

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Longlevens Rugby Football Club

Address Line 1

Longford Lane

Address Line 2

Address Line 3

Gloucestershire

Town/city

Gloucester

Postcode

GL2 9EU

Description of site location must be completed if postcode is not known:

Easting (x)

384875

Northing (y)

220070

Description

Applicant Details

Name/Company

Title

Longlevens Rugby Football Club

First name

n/a

Surname

n/a

Company Name

n/a

Address

Address line 1

Longlevens Rugby Football Club

Address line 2

Longford Lane

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL2 9EU

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

***** REDACTED *****

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Site Area

What is the measurement of the site area? (numeric characters only).

Unit

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes
 No

Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes
 No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

- Yes
 No

Land where contamination is suspected for all or part of the site

- Yes
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes
 No

Materials

Does the proposed development require any materials to be used externally?

- Yes
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Facing Brickwork

Proposed materials and finishes:

Facing Brickwork to match existing

Type:

Roof

Existing materials and finishes:

Concrete interlocking roof tiles .

Proposed materials and finishes:

Flat roof composite membrane with part balcony finish

Type:

Vehicle access and hard standing

Existing materials and finishes:

Mixture of materials including tarmac , stone & concrete .

Proposed materials and finishes:

Free draining gravel or similar as required by tree report .

Type:

Doors

Existing materials and finishes:

Double glazed Upvc .

Proposed materials and finishes:

To match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
 No

If Yes, please state references for the plans, drawings and/or design and access statement

Site Location Plan - 707/001
Site Plan (Block) - 707/006 rev G
Existing Ground Floor Plan - 707/003
Existing First Floor Plan - 707/004
Existing Elevations 707/005
Proposed Ground Floor Plan 707/007 rev E
Proposed First Floor Plan 707/008 rev G
Proposed Elevations sheet 1 - 707/010 rev B
Proposed Elevations sheet 2 - 707/009 rev B
Existing Detached Store - 707/0
Proposed Detached Store - 707/020 rev B
Design & Access Statement
Tree Report .

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

Please see the deposited Site Plan 707/006 rev G .

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Vehicle Type:

Cars

Existing number of spaces:

29

Total proposed (including spaces retained):

69

Difference in spaces:

40

Vehicle Type:

Disability spaces

Existing number of spaces:

0

Total proposed (including spaces retained):

3

Difference in spaces:

3

Vehicle Type:

Cycle spaces

Existing number of spaces:

0

Total proposed (including spaces retained):

10

Difference in spaces:

10

Vehicle Type:

Other

Other (please specify):

Ambulance

Existing number of spaces:

0

Total proposed (including spaces retained):

1

Difference in spaces:

1

Trees and Hedges

Are there trees or hedges on the proposed development site?

Yes

No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

All internal alterations will use the existing internal foul water drainage connections .

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

If Yes, please provide details:

The Clubhouse has a full time management team who coordinate all waste and recycling on site . All materials capable of recycling are processed in compliance with Gloucestershire County Councils Waste Policy .

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

Yes

No

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

Please add details of the Use Classes and floorspace.

Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)

Use Class:

D2 - Assembly and leisure

Existing gross internal floorspace (square metres):

543.6

Gross internal floorspace to be lost by change of use or demolition (square metres):

0

Total gross new internal floorspace proposed (including changes of use) (square metres):

797.8

Net additional gross internal floorspace following development (square metres):

254.1

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	<input type="text" value="543.6"/>	<input type="text" value="0"/>	<input type="text" value="797.8"/>	<input type="text" value="254.19999999999993"/>

Loss or gain of rooms

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

Existing Employees

Please complete the following information regarding existing employees:

Full-time

Part-time

7

Total full-time equivalent

7.00

Proposed Employees

If known, please complete the following information regarding proposed employees:

Full-time

8

Part-time

12

Total full-time equivalent

14.00

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
 No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
 No

Is the proposal for a waste management development?

- Yes
 No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

***** REDACTED *****

First Name

***** REDACTED *****

Surname

***** REDACTED *****

Reference

21/00916/PREAPP

Date (must be pre-application submission)

27/07/2021

Details of the pre-application advice received

Not yet complete . Those elements which have been provided have been addressed , the resulting details forming the basis of the revised proposal .

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff**
- (b) an elected member**
- (c) related to a member of staff**
- (d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes
 No

Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates; or
 The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners* and/or agricultural tenants**.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant:

***** REDACTED *****

House name:

PO Box 3252

Number:

Suffix:

Address line 1:

Address Line 2:

Town/City:

Gloucester

Postcode:

GL1 9FW

Date notice served (DD/MM/YYYY):

03/03/2022

Person Family Name:

