

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

Mr

First name

Surname

Rickards

Company Name

### Address

Address line 1

15

Address line 2

Green Lane

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL3 3QT

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

## Contact Details

Primary number

Secondary number

Fax number

Email address

## Site Area

What is the measurement of the site area? (numeric characters only).

Unit

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes  
 No

## Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes  
 No

If Yes, please describe the last use of the site

When did this use end (if known)?

16/12/2021

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes  
 No

Land where contamination is suspected for all or part of the site

- Yes  
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Red facing brickwork

**Proposed materials and finishes:**

To match existing

**Type:**

Roof

**Existing materials and finishes:**

Concrete interlocking tiles with flat roof area

**Proposed materials and finishes:**

To match existing

**Type:**

Windows

**Existing materials and finishes:**

White UPVC

**Proposed materials and finishes:**

To match existing

**Type:**

Doors

**Existing materials and finishes:**

White UPVC

**Proposed materials and finishes:**

To match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Proposed Elevations and Planning Statement

## **Pedestrian and Vehicle Access, Roads and Rights of Way**

Is a new or altered vehicular access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Are there any new public roads to be provided within the site?

- Yes  
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes  
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes  
 No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

PL07A Proposed Block Plan

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes  
 No

Please provide information on the existing and proposed number of on-site parking spaces

### Vehicle Type:

Cars

### Existing number of spaces:

2

### Total proposed (including spaces retained):

4

### Difference in spaces:

2

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

**If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.**

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course  
 Soakaway  
 Main sewer  
 Pond/lake

## Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

c) Features of geological conservation importance

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.



## Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

**Please note: This question is based on the current housing categories and types specified by government.**

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

## Proposed

Please select the housing categories that are relevant to the proposed units

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

## Market Housing

Please specify each type of housing and number of units proposed

### Housing Type:

Houses

#### 1 Bedroom:

0

#### 2 Bedroom:

0

#### 3 Bedroom:

2

#### 4+ Bedroom:

0

#### Unknown Bedroom:

0

#### Total:

2

### Proposed Market Housing Category Totals

1 Bedroom Total

0

2 Bedroom Total

0

3 Bedroom Total

2

4 Bedroom Total

0

Unknown  
Bedroom Total

0

Bedroom Total

2

## Existing

Please select the housing categories for any existing units on the site

- Market Housing
- Social, Affordable or Intermediate Rent
- Affordable Home Ownership
- Starter Homes
- Self-build and Custom Build

## Market Housing

Please specify each existing type of housing and number of units on the site

### Housing Type:

Flats / Maisonettes

#### 1 Bedroom:

0

#### 2 Bedroom:

2

#### 3 Bedroom:

0

#### 4+ Bedroom:

0

#### Unknown Bedroom:

0

#### Total:

2

Existing Market Housing Category Totals	1 Bedroom Total	2 Bedroom Total	3 Bedroom Total	4 Bedroom Total	Unknown	Bedroom Total
	0	2	0	0		2
					0	

## Totals

Total proposed residential units	2
Total existing residential units	2
Total net gain or loss of residential units	0

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?  
 Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes  
 No

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes  
 No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes  
 No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes  
 No

Is the proposal for a waste management development?

- Yes  
 No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

## Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE:** You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

Josh

Surname

Steele

Declaration Date

16/03/2022

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

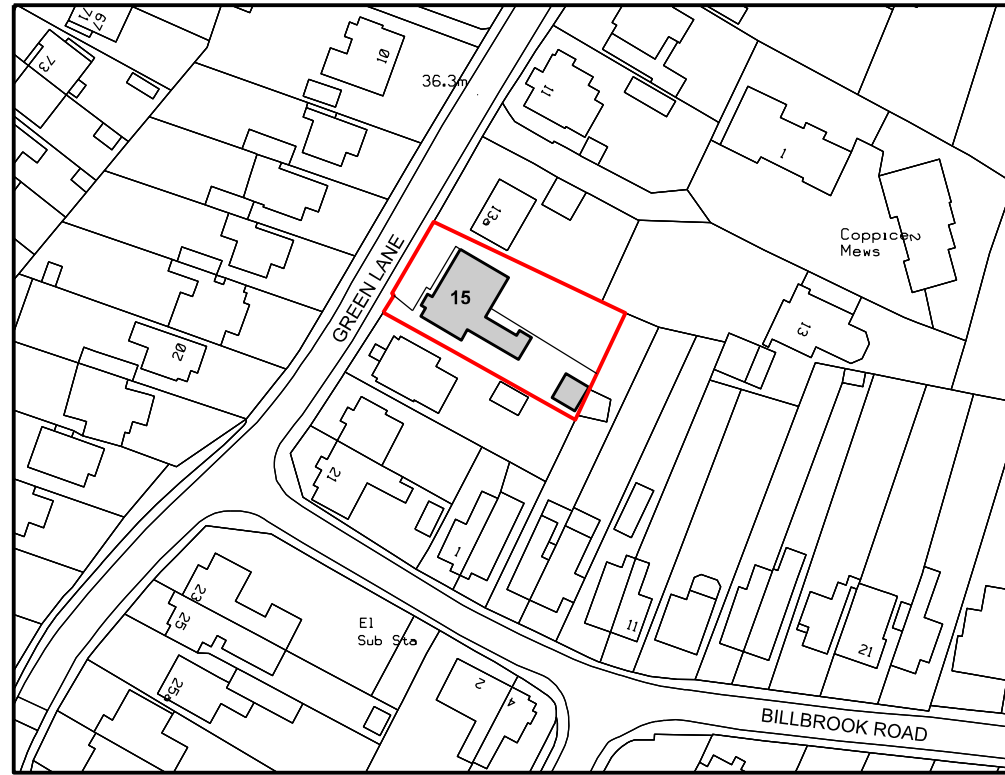
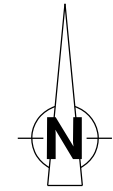
I / We agree to the outlined declaration

