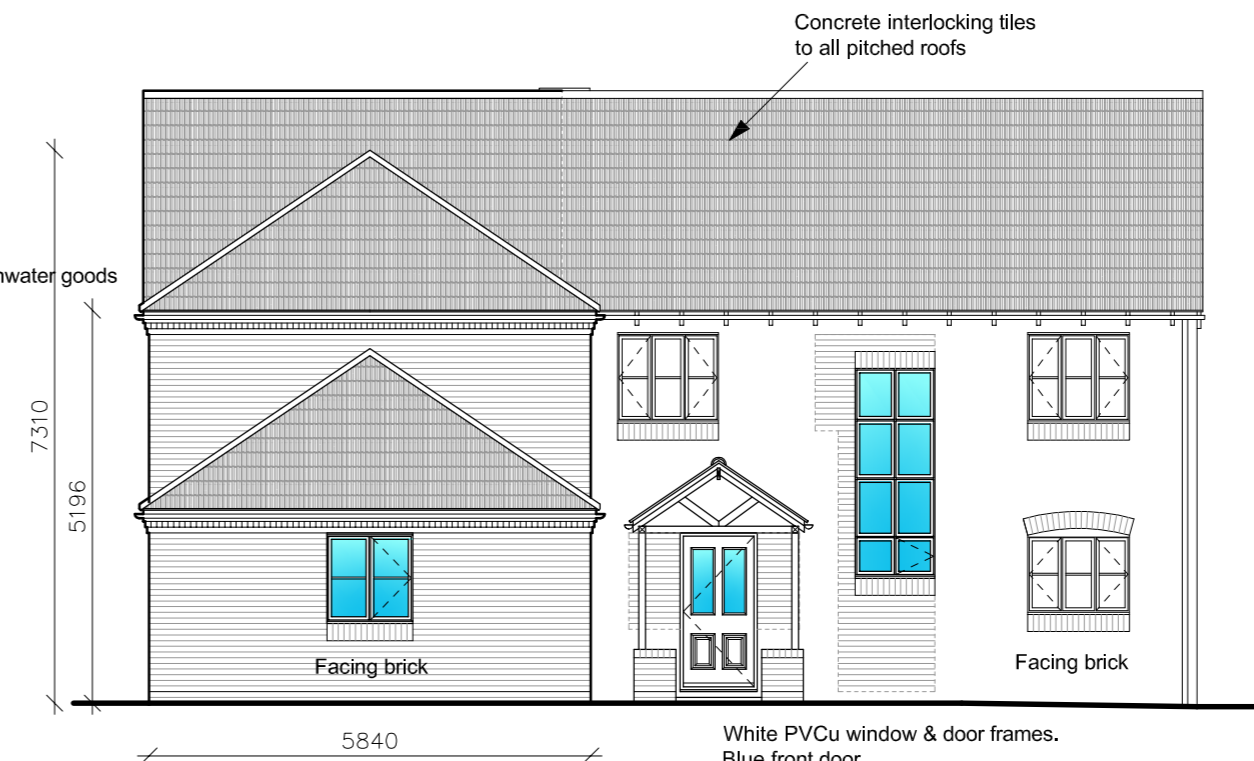
A188P/162 - 01 Rev. A

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SIDE (WEST) ELEVATION
Scale 1:100 @ A2

All window & door units (new openings within extensions, and existing) to be white PVCu.

