

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Ms

First name

Linda

Surname

Smith

Company Name

Address

Address line 1

13 Foxtail Close

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL4 6DW

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Facing brickwork

Proposed materials and finishes:

Facing brickwork

Type:

Roof

Existing materials and finishes:

Corrugated sheeted roof, possibly asbestos containing material

Proposed materials and finishes:

Felt flat roof, falling to rear to match existing. Highest point of roof to be no higher than the highest part of the existing roof

Type:

Doors

Existing materials and finishes:

Personnel door to rear Metal up/over door to front

Proposed materials and finishes:

Personnel door to rear Metal up/over door to front

Type:

Other

Other (please specify):

Roofline goods

Existing materials and finishes:

White fascias Black rainwater goods

Proposed materials and finishes:

White fascias Black rainwater goods

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Design and access statement including photos of the current structure

Drawing 101 - Existing garage

Drawing 102 - proposed garage

Drawing 103 - site and block plans

Drawing 104 - vegetation plan

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.

See drawing 104

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
 No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

24/04/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

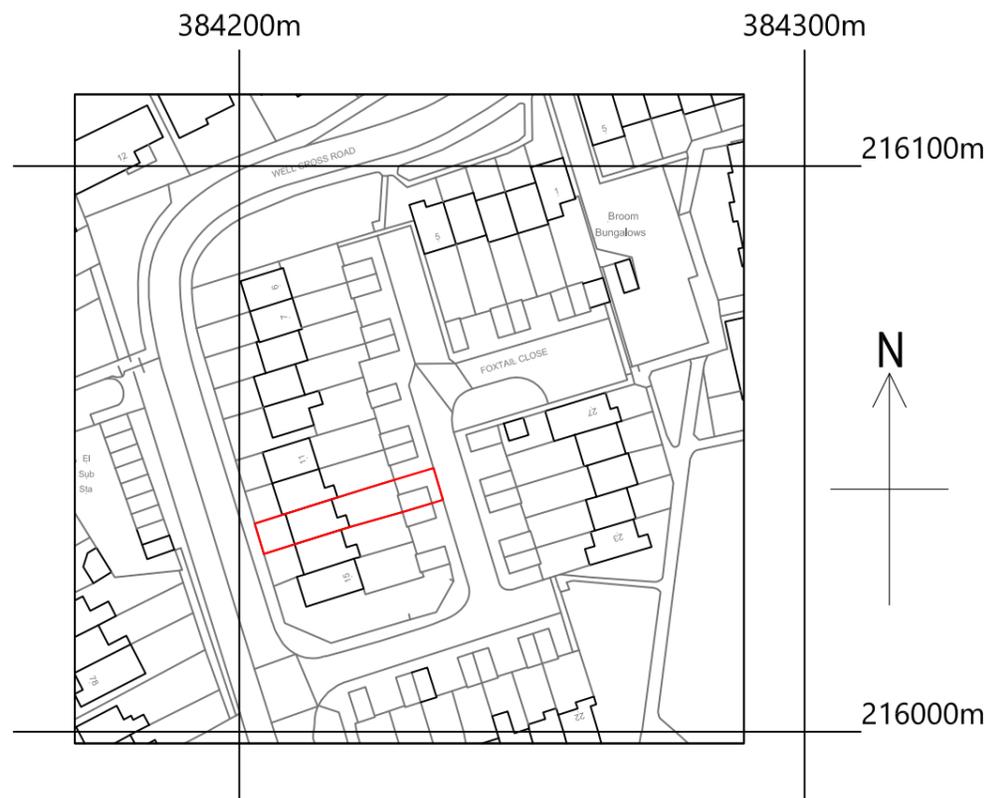
I / We agree to the outlined declaration

Signed

Sedgwick Repair Solutions Design Office

Date

25/04/2022



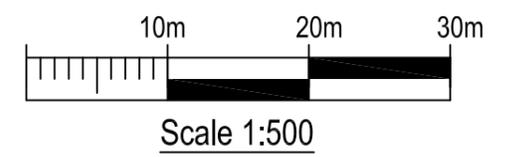
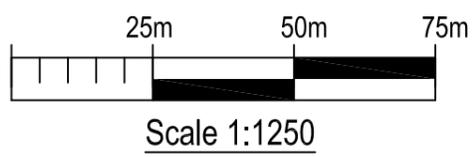
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Location Plan
1:1250



Block Plan
1:500

Location and Block plans
As the garage is being rebuilt exactly the same in plan as the original, these are identical for both the Existing garage and the Proposed garage.