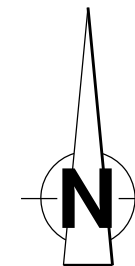
Signed

Josh Steele

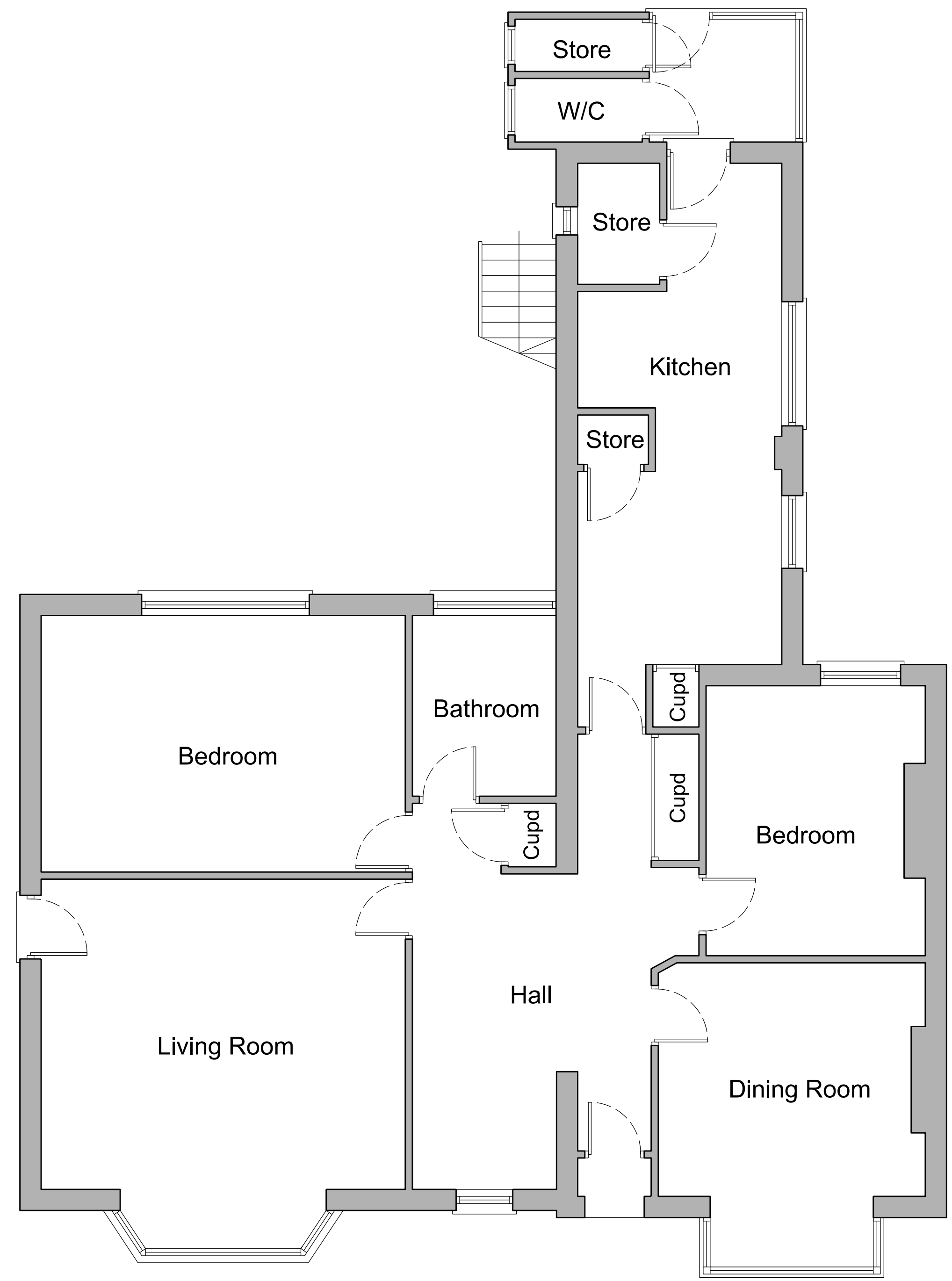
Date

16/03/2022

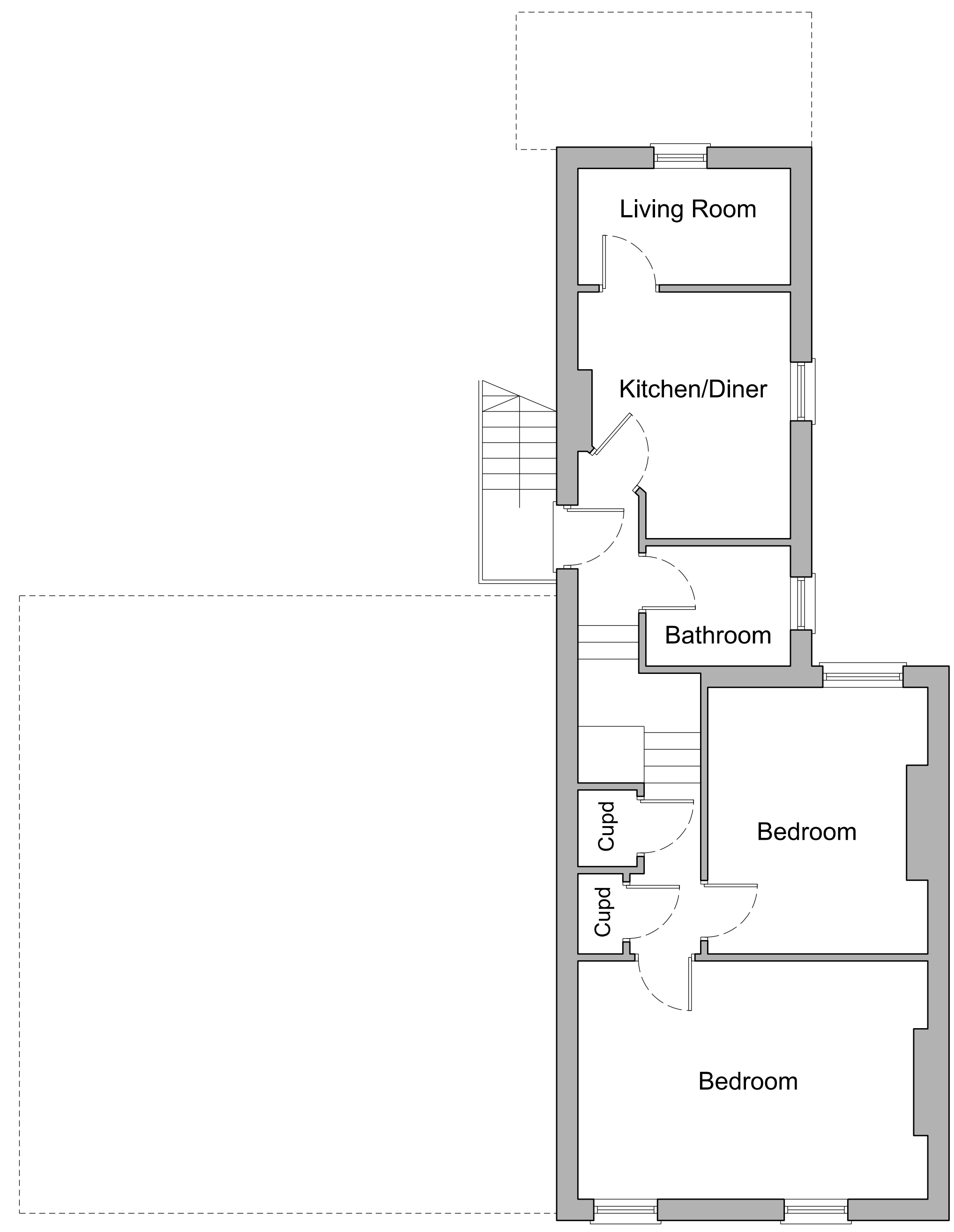




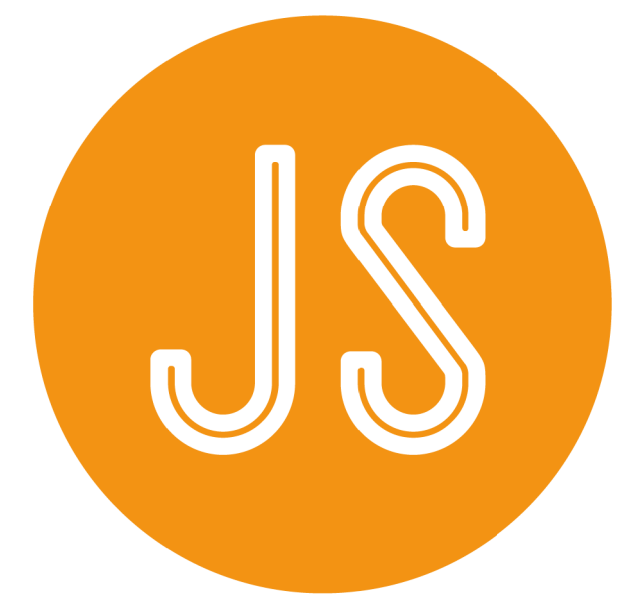
When printed correctly, at A1, this line will measure 100mm at 1:1 size