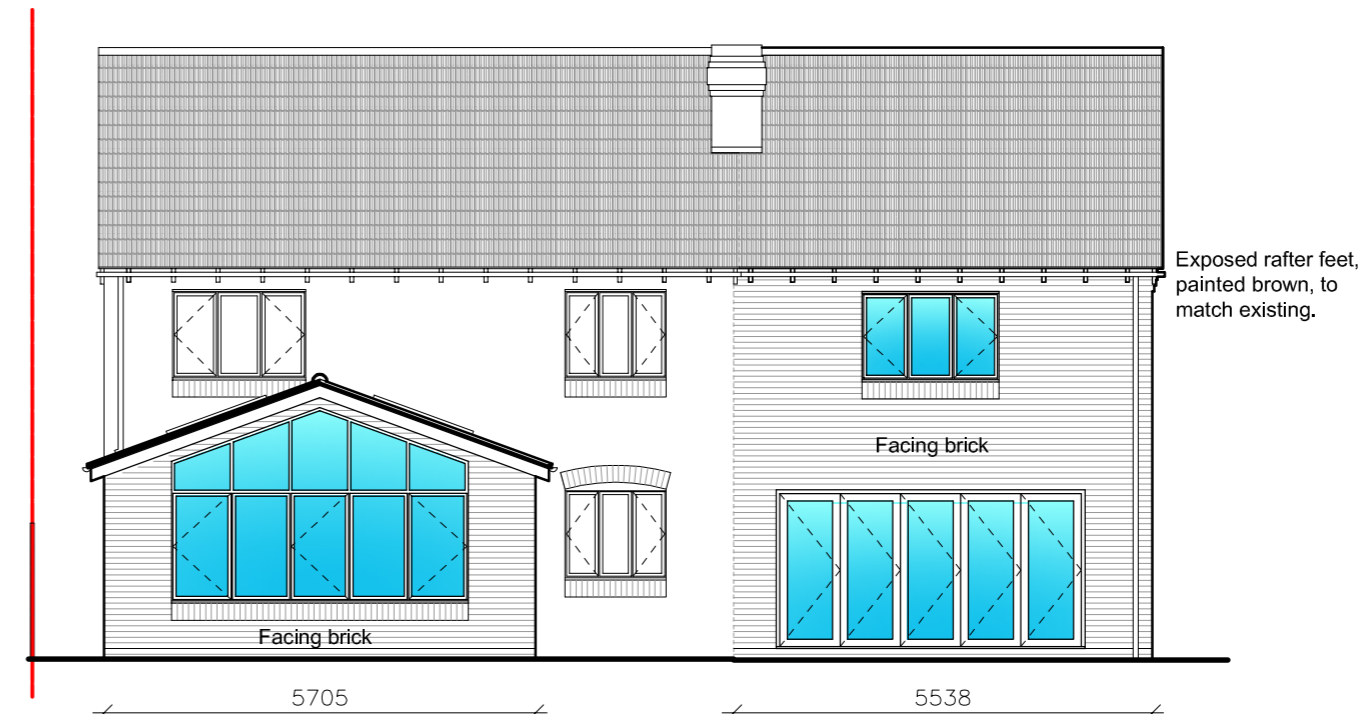


FRONT (SOUTH) ELEVATION
Scale 1:100 @ A2

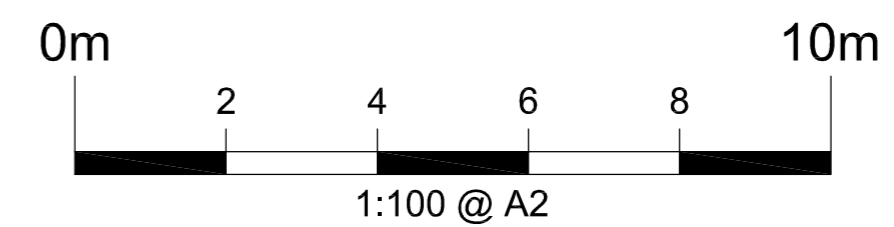


SIDE (EAST) ELEVATION
Scale 1:100 @ A2

All window & door units (new openings within extensions, and existing) to be white PVCu.