Person Role

- The Applicant
 The Agent

Title

Mr

First Name

Alan

Surname

Steele

Declaration Date

02/02/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Alan Steele

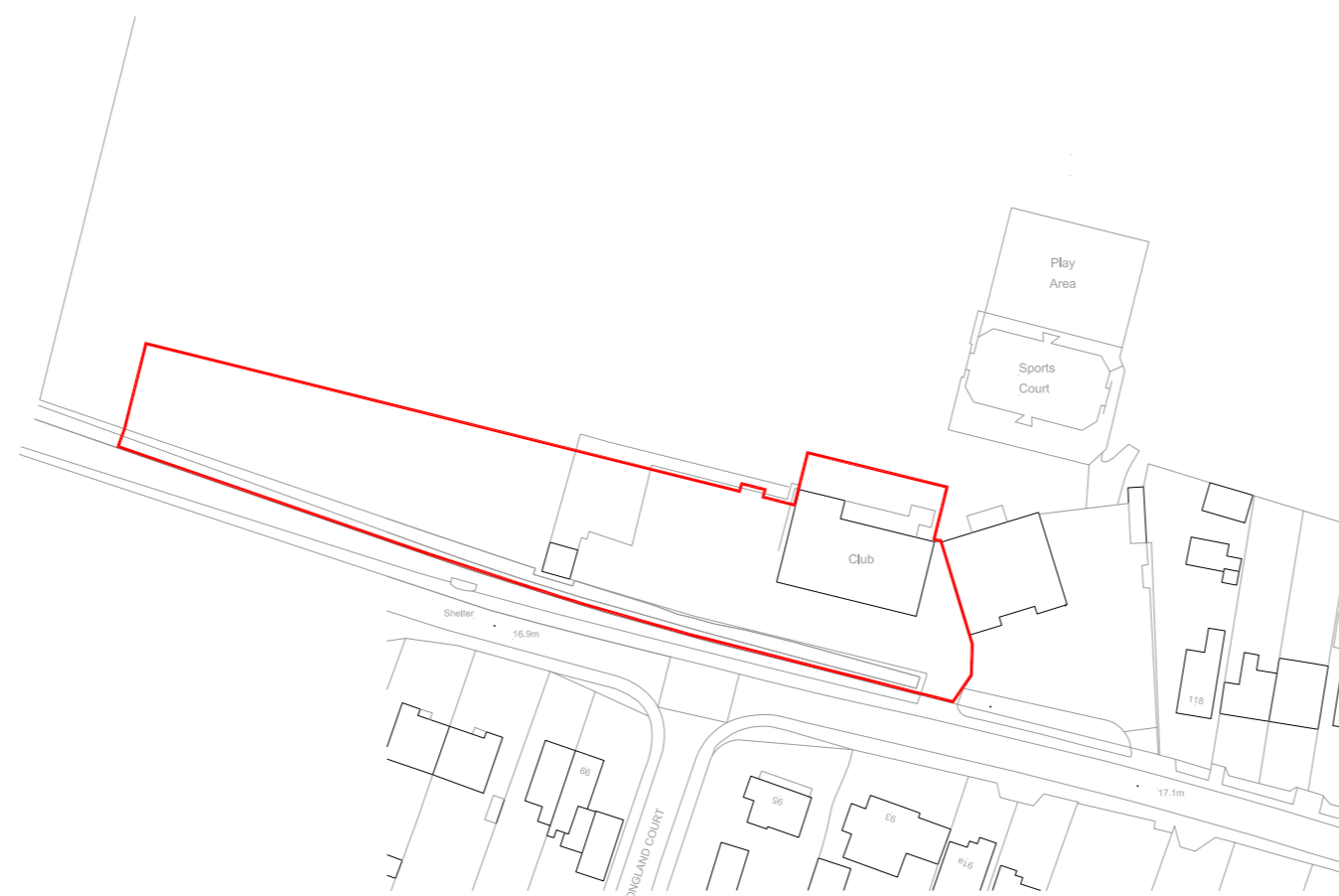
Date

03/03/2022

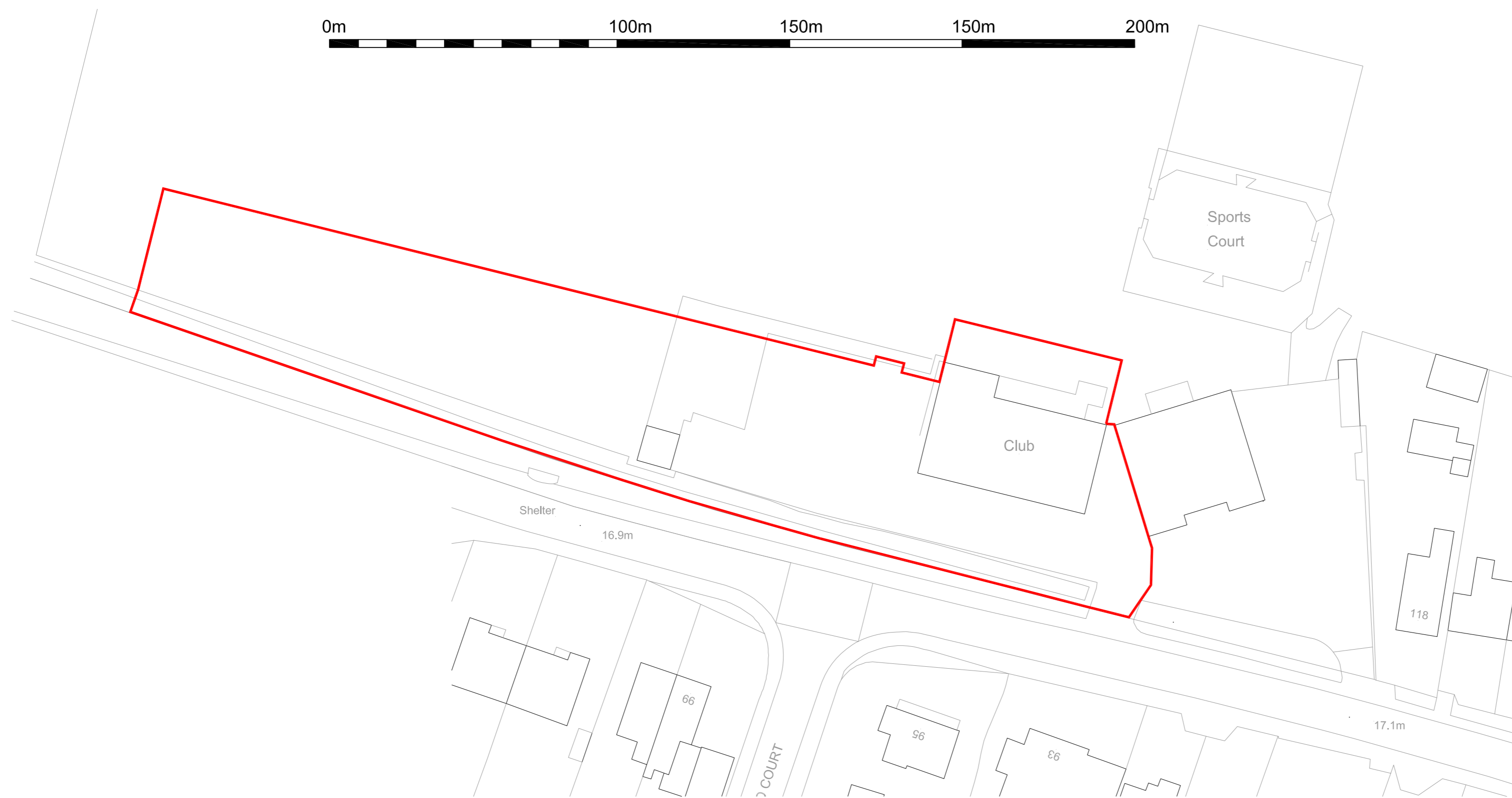
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rev.	date	description
A	02/03/22	Red line to show boundary added to location and block plans



