

## Application for a Non-Material Amendment Following a Grant of Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

James

Surname

Tooth

Company Name

### Address

Address line 1

30 Carisbrooke Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

United Kingdom

Postcode

GL3 3QR

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Eligibility

Does the applicant have an interest in the part of the land to which this amendment relates?

- Yes  
 No

If the applicant is not the sole owner, has notification under Article 10 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) been given?

- Yes  
 No  
 Not applicable

## Description of Your Proposal

Please provide the description of the approved development as shown on the decision letter

Reference number

Date of decision

What was the original application type?

For the purpose of calculating fees, which of the following best describes the original development type?

- Householder development:** Development to an existing dwelling-house or development within its curtilage  
 **Other:** Anything not covered by the above category

## Non-Material Amendment(s) Sought

Please describe the non-material amendment(s) you are seeking to make

Please state why you wish to make this amendment

Are you intending to substitute amended plans or drawings?

Yes

No

If yes, please complete the following details

Old plan/drawing numbers

04 Rev B

New plan/drawing numbers

04 Rev C

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

## Declaration

I / We hereby apply for Non-Material Amendment as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Luke Hemming

Date

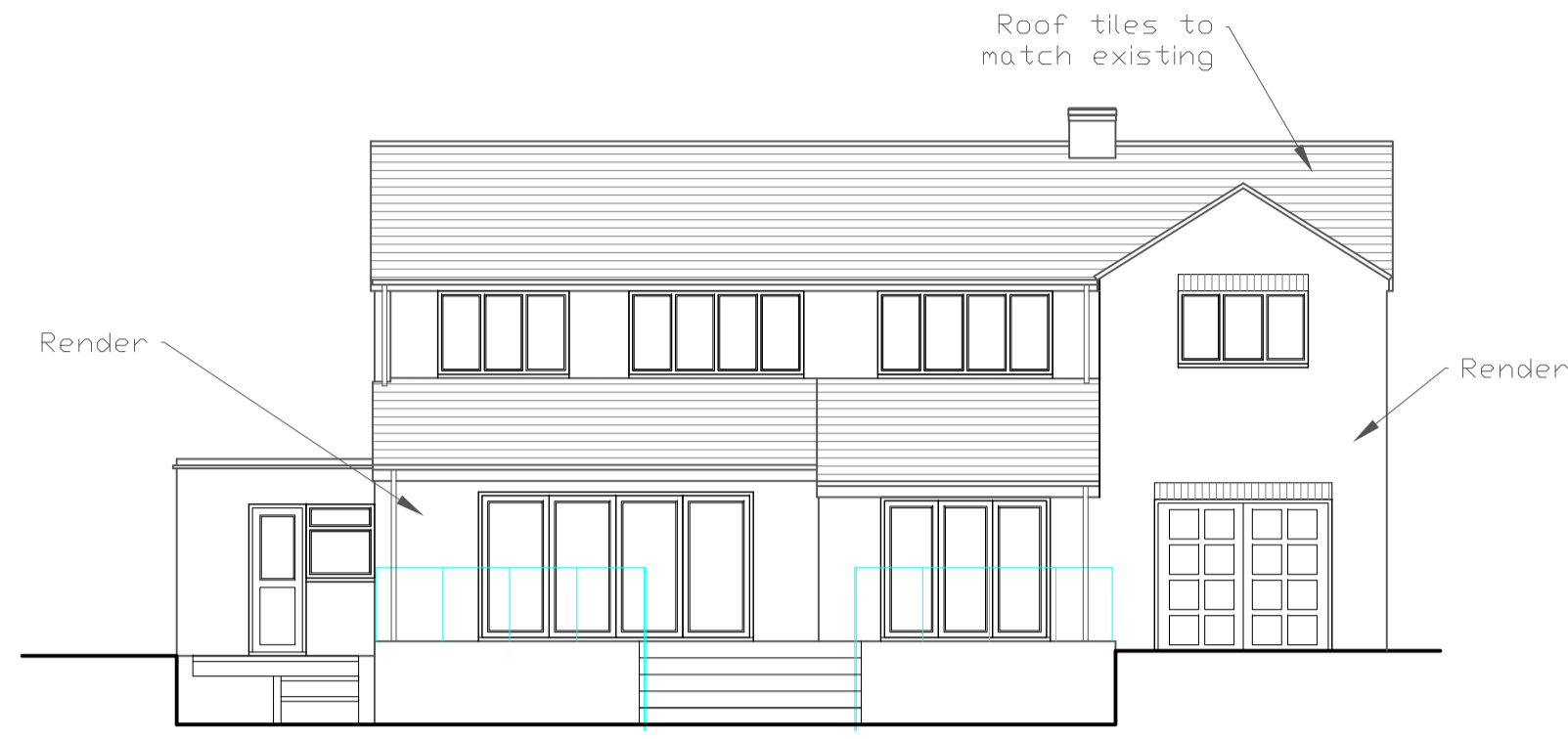
28/03/2022

**Important Notice:**  
 This drawing is copyright and its use or reproduction without the written permission of H.A.A.S.S Ltd is prohibited. Do not scale from this drawing. All dimensions to be checked on site prior to commencement of any work. Any discrepancies to be reported to H.A.A.S.S Ltd immediately. No responsibility will be taken for any construction work undertaken prior to receipt of statutory approvals, or subsequently when work is not in strict accordance with the drawings.

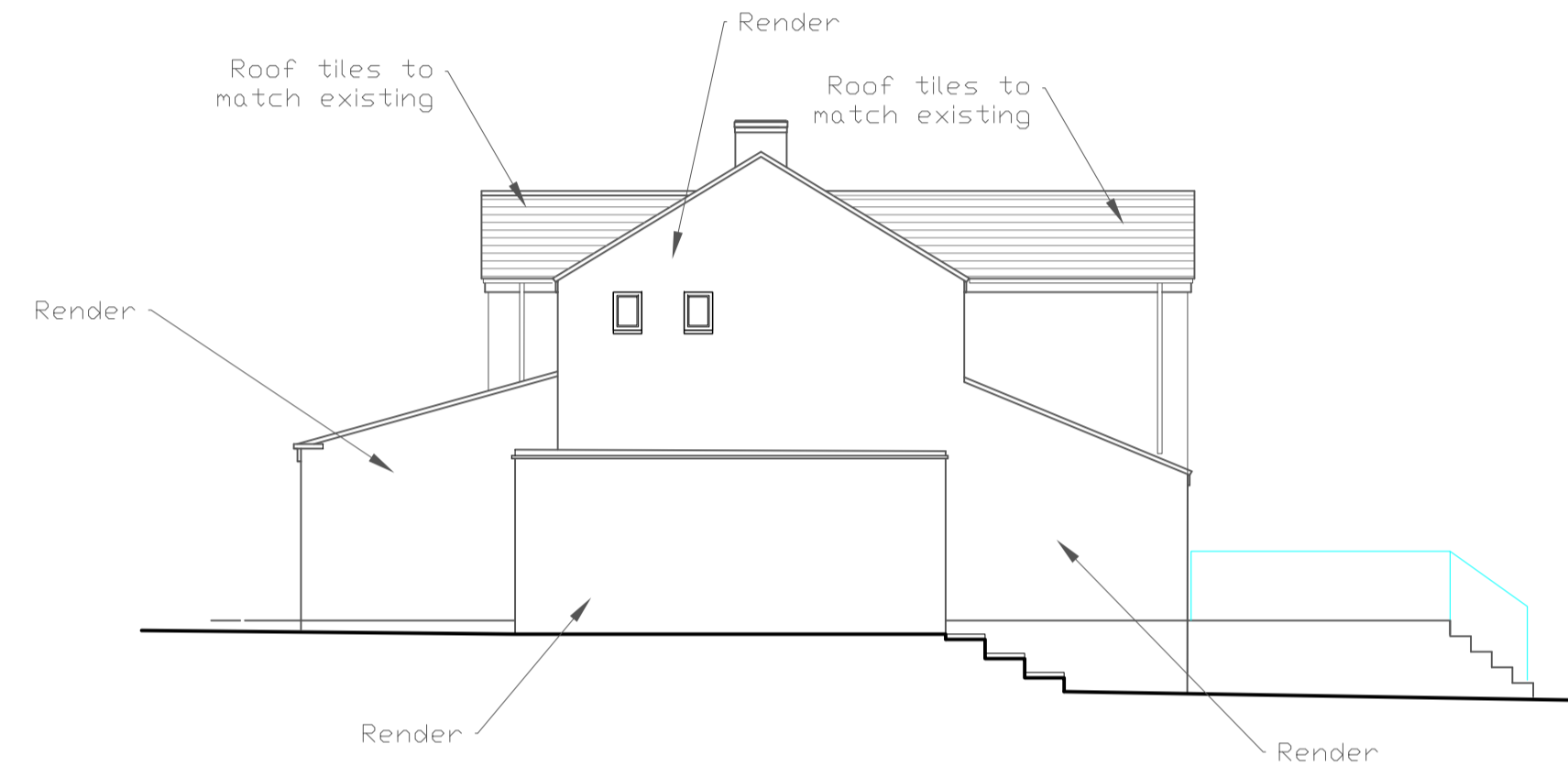
NOTE: Building to be rendered to remove tidemarks of different bricks