**Existing Ground Floor Plan**



**Existing First Floor Plan**





When plotted correctly, at A1, this line will measure 100mm at full size

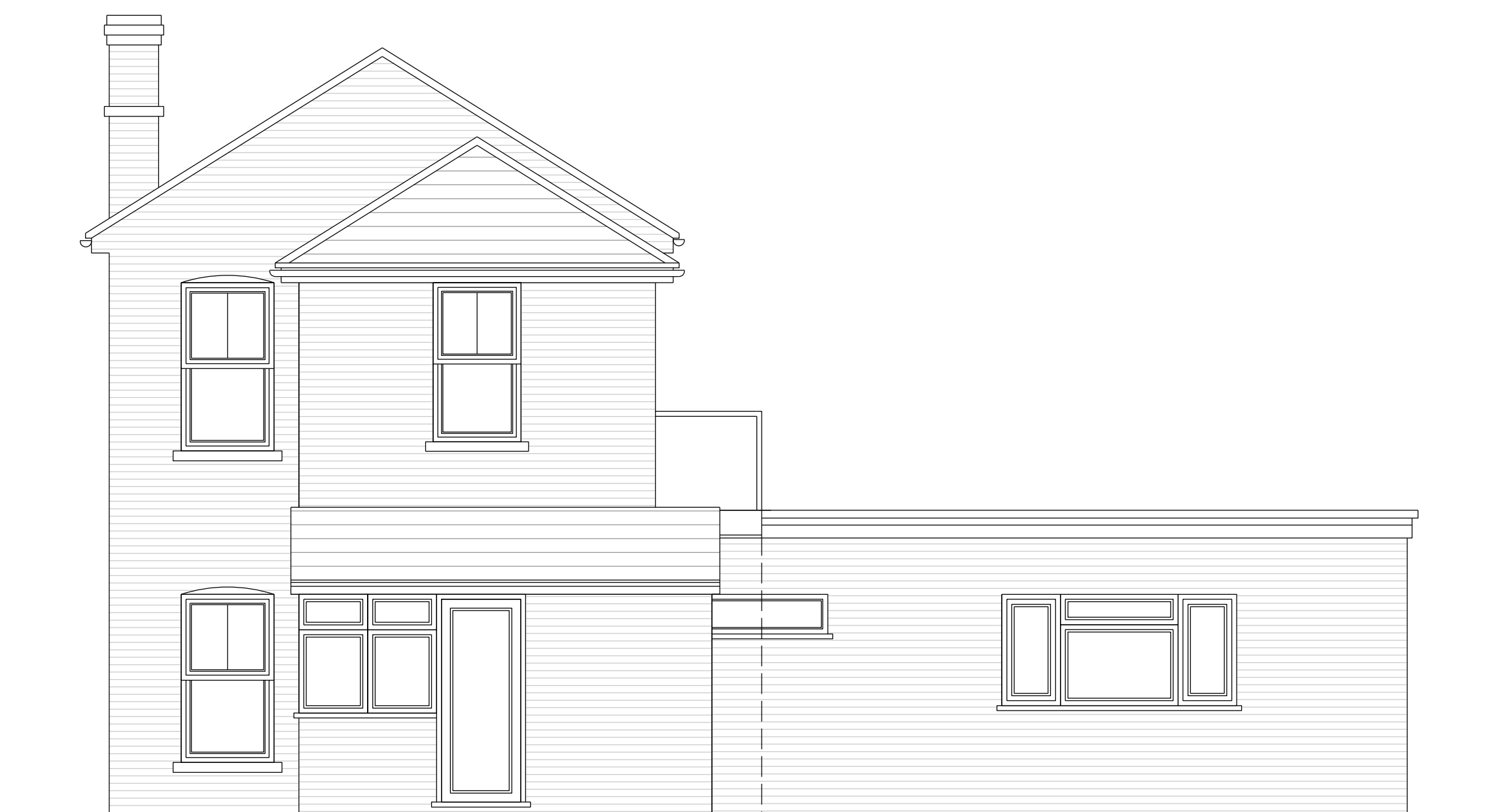
When plotted correctly, at A1, this line will measure 100mm at full size