Location Plan @ 1:1250



Block Plan @ 1:500



Planning

Proposed Alterations to Longlevens Rugby Clubhouse, Longford lane, Longlevens, Gloucester, GL2 9EU

Location and Block Plan

Date: Jan 2021

Scale: 1/1250 1/500 @ A2

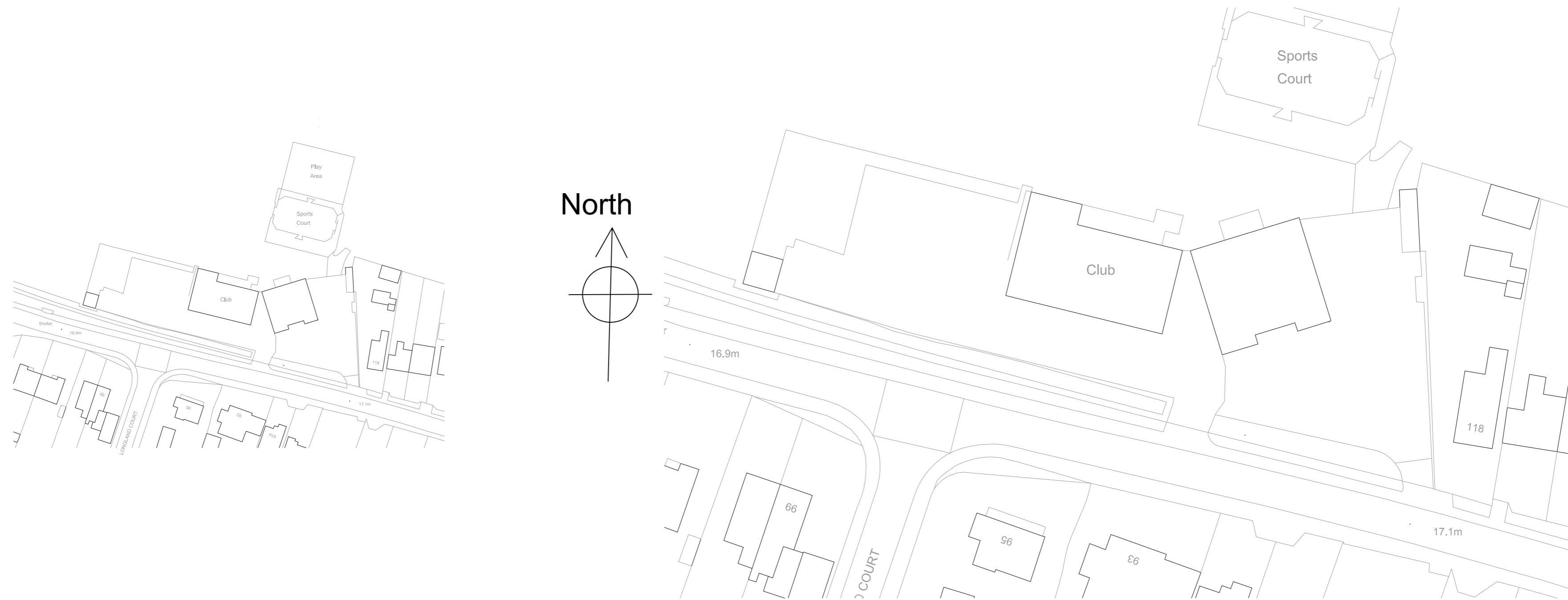
Drawing No:707 / 001 Rev A

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rev.	date	description
-	-	-



Location Plan @ 1:1250



Block Plan @ 1:500



Planning

Proposed Alterations to Longlevens Rugby Clubhouse, Longford Lane, Longlevens, Gloucester, GL2 9EU