REV	DRAWN	DATE	DESCRIPTION
 Repair Solutions Design Office, Solent House, 1460 Parkway, Whiteley, Hampshire PO15 7AF			
JOB ID			Smith
SITE ADDRESS			13 Foxtail Close Gloucester GL4 6DW
REFERENCE		DRG No.	DRG SIZE
6861571		103	A3

Design and Access Statement

Design Principles and Concepts

1/ General

The proposed works comprise of demolition and reconstruction of the existing semi-detached garage on a new piled foundation, due to it suffering severe damage due to subsidence. The reinstatement works are subject to an insurance claim, therefore the intention is to reinstate all of the above to match the existing structure whilst complying with current regulations.

Please note that both of the semi-detached garages will be demolished and rebuilt at the same time, however as we are only acting on behalf of No.13 our application is only for this garage.

2/ Scale

The development consists of the reconstruction of an existing semi-detached garage. As the works are being undertaken as part of an insurance claim, the intention is for the garage to be rebuilt to match existing in size and appearance.

3/ Layout

The layout will remain unchanged by the works.

4/ Landscaping and Appearance

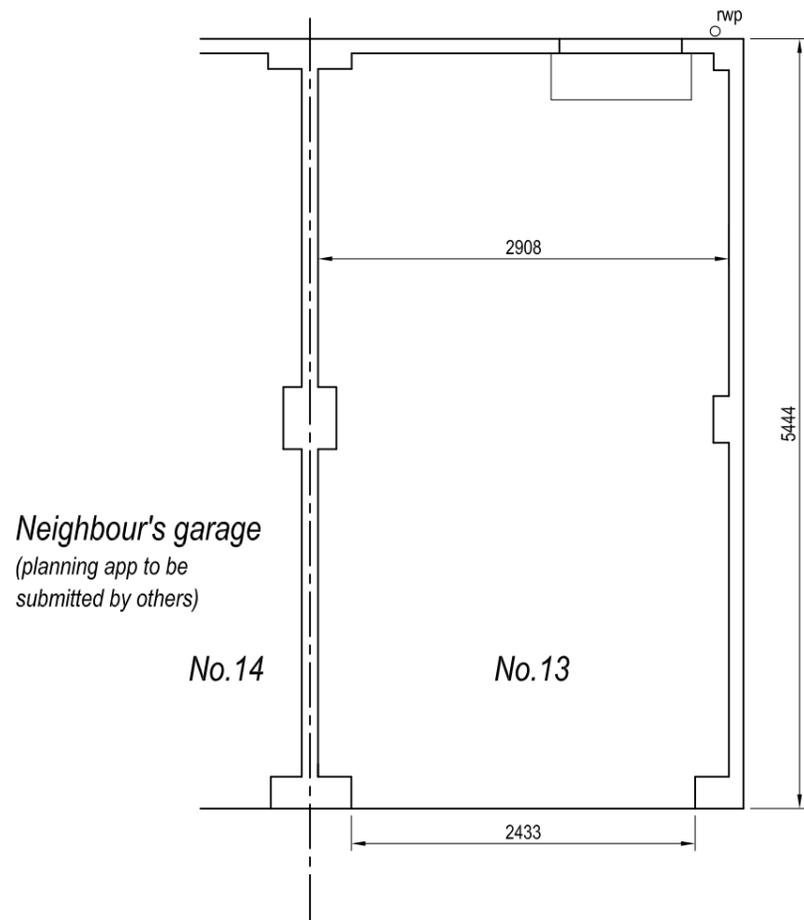
The appearance will remain unchanged by the repair works. All existing hard standings, grassland and vegetation will remain.