REAR (NORTH) ELEVATION
Scale 1:100 @ A2



Rev.	Date	Revisions
B	29/04/22	General revisions
A	28/04/22	General revisions

PSK
architect
Your Home Extension Specialists

TITLE

Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION

Proposed Side & Rear
Extensions & Alterations

Elevations As Proposed

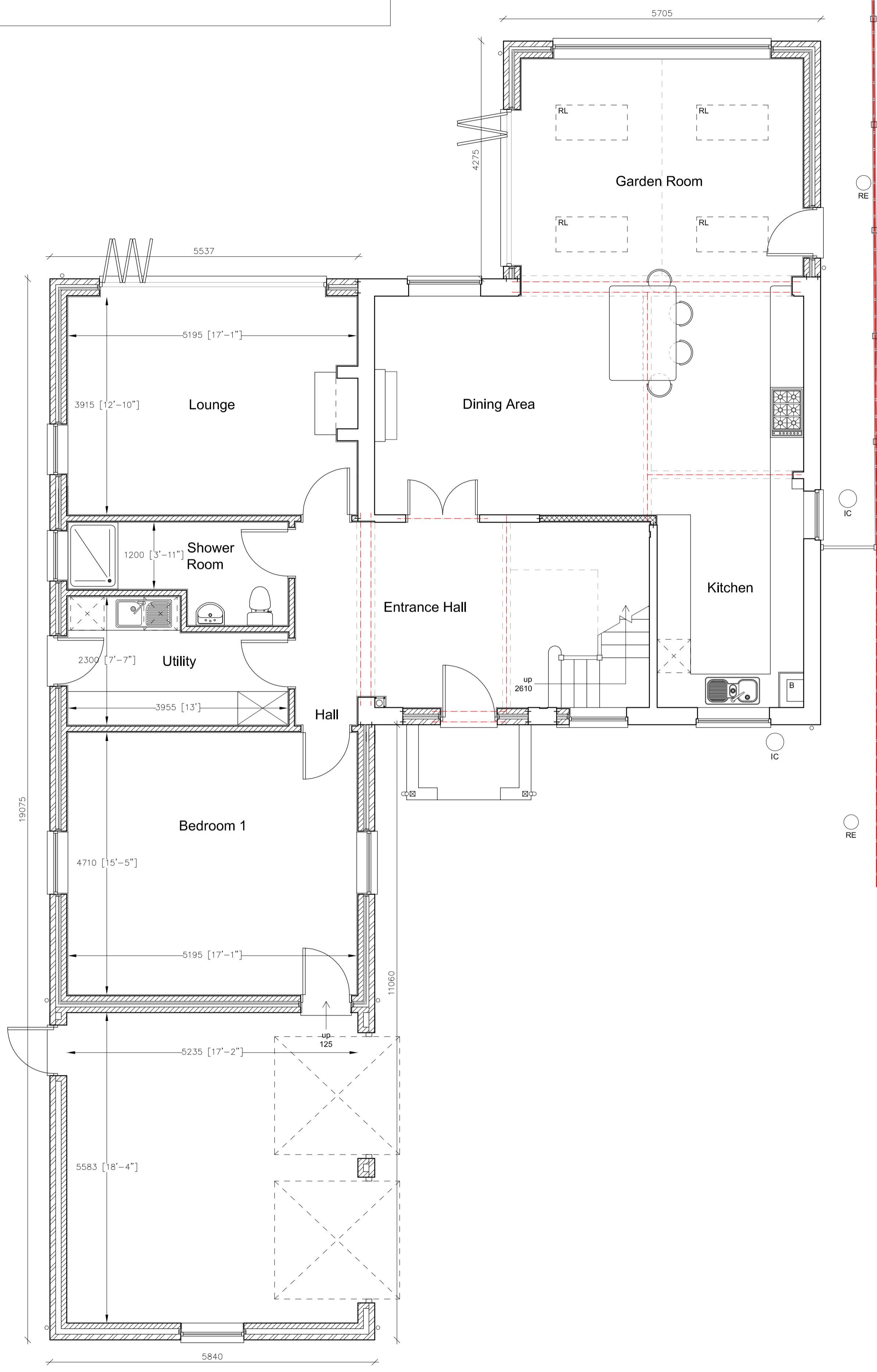
DATE Apr. 2022	SCALE 1:100 @ A2
DRAWN MCH	CHECKED ---