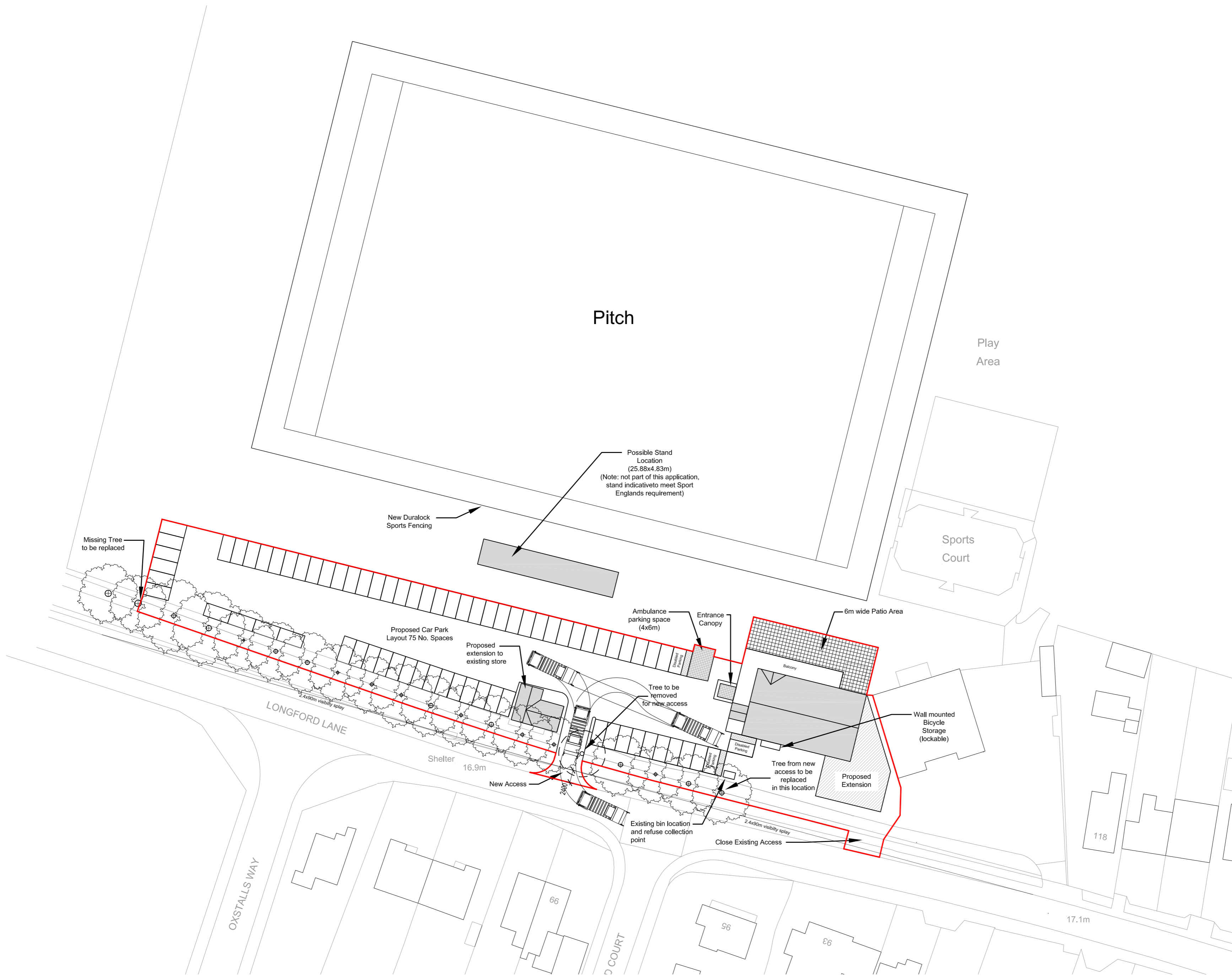
Location and Block Plan Date: Jan 2021

Scale: 1/1250 1/500 @ A2 Drawing No:707 / 001 Rev -



Subject to correct printing. See top left.

rev.	date	description
-	21/01/21	First Issue
A	03/04/21	New Training room amended and possible car parking layout added for comment
B	06/06/21	Parking layout amended, access paths and ambulance space allocated.
C	21/10/21	New Gym and more parking spaces added
D	05/11/21	New Access to car park and car park layout amended
E	10/11/21	Pitch added
F	15/02/22	Duralock fence surround added to pitch, potential spectator stand and possible extension to existing store added. Car parking layout amended to 75 spaces
G	24/02/22	Existing trees added and information about removal and replacing trees to suit new development
H	02/03/22	Red line boundary and patio to clubhouse added
I	09/04/22	Existing refuse collection point, new bike storage and refuse truck tracking added as per planners request
J	13/04/22	Boundary line and car parking note amended to planners request



Block Plan @ 1:500

0m 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m

Proposed Alterations to Longlevens Rugby Clubhouse, Longford lane, Longlevens, Gloucester, GL2 9EU

Proposed Site Plan

Date: Jan 2021

Scale: 1/500 @ A2

Drawing No: 707/ 006 Rev J

DRAINAGE STRATEGY

Written in support of the Planning Application for the proposed Extension to the Clubhouse ,extension to Carpark and creation of improved Access

Longlevens RFC

Longford Lane

Gloucestershire

GL2 9EU

The case officer has requested that we deposit a 'Drainage Strategy' for the proposed works , as detailed above, to the existing clubhouse and carpark.

The submitted Design & Access Statement confirms that the proposed extension creases the footprint of the existing structure by circa 250m sqm . However the site of the extension is currently hard surfaced in part . Further a permanent marquee is to be replaced which has no formal drainage system as such, the proposal offers no increase in surface water runoff as the proposed will have a full surface water drainage system in compliance with SUDS .

The subject site is currently finished in impermeable material , the access and carpark are a mixture of tarmac , concrete and well consolidated hard standings. The proposed development is to include impermeable areas constructed using water permeable materials such as gravel, brick paviours for parking etc. as described in the Water Management Statement.

The proposed is to include surface water collection tanks located to receive rainwater from the buildings downpipes. These tanks will be used to re-cycle rainwater for amenity use. Any excess will overflow into the existing surface water drainage arrangement by way of attenuation, as per the Water Management Statement.

As this develop provides for surface water collection and mitigation, we consider it to be entirely acceptable in surface water management terms.

WATER MANAGEMENT STATEMENT

**IN SUPPORT OF THE PLANNING APPLICATION FOR THE PROPOSED
EXTENSION TO THE CLUBHOUSE , CARPARK AND IMPROVED ACCESS**

TO LONGLEVENS RFC

LONGLEVENS

GLOUCESTRSHIRE

GL2 9EU

Objective:

To minimise flood risk, improve water quality and groundwater recharge and enhance biodiversity and amenity interest.

These aims will be realised by: -

- Managing surface water
- Achieving sustainable drainage principles in new development
- Incorporating appropriate water management techniques into new development
- Ensuring priority is given to the re-use and recycling of water
- Ensure new development negates adverse effects on water cycle, supply and quality
- Establishing the lifelong maintenance and management responsibilities
- Restricting the developed rate of surface water run-off
- The provision of water harvesting, saving and recycling devices in new development

Site Details:

Existing clubhouse and carpark , to be extended as shown on the deposited plan.