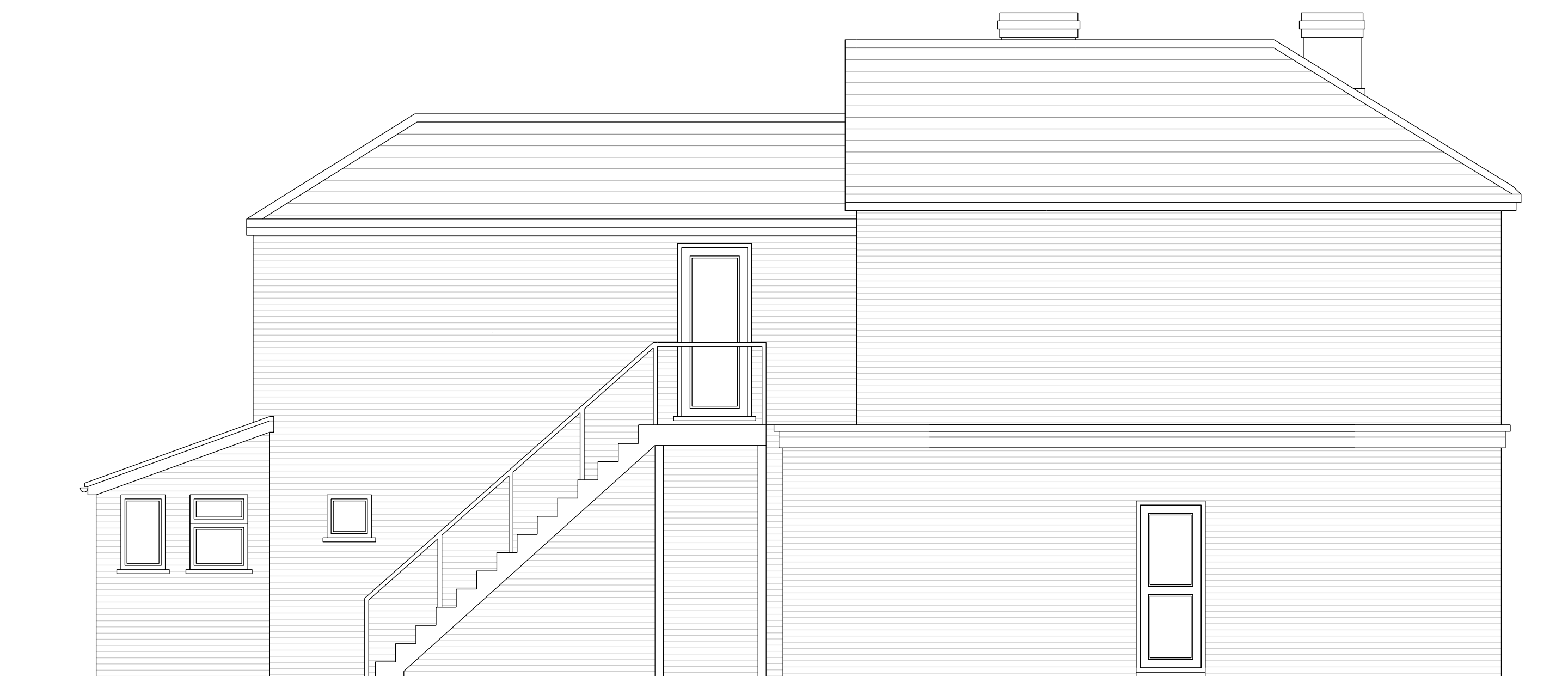
**Existing Front Elevation**



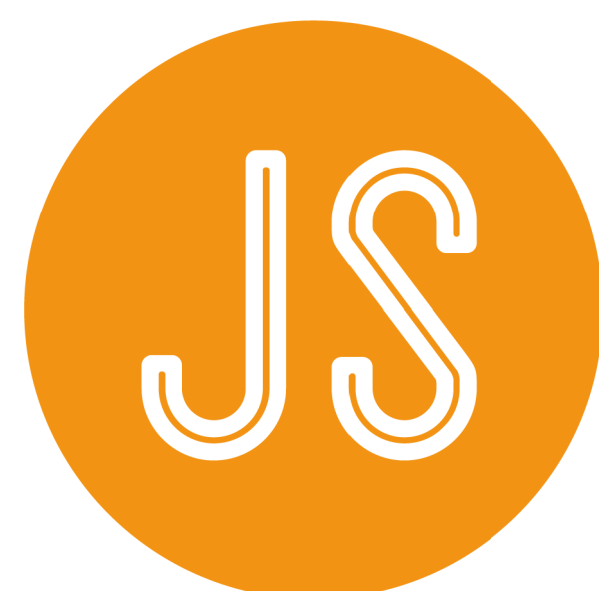
**Existing Side Elevation**



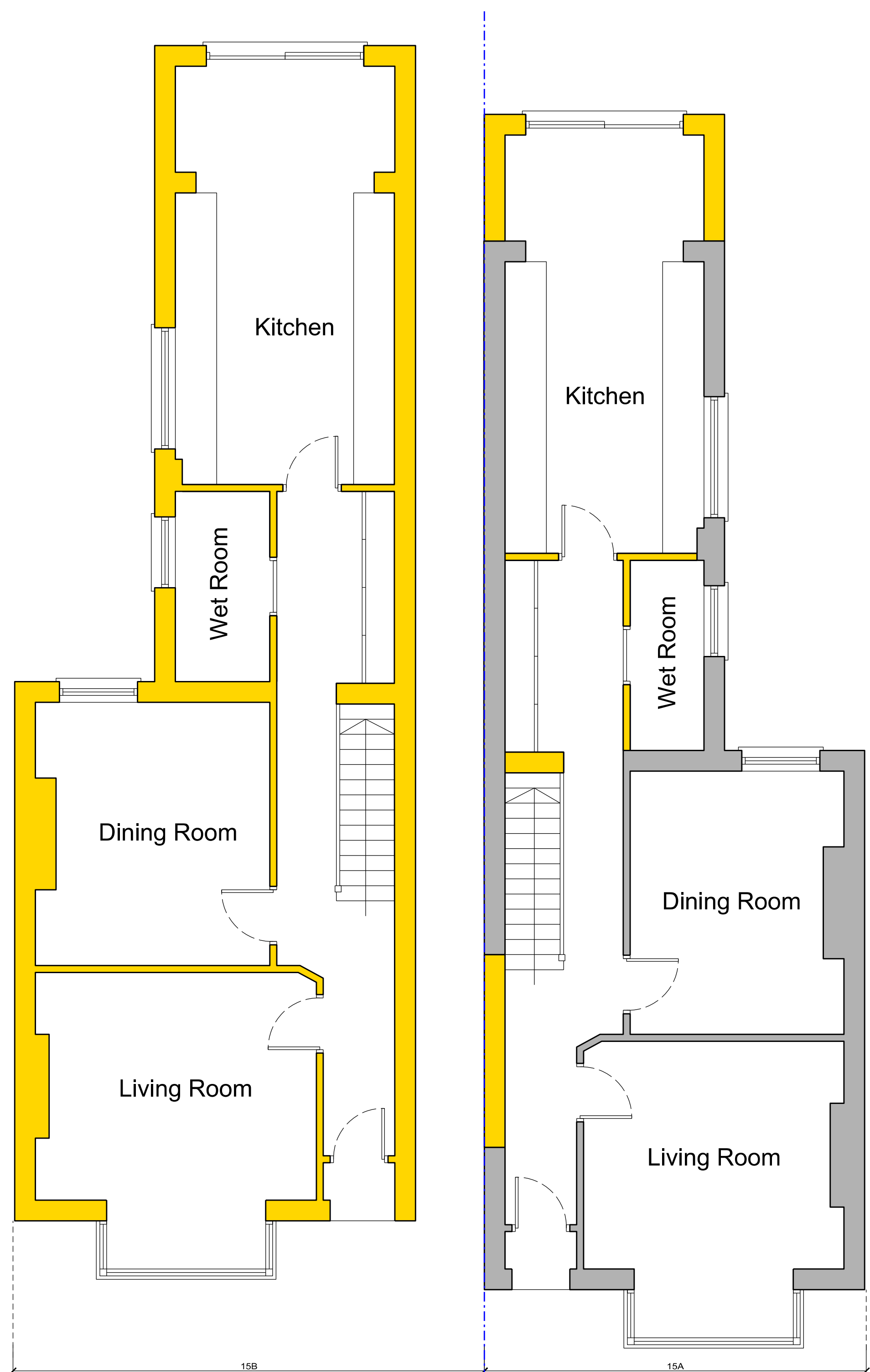