5/ Services

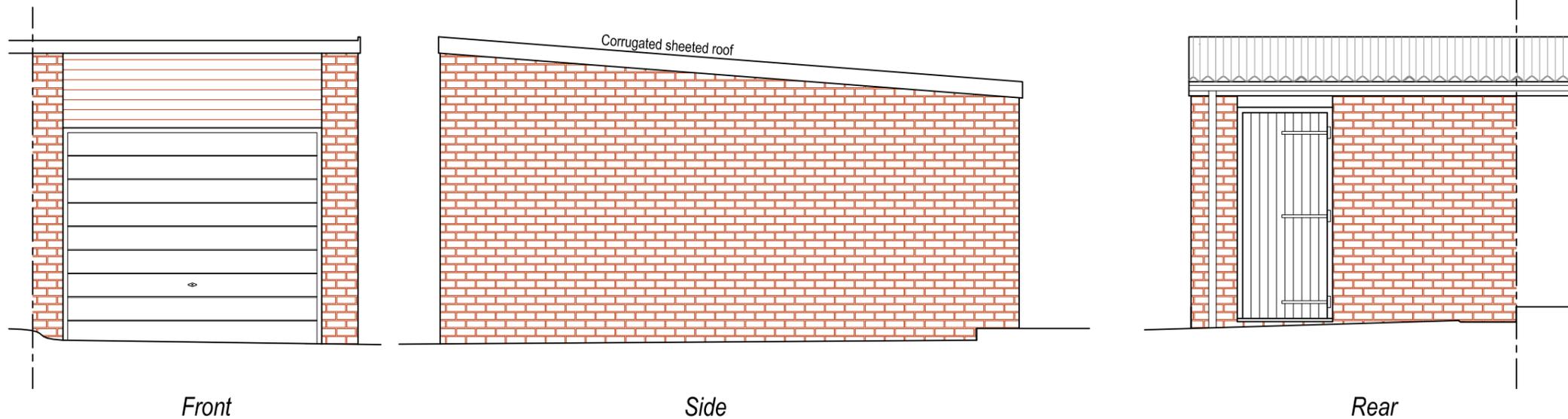
No additional services are required as the building will utilise the existing services to and from the site. Due to the structure already existing, there will be no greater impact on the existing infrastructure or services.

6/ Access Statement

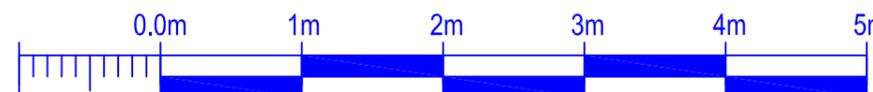
There will be no alterations to the access to and from the Building; all existing access routes will be retained such that it will be no worse than the existing upon completion of the works.



Layout Plan



Elevations



Scale 1:50

SUBJECT TO
LOCAL PLANNING
AUTHORITY APPROVAL
NOT FOR
CONSTRUCTION

General

This drawing is to be read in conjunction with Sedgwick standard contract documentation and all other relevant documents, unless alternative arrangements have been agreed with the Contract Administrator.

Do not scale this drawing, except for Planning purposes. The Contractor shall check all dimensions and levels on site prior to demolition of the existing structure. Any discrepancies shall be notified immediately to the Contract Administrator and the Design Engineer. All dimensions shown include finishes.

Layout of the works is to remain unaltered unless otherwise agreed with the Contract Administrator and the Design Engineer.

Contractor shall locate all services (including overhead) prior to commencement of any works on site and liaise with the Contract Administrator.

All temporary works are to be designed and detailed by the Contractor, including the provision for pumping, shoring & propping. Design to be undertaken by a suitably qualified professional. All excavations and exposed foundations are to be adequately supported and protected by the Contractor at all times in accordance with Health & Safety requirements.

All materials to be fit for purpose and all works, whether specified or implied, to be in accordance with current Building Regulations, British Standards, Codes of Practice and accepted good building practice.

All proprietary products are to be installed strictly in accordance with the manufacturers recommendations.

On completion of the works the Contractor shall be responsible for reinstating the surrounding ground finished surfaces to their original state.