A188P/162 - 102 Rev. B

RIBA

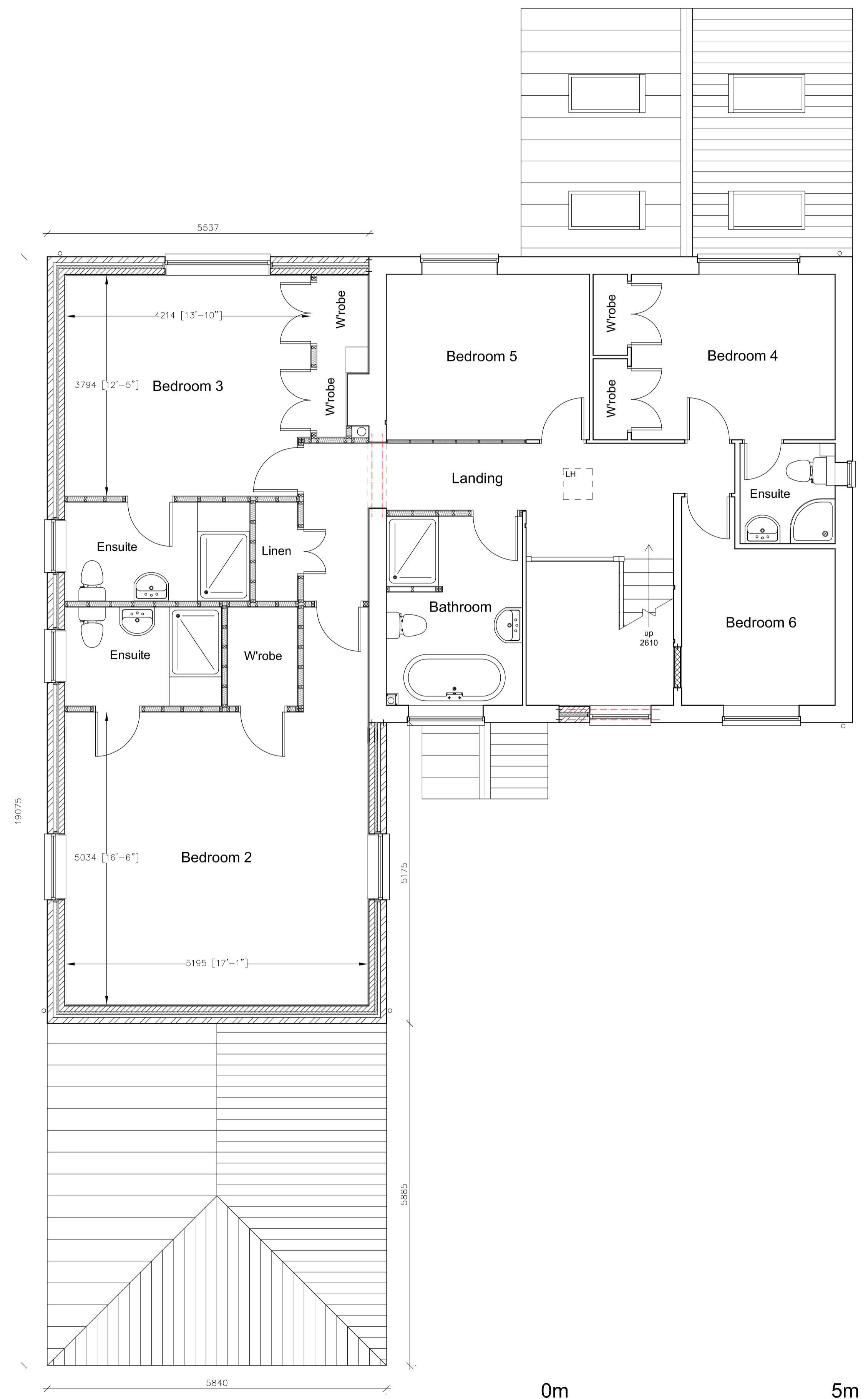
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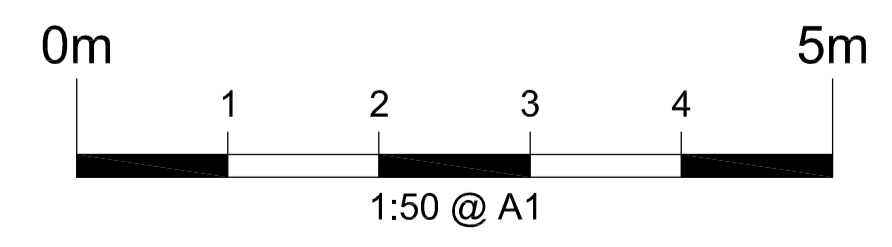