**Existing Rear Elevation**



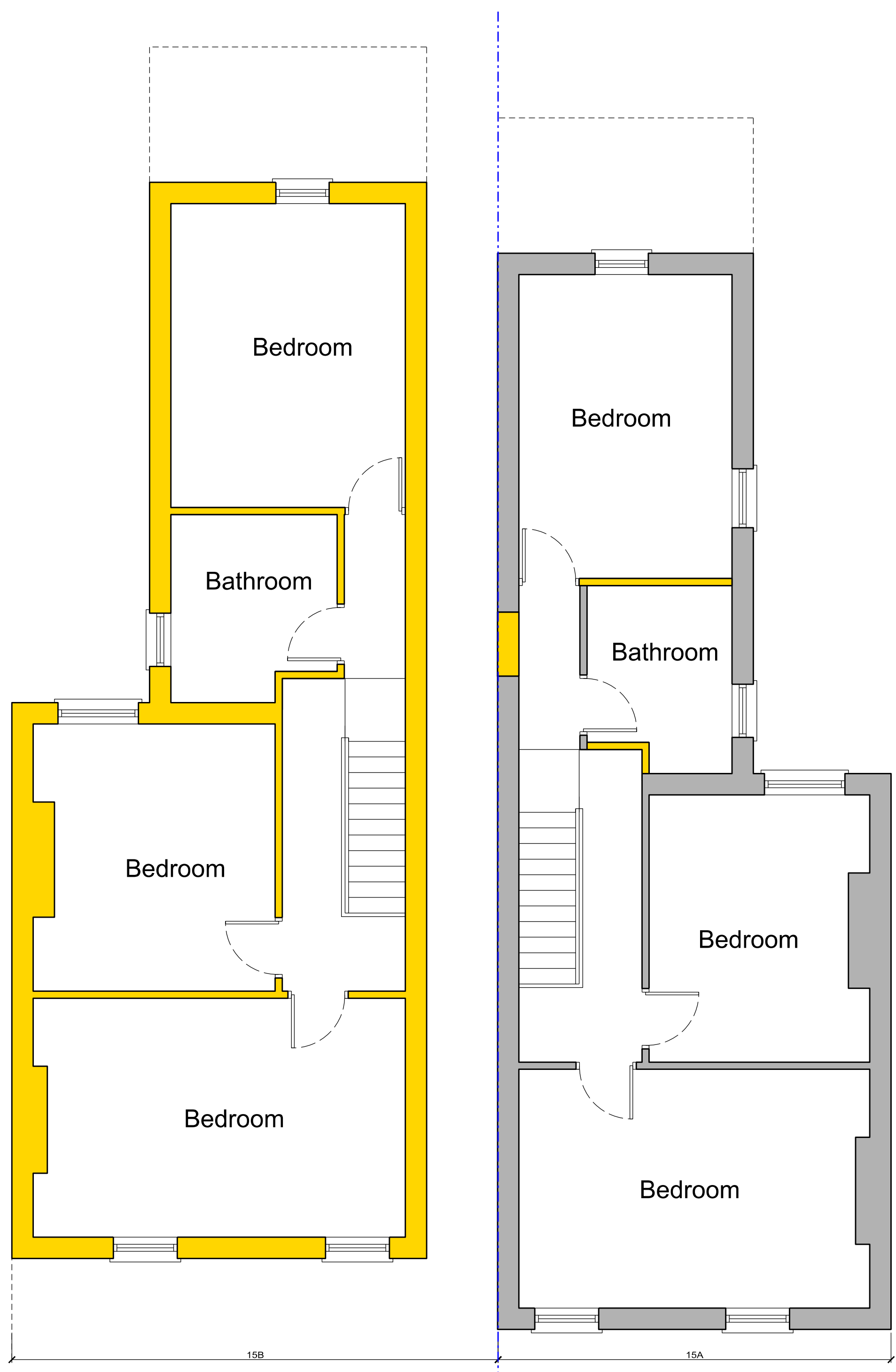
**Existing Side Elevation**



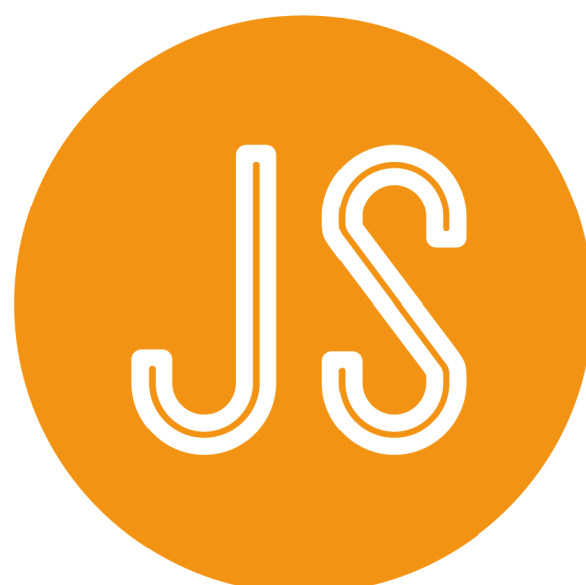
When printed correctly, at A1, this line will measure 100mm at 1:1 size