The improved vehicular and pedestrian access is shown on the accompanying plans submitted with the application.

Water Management – Construction Phase

There is expected to be no measurable increase in contaminated water during the construction process.

Usage

General water applications will have recognised water saving measures. For example, taps will be 'aerated taps', showers will have 'aerated showerheads', toilets will have dual flush cisterns (3/6 litres). The washing machine and dishwasher will be modern efficient appliances.

Foul Water Management

The subject site is served by an existing public foul drainage system. Any increase created by the proposal can be accommodated within the existing system. The system will be more than capable of handling sewage from the proposed modest works. All new foul water drainage will be approved via the Building Act post planning approval.

Rainwater Gutters & Pipes (Roof Run off)

All downpipes taking rainwater 'run off' from roofs will connect to a water harvesting tanks with management controls and filtration if required.

Overflow will be connected to the existing surface water system

Surface and Hard Surfaces

All proposed hard surfaces are proposed to be water permeable, material choices such as brick paviours for parking areas etc. will facilitate this. Surface water drains located in the existing immediate area and at the low point of the parking area are proposed to be discharged to the existing system of the building. All drainage design will be approved via the Building Act post planning approval.

Maintenance

All drainage pipes will be maintained by occupiers of the building/.

Conclusion

This proposal creates no risk of flood and provides a sustainable drainage solution with future proof credentials.

TOWN CENTRE IMPACT STATEMENT

LPA ref (to be advised – pre-app ref: 21/00916/PREAPP)

Description of Development: Proposed extension to clubhouse to create improved facilities, extension to car park and creation of improved access

Land at: Longlevans RFC Longford Lane Longlevans Gloucester GL2 9EU

1 INTRODUCTION

1.1 Gloucester City Council adopted its Local List requirements for validation in January 2019 (The LPA should review local lists every 2 years. This may have been undertaken, but no updated information appears to be available on the LPA's webpages)

Local List No. 26 relates to:

Town Centre Impact Assessment ("TCIA")

Source: NPPF 3 Para 86-90 (Now NPPF4 para 87-91) & Joint Core Strategy Policy SD2

1.2 Applications for retail, leisure and office development outside of town centres, which are not in accordance with an up-to-date Local Plan, are required to provide an impact assessment where the development has a floorspace of 2,500 square metres or more and demonstrate that they would not harm the vitality and viability of centres or planned investment in centres (in accordance with the NPPF). The NPPG provides further guidance. Developments for town centre uses located outside town and local centres must comply with the sequential test. *(My emphasis)*.

1.3 The proposed scheme is under the threshold for a TCIA. In addition, the DV may be regarded as "out-of-date" for a number of reasons including: Lack of a 5-year supply of housing land; lack of updating to comply with most up to date national policy; lack

of updating to comply with changes in legislation, including amendments to the Use Classes and Permitted Development Orders.

- 1.4 Whilst some weight can be given to the emerging Gloucester City Plan (“eGCP”) it has not yet been adopted. There do not appear to be any policies in the e GCP that seek to alter the thresholds for TCIA, or “major Development” as they appear in the DP and most up to date national policy The JCS remains under review. What was to have been “an immediate review” of JCS Policy SD2, is still understood to be awaited.

2 DISCUSSION

- 2.1 The development in this case does not exceed the 2500 Sq M minimum size threshold. In fact, the new floorspace at 254.1 Sq M is only just over 10% of the minimum threshold. Even if the existing floor space were to be taken into account (which cannot be correct), the total floor space is still less than 32% of the threshold. Major Development is defined in the Glossary to NPPF4. In respect of non-residential use Major Development means:

“...additional floorspace of 1,000m² or more, or a site of 1 hectare or more, or as otherwise provided in the Town and Country Planning (Development Management Procedure) (England) Order 2015

- 2.2 At just 254.1 Sq M additional floor space, the proposal sits well under the 1000 Sq M threshold for a major development. The site area, as submitted, is some 3350 Sq M. which equates to 0.335 hectares, and as such the site is well under the 1-hectare threshold. Accordingly, I would submit that there is no JCS, or National policy requirement, for a Sequential Test in this case.

- 2.3 The definition of Main Town Centre Uses is set out in the Glossary to NPPF4. It is set out in full below:

Main town centre uses: Retail development (including warehouse clubs and factory outlet centres); leisure, entertainment and more intensive sport and recreation uses (Including cinemas, restaurants, drive-through restaurants, bars and pubs, nightclubs, casinos, health and fitness centres, indoor bowling centres and bingo halls); offices; and arts, culture and tourism development

(including theatres, museums, galleries and concert halls, hotels and conference facilities).

- 2.4 Gloucester City Centre is defined as a Key Urban Areas in JCS Policy SD2 and, (together with Cheltenham Town Centre), sits at the top of the hierarchy of centres. Part 3 of SD2 addresses Gloucester City and in particular:

The City Centre Boundary (“CCB”);
Primary Shopping Area (“PSA”); and
Shopping Frontages (“SF”).

- 2.5 The site not located within any such defined areas and is located in a northern suburb, outside the main urban area of the City. The site adjoins and is linked physically and functionally to the Rugby Pitches which are allocated (in the eGCP) as playing fields, and as public open space.
- 2.6 The existing premises are located where they need to be, i.e., adjoining/together with, the associated playing pitches. The facilities cannot be located elsewhere within the urban area, and certainly not within the city centre where they would be divorced from the playing pitches. There are no other sites available that will meet the applicant’s needs.
- 2.7 The proposal does not involve any material change of use. It simply proposes to make best use of space available within the existing site to improve the Club’s facilities. For a change, or intensification, of use, (neither being applicable this instance, and where the site is not within a designated PSA or SF), the primary consideration will be expected to be the impacts upon the amenities of adjacent residents and businesses. The SD2 policy threshold is “significant adverse impact”. In this case the impacts are assessed as likely to fall within the range of minor or negligible to nil.