The structural design has been prepared in accordance with the CDM Regulations. In addition to the usual risks associated with building works and materials the Contractor should also ensure:

that demolition, excavation, drilling, cutting etc into existing structures or materials be carried out carefully in case there are any hidden services

that all items to be demolished or removed, eg walls, beams, slabs etc, are assessed for any loadbearing or stability function and temporary propping provided as necessary

that any existing structure or materials to be drilled, cut, or otherwise disturbed, be checked for asbestos content and appropriate action taken

REV	DRAWN	DATE	DESCRIPTION
 Repair Solutions Design Office, Solent House, 1460 Parkway, Whiteley, Hampshire PO15 7AF			
JOB ID		Smith	
SITE ADDRESS		13 Foxtail Close Gloucester GL4 6DW	
PROJECT		Demolition and Reconstruction of Semi-detached garage	
DRAWING TITLE		Existing Layout Plan and Elevations	
INITIAL DRG DATE		DRAWN BY	
July 2020		MS	
SCALE		DRG SIZE	
1:50		A3	
REFERENCE		DRG No.	Rev.
6861571		101	

General

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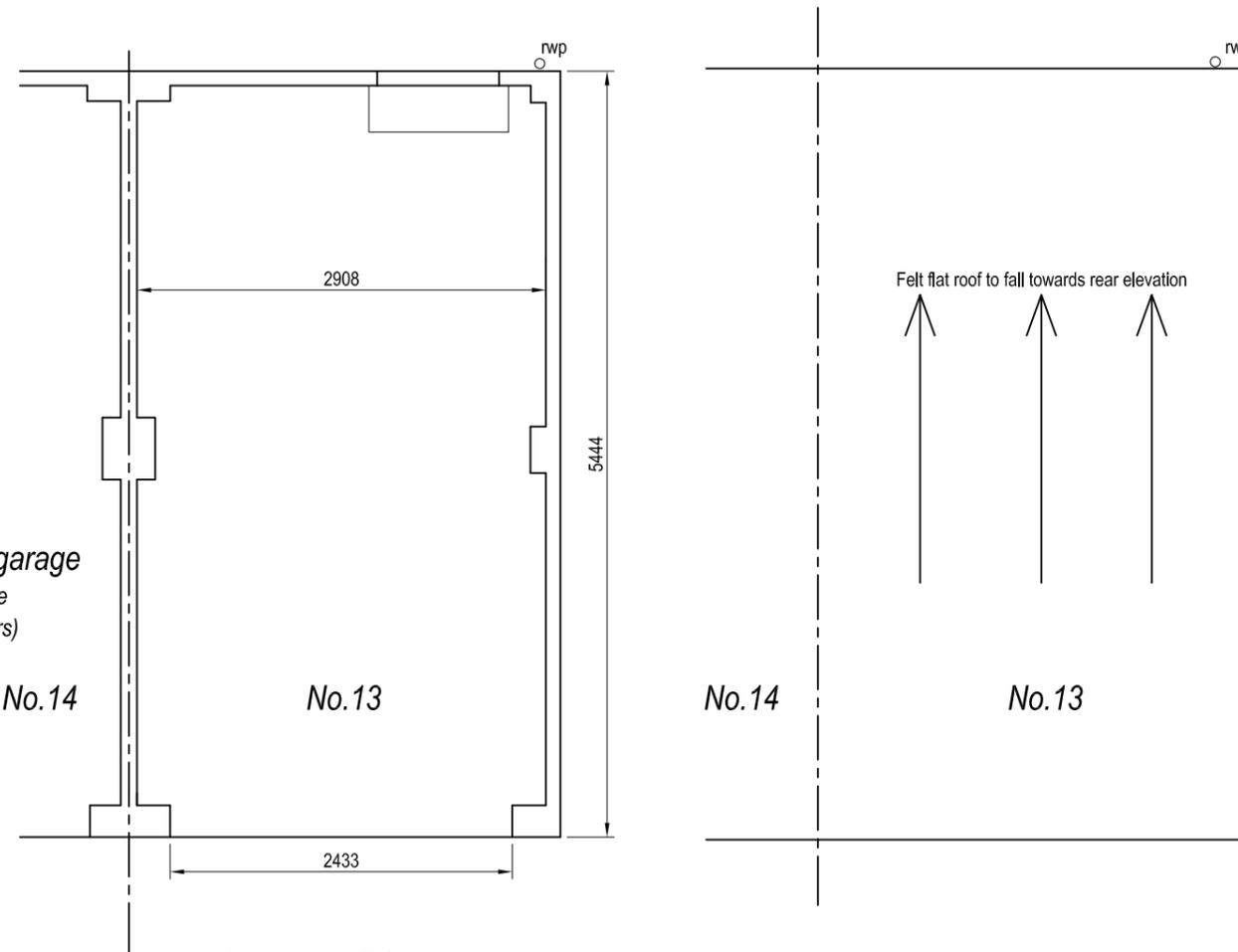
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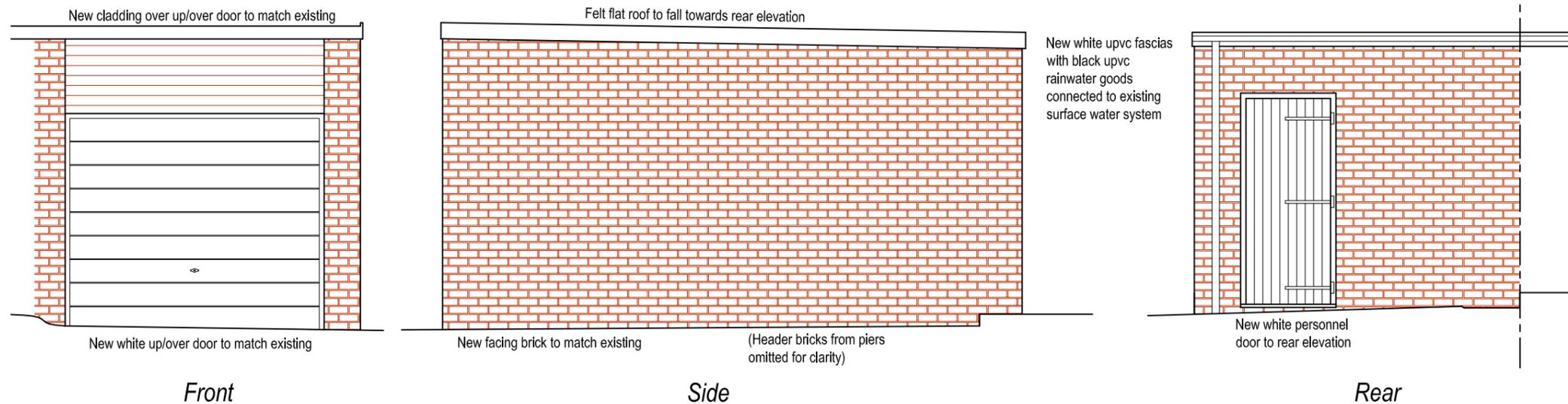
that all items to be demolished or removed, eg walls, beams, slabs etc, are assessed for any loadbearing or stability function and temporary propping provided as necessary