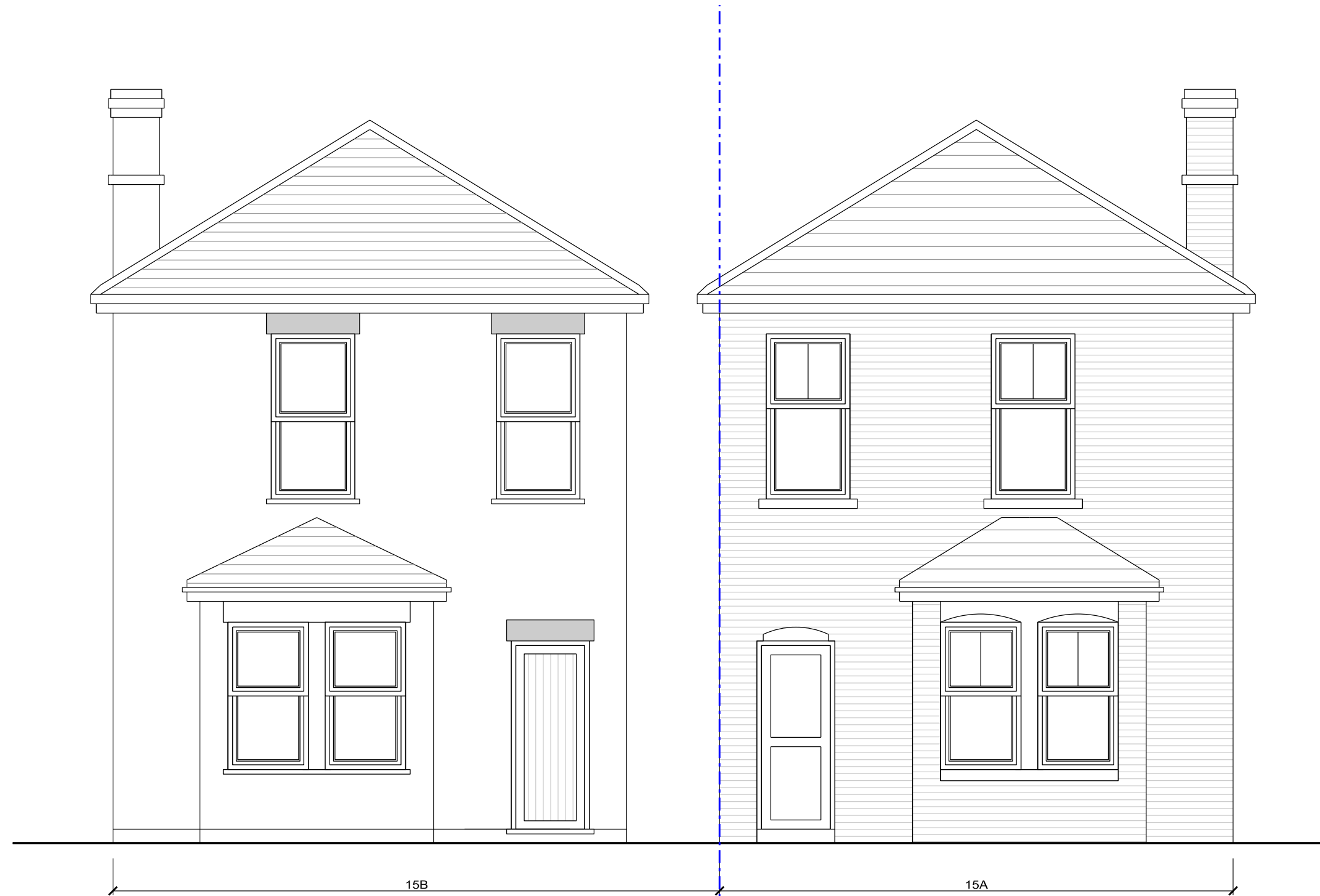
**Proposed Ground Floor Plan**



**Proposed First Floor Plan**



When printed correctly, at A1, this line will measure 100mm at 1:1 size



**Proposed Front Elevation**



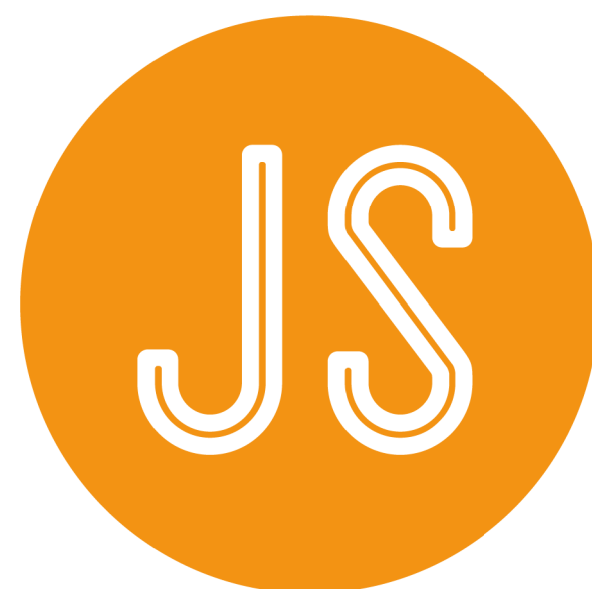
**Proposed Side Elevation**

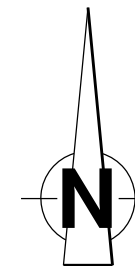
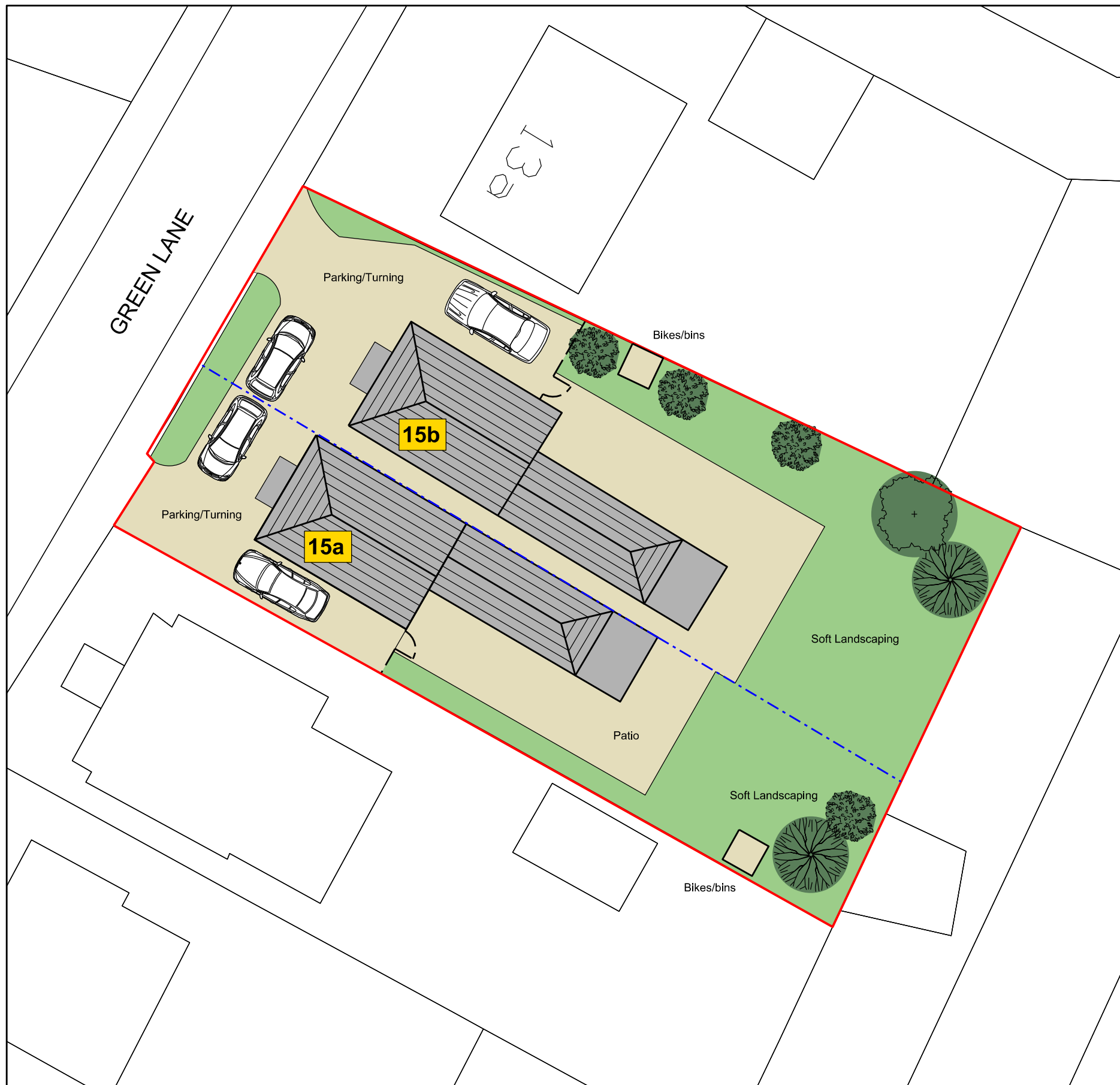


**Proposed Rear Elevation**



**Proposed Side Elevation**





## DESIGN AND ACCESS STATEMENT

15 Green Lane Hucclecote

March 2022

## 1.0 Purpose

This Design and Access Statement has been prepared to accompany the planning application for the part demolition of the existing flats at 15 Green Lane and the erection of 2no. 3 bedroom dwellings.

The following statement describes the proposed site, assesses the context and immediate setting and subsequently explains the response to these contextual issues. The site layout and house types shown on the layout have been submitted in support of the application.

The existing dwelling is of poor quality construction and it is felt 2no. new dwellings to suit the local aesthetics would benefit the street scene.

The purpose of this statement is to set out the design parameters to ensure the scale and layout is in keeping with the local area, and the appearance is of a high standard.

Drawings in this report are for illustration purposes only. The drawings which constitute the application have been submitted separately.

## 2.0 Background

The existing building is of poor construction and the large flat roof area with external staircase does not suit the current street scene. It is therefore felt that 2no. dwellings would better suit the local area.

## 3.0 Site

The site is located in Hucclecote off Green Lane with vehicular access to the front of the site. The site is surrounded by residential developments with other new build and extended properties in close proximity.

There are no listed buildings within the vicinity of the site, and the site is not located within a conservation area. The site is not located within a flood risk zone, and the risk of flooding elsewhere will not be increased as a result of this development. The site is not in an area at risk from mining developments.

## 4.0 Use

The site is located within a residential setting, and the proposed use is to be residential.

## 5.0 Amount

The area for the site is 655m<sup>2</sup>.