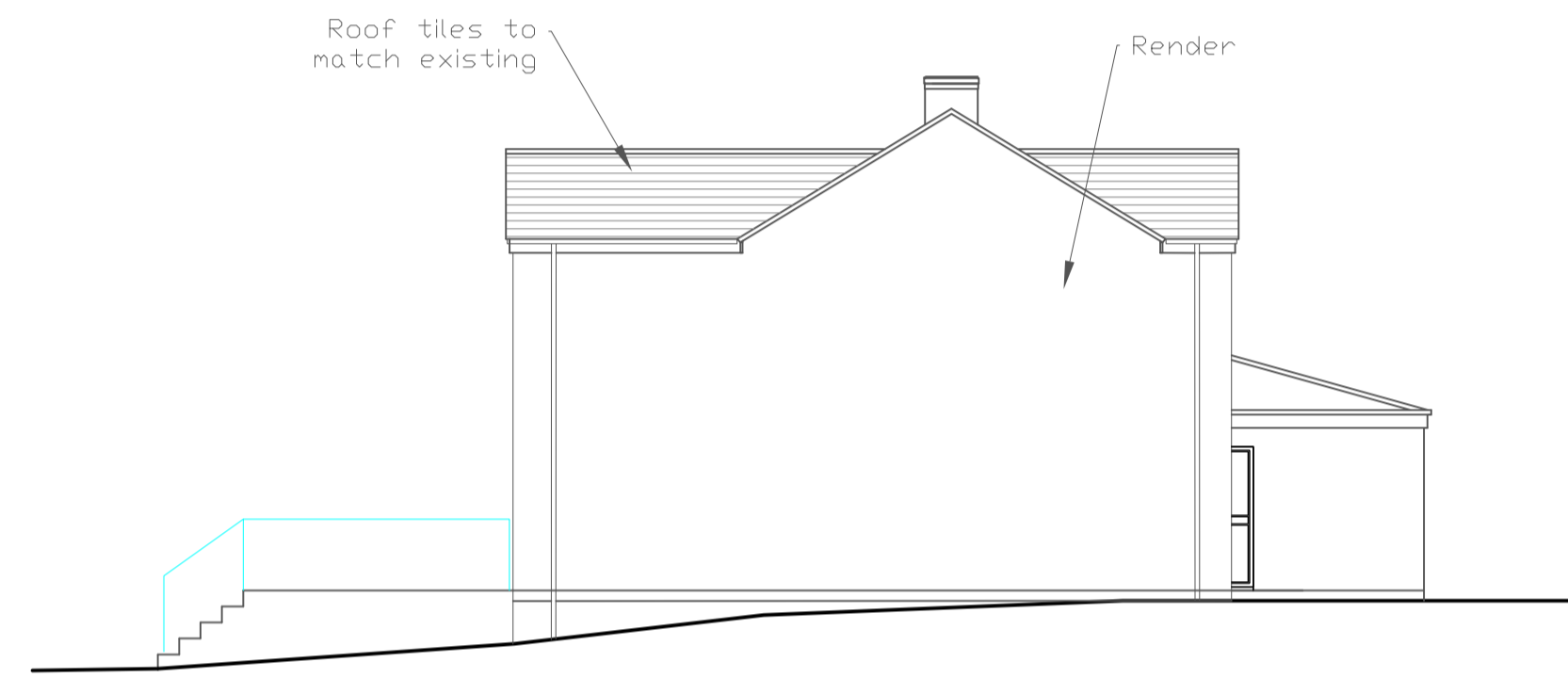
Proposed Front Elevation Scale 1 : 100 @ A1