that any existing structure or materials to be drilled, cut, or otherwise disturbed, be checked for asbestos content and appropriate action taken



Layout Plan

Roof Plan

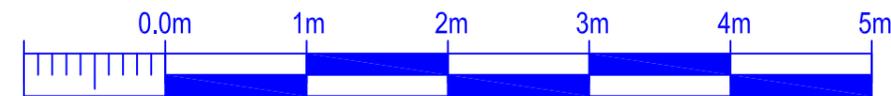


Front

Side

Rear

Elevations



Scale 1:50

REV	DRAWN	DATE	DESCRIPTION
Repair Solutions Design Office, Solent House, 1460 Parkway, Whiteley, Hampshire PO15 7AF			
JOB ID		Smith	
SITE ADDRESS		13 Foxtail Close Gloucester GL4 6DW	
PROJECT		Demolition and Reconstruction of Semi-detached garage	
DRAWING TITLE			
Proposed Layout Plans and Elevations			
INITIAL DRG DATE		DRAWN BY	
April 2022		MS	
SCALE		DRG SIZE	
1:50		A3	
REFERENCE			Rev.
6861571			102



Vegetation Plan
1:500



REV	DRAWN	DATE	DESCRIPTION
 Repair Solutions Design Office, Solent House, 1460 Parkway, Whiteley, Hampshire PO15 7AF			
JOB ID		Smith	
SITE ADDRESS		13 Foxtail Close Gloucester GL4 6DW	
REFERENCE		DRG No.	DRG SIZE
6861571		104	A3

DESIGN & ACCESS STATEMENT

RECONSTRUCTION OF EXISTING SEMI-DETACHED GARAGE ON NEW PILED FOUNDATION FOLLOWING SUBSIDENCE DAMAGE



Reference: Smith

Risk Address:

13 Foxtail, Gloucester GL4 6DW

7/ **Photographs of the site** (taken on 01.07.20)





No13



No15