3 CONCLUSIONS

- 3.1 Due to its small scale the proposals site well below the thresholds for TCIA and for “Major Development”. Although requested, and provided, it is considered that a TCIA is not necessary in this instance.
- 3.2 It is also appropriate to take proper account of the special relationship between the site and the associated playing fields. The relationship is such that the use, and the minor proposal could not be located elsewhere.
- 3.3 It is considered that the impact of the proposals on the City Centre will be at the worst negligible, but most likely *de minimus*. The vitality and viability of the City Centre will not be harmed in any way. There is no conflict with JCS Policy SD2, and no other DP conflicts have been identified. No national policy, or locally adopted guidance, is conflicted.

DESIGN & ACCESS STATEMENT

Written in support of the proposed extension to Longlevens Rugby Football Club's clubhouse, storage building and carpark (to include new access with closure of the existing vehicular access)

SITE

Longlevens RFC, Longlevens lane, Gloucester GL2 9EU. Located on the north side of Longlevens Lane with Milestone School to the west and opposite Longland Court and Oxstalls Way.

PLANNING USE

Class D2 (Assembly & Leisure)

PROPOSAL

The proposed changes to the existing built forms assist in achieving the club's planned improvement towards creating a facility to serve and encourage a more diverse committee of varying abilities. The improvements also assist the club in reaching its full potential as both a sports related centre and community hub.

Currently the clubhouse is somewhat dated, with restricted access to first floor level gym and changing rooms. Its bar lacks commercial flexibility being a little one dimensional in its function. Facilities for match officials is limited.

The proposed refurbishment and extension include: -

- ❖ Improved match official facilities. Catering for both male and female officials if required.
- ❖ Improved changing and showering facilities. Providing privacy/safeguarding.
- ❖ Improved access within the clubhouse for those with mobility challenges
- ❖ Multi-functional areas, ground and first floor for greater flexibility of use.
- ❖ Improved vehicular access.
- ❖ Improved car parking provision and layout, including disabled and ambulance parking.
- ❖ Improved storage for sports equipment.
- ❖ Relocation and extension to existing gym.
- ❖ Greater connectivity between the clubhouse and pitch, providing an enhanced spectator experience.

CONCEPT

To improve the existing built form as a foundation for the planned enhancement of Longlevens Rugby Club. Its close associations with local schools, groups and organisations are some of the driving factors in ensuring a more inclusive facility. Having now established, Mixed Ability Rugby to broaden its already successful youth, colts and senior's sections. Working closely with e.g., Milestone, Belmont and Alderman Knight schools, Active Gloucestershire, Wooden Spoon, The Chamwell Centre and TIC+, the club is fast establishing a wider community benefit with a genuinely broad participation. Whether its top flight amateur level or rugby for those with disabilities or underprivileged children, LRFC has something to offer to all. In addition, LRFC want to create a hub to better serve the residents of Longlevens. The provision of multi purposed areas within the club house will encourage diversity in usage such as yoga, Zumba, etc. Designing a built environment to encourage supporter participation is essential to the clubs inclusive, empathy led ethos.

AMOUNT

The proposal is for an additional 254.26 m² as detailed below: -

Existing Ground Floor space 284.6m²

Existing first floor space 259 m²

Proposed ground floor space 533 m²

Proposed first floor space 264.86 m²

Total Existing 543.6 m²

Total Proposed 797.86m²

LAYOUT

For internal layout alterations please see drawings numbers

707/003 - Ground floor (existing)

707/004 - First floor (existing)

707/007 - Ground floor (proposed)

707/008 - First floor (proposed)

For external alterations please see drawings numbers

707/006 - Site plan

707/005 - Existing elevations

707/009 - Sheet 1 - Proposed elevations

707/010 - Sheet 2 - Proposed elevations

707/019 - Existing store

707/020 - Proposed store

The proposed requires the ground floor extension to provide a replacement gym, an improved ground floor lounge bar area with playing field views. The proposed first floor redesign creates a smaller multi-purpose area with viewing balcony an increased car park and enlarged storage building.

SCALE

The proposal respects the existing scale, ensuring that the building heights are not increased. Incorporating ground floor single storey extensions located to ensure the best use of the site.

LANDSCAPING

With the exception of the mature trees running parallel to Longford Lane the site is void of any structural landscaping. A tree report is deposited providing details of the existing trees. We propose the removal of one tree to form the new improved vehicular access. The applicants are happy to replace the lost tree as detailed in the tree report and shown on the deposited site plan 707/006.

APPEARANCE

All new materials will match those used on the existing structure. The new flat roofs will be of composite construction, including a first- floor viewing patio north of the clubhouse above the lounge bar extension. We believe the proposal to represent an improvement in architectural terms to the existing built form.

ACCESS COMPONENT

Currently the carpark access is constrained, being a tight turn to and from the public highway with challenging gradients. The proposed new access removed these existing constraints, providing a more suitable and easily used access.

CARPARKING

Currently the car park is non-standard. It provides for approximately 29 parking spaces. As the club operates on two pitches, with the potential for 72 plays plus spectators it is considered that the current car park is substandard. This under provision leads to overspill onto the adjoining public highways which in turn creates conflict with neighbours and road users alike. The proposed new car park addresses the current under provision, resolving these issues.