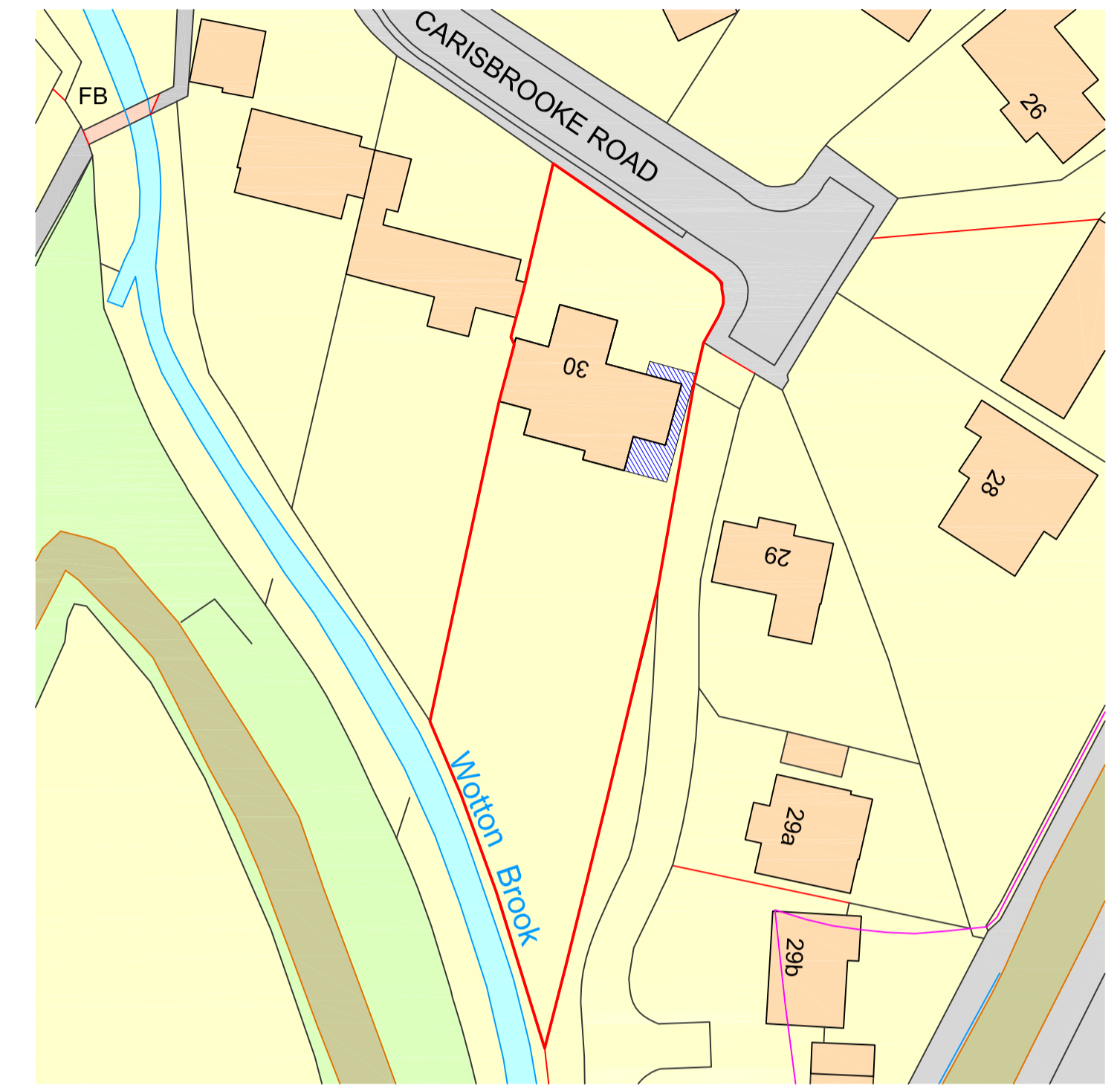
Proposed Rear Elevation Scale 1 : 100 @ A1



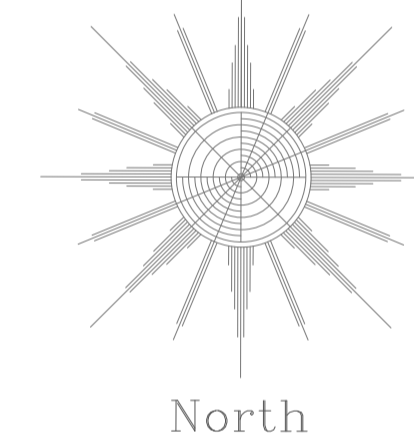
Proposed Side Elevation Scale 1 : 100 @ A1