A site layout has been produced showing the development footprint, in order to ensure that the plot is sufficiently sized.

The proposed dwellings are 2 storey, detached 3-bed dwellings, which are comparable in scale to similar properties in the area. The dwellings have been positioned within the site to provide sufficient amenity space and vehicular access / parking.

## 6.0 Layout

The new dwelling has been positioned to suit the existing building arrangement and to allow sufficient parking and amenity space, and to ensure that the proposed dwelling has no adverse effect on the adjacent properties.

The geometry of the site has been developed referencing existing adjacent building lines in order to be sympathetic, and reflects the geometry of the boundary of the site.

## 7.0 Access

The intention is to provide a new vehicular access off Green Lane to provide access to 15b while 15a will utilise the existing access off of Green Lane. The first 5 metres from the existing highway will be tarmac. There will be a 2 metre by 2 metre visibility splay maintained. Within the site, the private driveway will be gravel or a similar porous material, and will provide parking for 2 cars.

## 8.0 Scale and Mass

The height of the proposed dwelling has been designed to reflect the heights of the surrounding context, which are predominantly two stories with pitched roofs. Height and scale has been taken from the building on the site that is to be retained as 15a.

Elevations have been submitted in support of this application.

## 9.0 Appearance

The elevational treatment has been developed to be sympathetic to neighbouring properties, therefore respecting the local character and positively responding to the visual amenity.

The proposed materials are:

- Red brickwork
- Concrete interlocking roof tiles
- White UPVC windows and doors

Elevations have been submitted in support of this application.

## 10.0 Landscaping

The vehicular access off of Green Lane (15b) will be surfaced with tarmac from the kerb to the entrance. The remainder of the drive will be surfaced with gravel/tarmac or a similar porous material. 15a will have a tarmac driveway.

Where possible, existing hedgerows will be retained along the boundary, supplemented with new planting to provide screening. The amenity space to the site is to be enhanced.