GROUND FLOOR LAYOUT
Scale 1:50 @ A1

Rear garden to No. 4 Appleton Way
(under same ownership)



FIRST FLOOR LAYOUT
Scale 1:50 @ A1



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Rev.	Date	Revisions
B	29/04/22	General revisions
A	28/04/22	General revisions



TITLE
Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION
Proposed Side & Rear
Extensions & Alterations
Ground & First Floor
Layouts As Proposed

DATE	SCALE
Apr. 2022	1:50 @ A1
DRAWN	CHECKED
MCH	---

A188P/162 - 101 Rev. B

Applicant Details

Name/Company

Title

Mr & Mrs

First name

Steve

Surname

Watkin

Company Name

Address

Address line 1

9, Appleton Way

Address line 2

Hucclecote

Address line 3

Town/City

Gloucester

Country

Postcode

GL3 3RP

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Roof

Existing materials and finishes:

Concrete interlocking tiles. Glass to conservatory

Proposed materials and finishes:

Concrete interlocking tiles

Type:

Windows

Existing materials and finishes:

White PVCu

Proposed materials and finishes:

White PVCu

Type:

Walls

Existing materials and finishes:

Facing brick

Proposed materials and finishes:

Facing brick

Type:

Doors

Existing materials and finishes:

White PVCu. Blue front door

Proposed materials and finishes:

White PVCu. Blue front door

Type:

Other

Other (please specify):

Rainwater goods

Existing materials and finishes:

Black PVCu

Proposed materials and finishes:

Black PVCu

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

X

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes
- No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
- No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
- No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
- No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
- No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
- No

If Yes, please describe:

XXX New double garage XXX

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
- No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

Date (must be pre-application submission)

29/03/2022

Details of the pre-application advice received

Hi Paul,

I don't recall discussing this as a free go but it's possible going back to the time that I took over as the case officer we did have such a conversation. Assuming a fee was paid for the application we have just determined there would still be a free go available. However, if the resubmission used up the free go a fee would need to be paid for any further resubmission.

I think I did confirm that, if Mr Watkin wanted to pursue the original scheme, the best option would be to resubmit it (which we would be highly likely to refuse) to gain the option to challenge any refusal at appeal. The permission we have granted presents a fall-back position, but in my view the original scheme is much larger than the fall-back and quite out of scope with our guidance that we'd still be seeking to refuse it and have a very good case at appeal.

Or, is Mr Watkin looking to submit the interim design that we resisted, but didn't publicly consult on? That may fair slightly better at an appeal as I think it was around 5 metres in depth (to the front of the dwelling) rather than 3.5m?

I'm happy to have a chat about this before any resubmission if that would help.

This information represents my informal opinion and is given in good faith. It is in no way binding on any future decisions of the local planning authority.

I trust this information is of assistance to you and I look forward to your response.

Kind regards,

Dave

David Millinship

Senior Planning Officer

Place

Gloucester City Council

Shire Hall

Westgate Street

Gloucester, GL1 2TG

david.millinship@gloucester.gov.uk

www.gloucester.gov.uk

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

21/04/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

PSK Cheltenham LTD

Date

03/05/2022