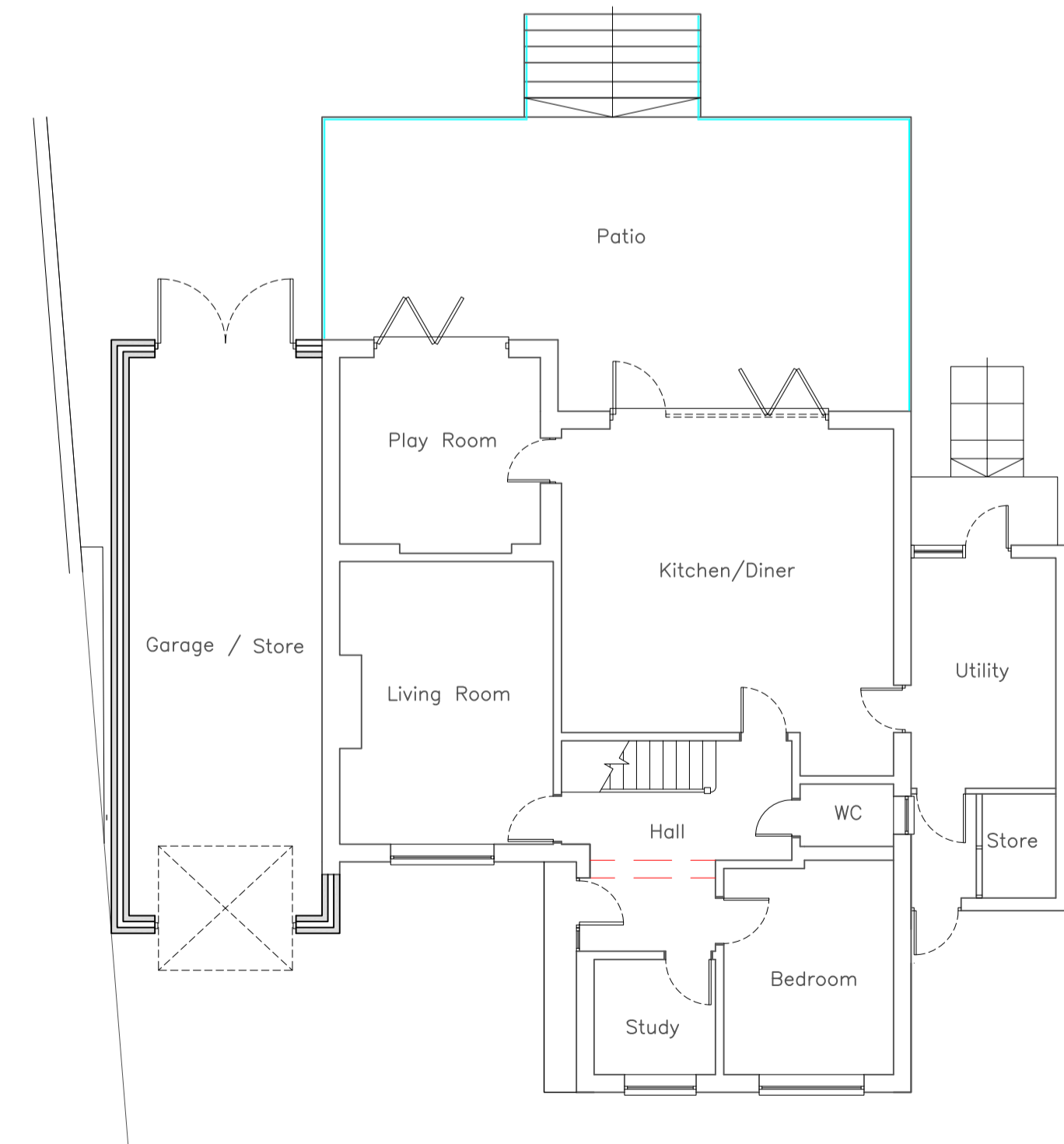
Proposed Side Elevation Scale 1 : 100 @ A1