ECOLOGY

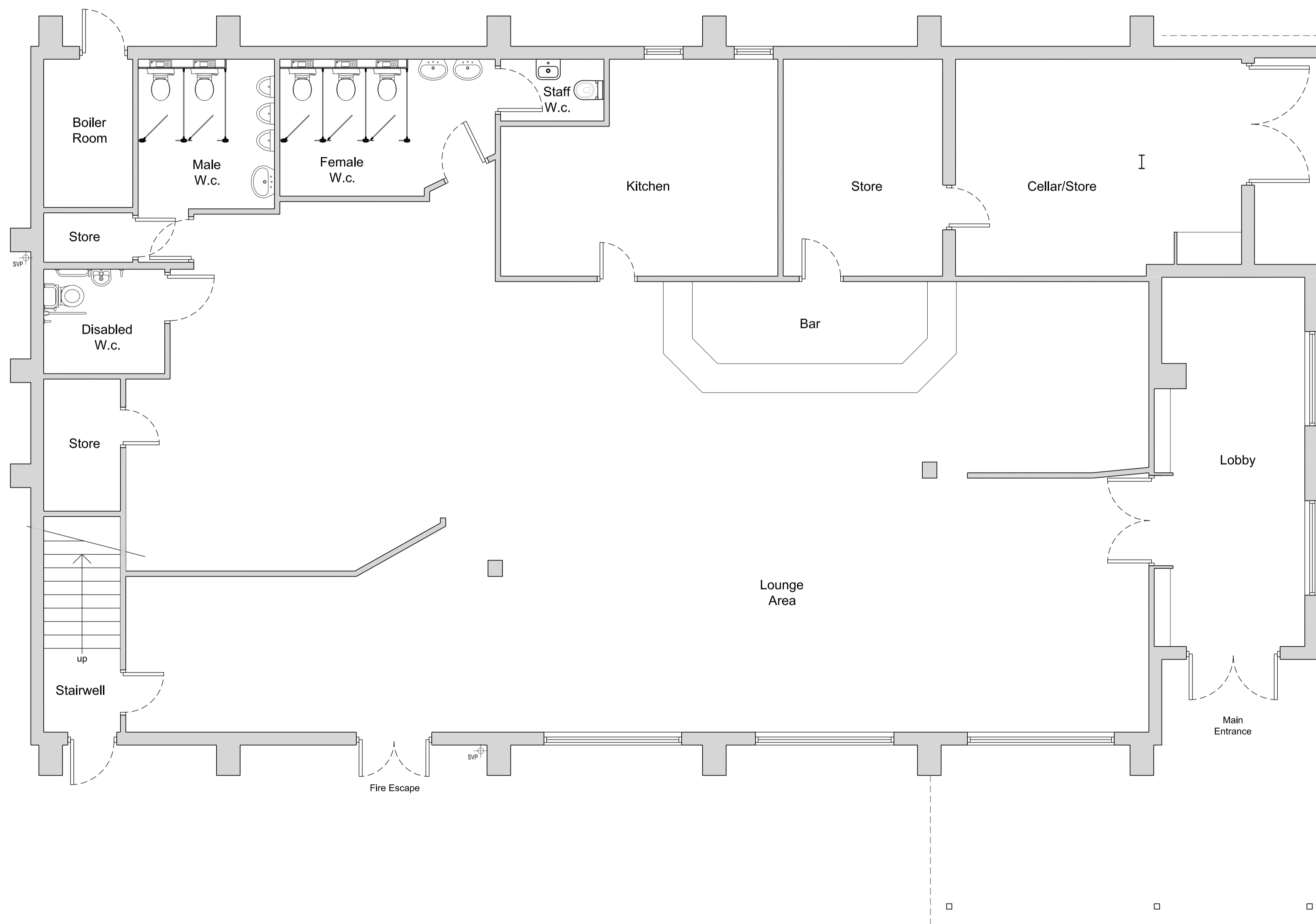
We consider that the proposed offers no likely hazard to any endangered species. The site is in regular use, well-lit with little habitable potential. As such we have not deposited a specialist's report. We are however happy to do so if required.

DRAINAGE

The existing clubhouse is served via foul and surface water drainage. The proposed internal alterations will utilise the existing foul connections with no material increase in flow/capacity. The extended built form will benefit from surface water sustainable drainage, as such any increase in flow/capacity will be mitigated. The introduction of free draining carparking will not only assist in reducing any load on the existing surface water drainage system, but will also ensure the adjoining mature trees are adequately provided for.

Given the significant public benefit derived from this proposal, when balanced against any adverse impact potential identified in the planning process, we consider the scheme is worthy of support and approval.

rev.	date	description
-	29/12/20	First Issue



Existing Ground Floor Plan

Planning

Proposed Alterations to Longlevens Rugby Clubhouse,
Longford Lane, Longlevens, Gloucester, GL2 9EU