A bat tube and bird box has been incorporated within the development to aid the preservation of wildlife in the locality – details of these can be seen on submitted drawings.

## 11.0 Conclusion

The dwellings will provide high quality accommodation and private amenity for the future and positively contributes to the street scene, enhancing the character of the setting, its immediate neighbours and the locale. Careful consideration of the site's constraints and contextual surroundings have been taken into account to ensure the site layout responds to the challenges offered.





## 1FR Bat Tube

This maintenance-free concept enables a Bat Tube to be built into the masonry of a wall. The bat tube meets the characteristic behavioural requirements of the types of bats that inhabit buildings. The durable wooden rear panel maintains excellent climatic conditions and provides a surface which the bats can cling on to. The Schwegler Bat Tube 1FR can house approximately 50 to 60 bats. The tube system requires no cleaning or maintenance.

One of the special features is an optional passage through the rear panel: This enables existing cavities occupied by bats in the walls or structure of a building to be retained, providing an unobtrusive solution when conversion, renovation or insulation work is being carried out on older buildings. The bats can crawl from one Tube to another and through the rear into the existing cavities.

Also see product 2FR for modular connecting tubes where a multi side by side install is required.

### Schwegler Bat Tube 1FR Features:

- Siting: Listed buildings, industrial buildings, bridges and buildings of slab-type construction.
- Suitable for: Bat species that inhabit buildings
- Material: SCHWEGLER wood-concrete with integrated internal partitions
- Colour: grey material, paintable with standard air-permeable wall-paint
- Dimensions: height 470 x width 200 x depth 125mm
- Entrance: width 150 x height 200mm
- Weight: approx 9.8 kg

# 1SP Schwegler Sparrow Terrace



## About this product

The Sparrow Terrace has been designed to help redress the balance of falling house sparrow numbers. The current UK population of 6 million pairs is half what it was in 1980 and this is thought to be due to habitat destruction and lack of suitable nesting spaces. Sparrows are social birds and like to nest in company. This terrace provides ideal nesting opportunities for three families. Made of Schwegler's revolutionary wood-concrete mix, this terrace is durable, breathable and will last many decades. It may also occasionally attract tits, redstarts and spotted flycatchers.

The terrace can be fixed on to the surface of a suitable wall or incorporated into the wall. It is suitable for all types of houses in built-up areas, and on industrial and agricultural buildings such as barns, sheds and factories. Due to its weight (15kg), it is not suitable for fences or garden sheds. Ideally place the terrace two metres or more above the ground. Either install on the surface of the wall using the plugs and screws provided, or install directly into the wall (see the images tab for illustrations). Cleaning is advisable but not necessary. The front panel can be removed by turning the screw hook.

The Sparrow Terrace is available in either Stone or Brown.

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## Specification

### Brood chamber dimensions:

- \* Height: 16cm
- \* Width: 10.5cm
- \* Depth: 15cm

### External dimensions:

- \* Height: 24.5cm
- \* Width: 43cm
- \* Depth: 20cm

- \* Weight: 15kg

**BIRD AND BAT BOX INFO**

15 Green Lane - Hucclecote

March 2022

## 1.0 Bat Tube

The type of box to be installed is a Schwegler 1FR, the details of which is attached, and will be boxes positioned in accordance with the recommendations of the bat conservation trust, who state that:

- 1) Boxes positioned on the exterior face of a building should be southwest facing, so as to be exposed to the sun for part of the day.
- 2) Be positioned near the eaves, between 4.0m and 5.0m above ground level.
- 3) Have no artificial light shining on the box.

## 2.0 Bird Box

This will be a Schwegler 1SP, details of which are attached, which will be sited in accordance with the recommendations of the RSPB, who state that:

- 1) Boxes positioned on the face of a building should be northeast facing.
- 2) Be positioned between 2.0m and 4.0m above ground level

## HARD LANDSCAPING SCHEDULE

15 Green Lane - Hucclecote

March 2022

## 1.0 Construction Details

The new pedestrian and vehicular access is to be formed in accordance with the requirements of the County Highways Department. The drive to 15b is to be surfaced with tarmac from the driveway to the kerb line, with this area laid at a gradient of 1 in 12. The remainder of the drive, parking and turning areas are surfaced with loose gravel chippings/tarmac, with the maximum gradient of the drive being 1 in 8. 26a parking is to be finished in tarmac throughout.

### **Gravel surfaced areas.**

These areas are to be finished with 20mm gravel/shingle, approximately 50-60mm deep, laid on a sub-base of DT Type 1 (MOT) which consists of crushed rock graded from 40mm down to dust, a minimum of 150mm deep on Geotextile membrane, on excavated ground. Edge gravel extents finished with PC edging kerb. Maximum gradient is 1 in 8.

### **Tarmaced areas.**

From the kerb line to the driveway having a maximum gradient of 1 in 12. - Surface course 25mm thick, 6mm nominal size. Tarmac AC6 dense surface 100/150 to DIT SHW 906. - Binder course 60mm thick, 20mm nominal size. Tarmac AC20 dense binder 100/150 rec. to DIT SHW 906. - Base course 100mm thick, 32mm nominal size. Tarmac AC32 dense base 100/150 rec. to DIT SHW 906. - Sub-base 150mm thick, Type 1 sub-base to DIT SHW Clause 803.

## OUTDOOR LIGHTING INFO

15 Green Lane - Hucclecote

March 2022

## 1.0 External Lighting

Outdoor wall mounted lights will be Kenn 1 which incorporate a cowling and angled so as not to emit at greater than 70 degrees. The Kenn 1 lights will be fitted with a GU10 LED narrow beam lightbulb (4watt), and the LUX reading at the brightest position, 1.0m from source, is 35 LUX.

Details of these lights are below.

The lights will be on a motion sensor, and a timer will be used to switch the lights off between 11.55pm and 6.00am daily.

### **Kenn 1 Outdoor Lighting:**

Product Type: Single Wall Lights Number of Bulbs: 1

Bulbs Included: No

Light Bulb Type: GU10

Max Bulb Wattage: 35 Watt

Compatible with LED: Yes

Light Source: Halogen Dimmable: Yes (With appropriate bulb & switch)

Colours: Black Height: 16cm Width: 6cm

Projection: 11cm

Features: Adjustable Head(s), Energy Efficient With Appropriate Bulb, Water Resistant

Style: Contemporary, Industrial, Modern, Simple

Voltage: 240V

<https://www.litecraft.co.uk/kenn-1-light-adjustable-outdoor-wall-light-black>