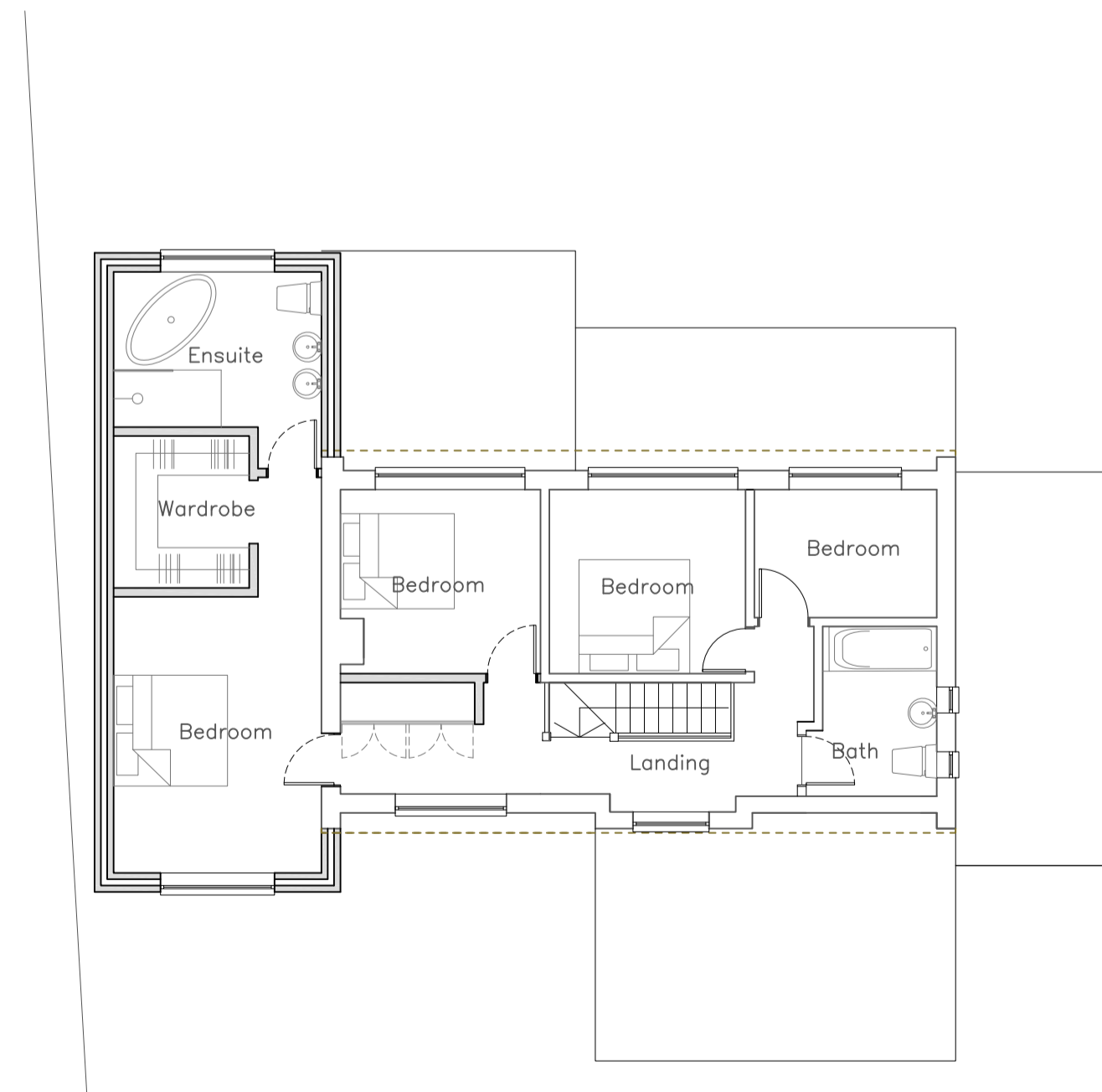
Proposed Block Plan Scale 1 : 500 @ A1



NOTE: Building to be rendered to remove tidemarks of different bricks



Proposed Ground Floor Plan Scale 1 : 100 @ A1



Proposed First Floor Plan Scale 1 : 100 @ A1



Proposed Site Location Plan Scale 1 : 1250 @ A1

Rev	Rev C – House to be rendered	
Project	30 Carisbrooke Road Hucclecote Gloucester	
Client	Mr & Mrs Tooth	
Drawing	Proposed Plans	
Dwg No	H0211/LH/04 Rev C	
Issued for	Planning Permission	
Scale	As Stated @ A1	
Drawn by	Checked by	Date
LH	LH	21st March 2022

**HEMMING**  
 ARCHITECTURAL AND SURVEYING SERVICES