Existing Ground Floor Plan

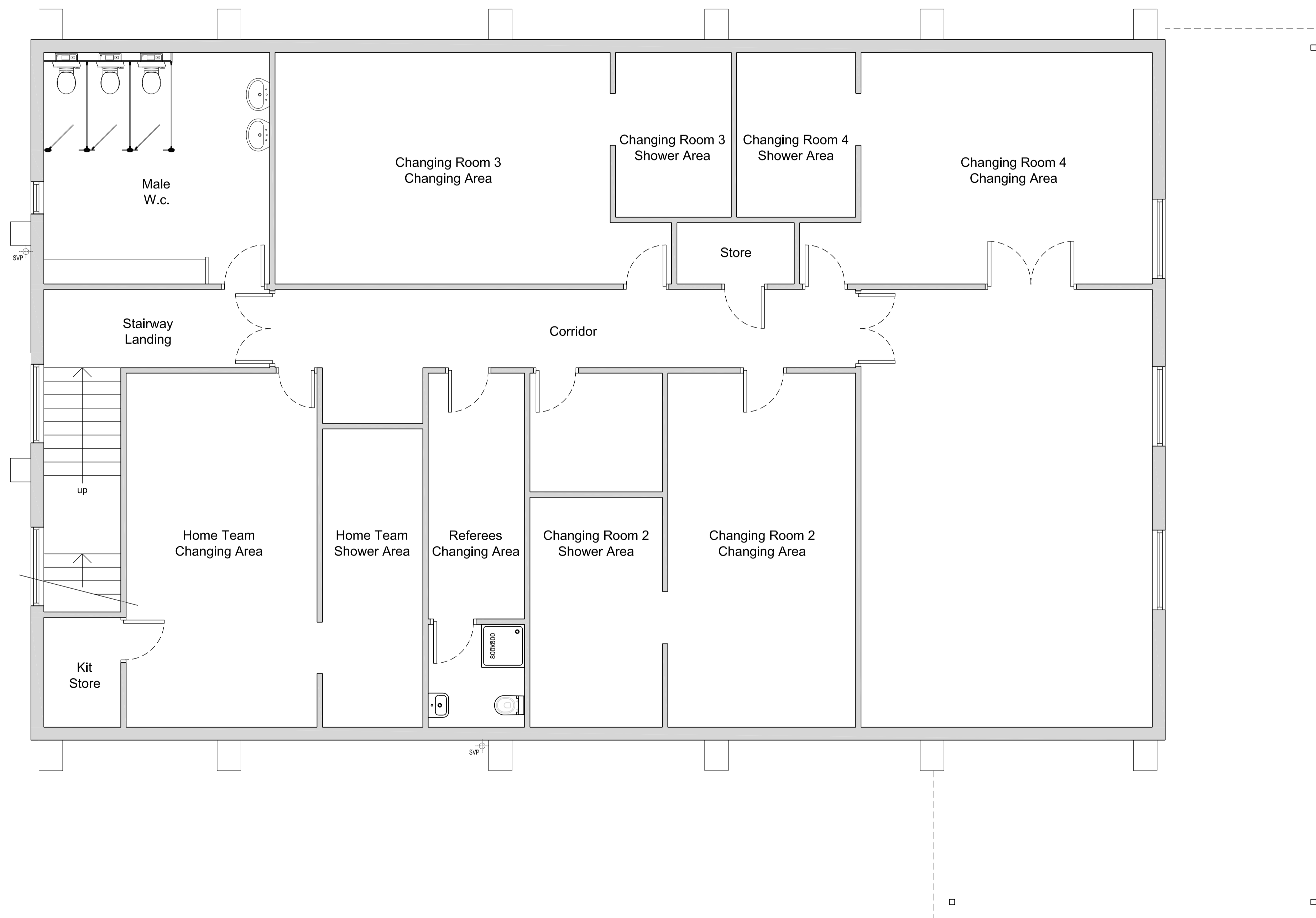
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Scale: 1/50 @ A1

Drawing No:707 / 003 Rev -

Subject to correct pricing. See top left.

rev.	date	description
-	29/12/20	First Issue



Existing First Floor Plan

Planning

Proposed Alterations to Longlevens Rugby Clubhouse,
Longford Lane, Longlevens, Gloucester, GL2 9EU

Existing First Floor Plan

Date: Dec 2020

Scale: 1/50 @ A1

Drawing No:707 / 004 Rev -

Subject to correct pricing. See top left.

rev.	date	description
-	29/12/20	First Issue



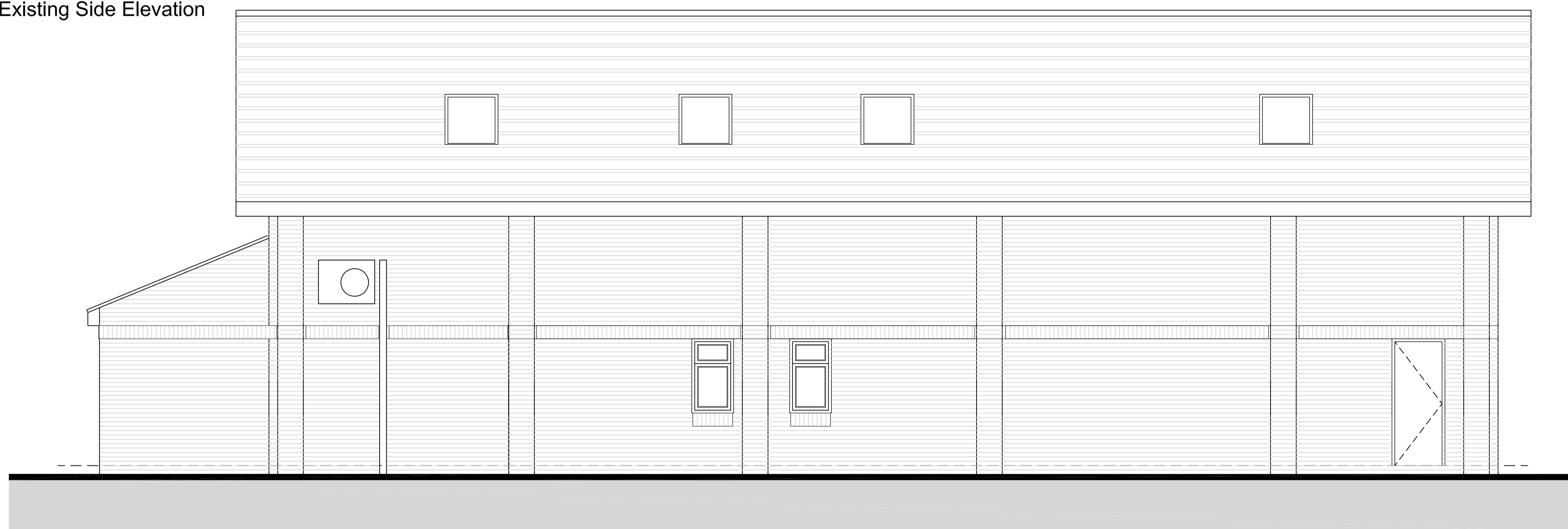
Existing Front Elevation



Existing Side Elevation



Existing Side Elevation



Existing Rear Elevation

Planning

Proposed Alterations to Longlevens Rugby Clubhouse,
Longford lane, Longlevens, Gloucester, GL2 9EU

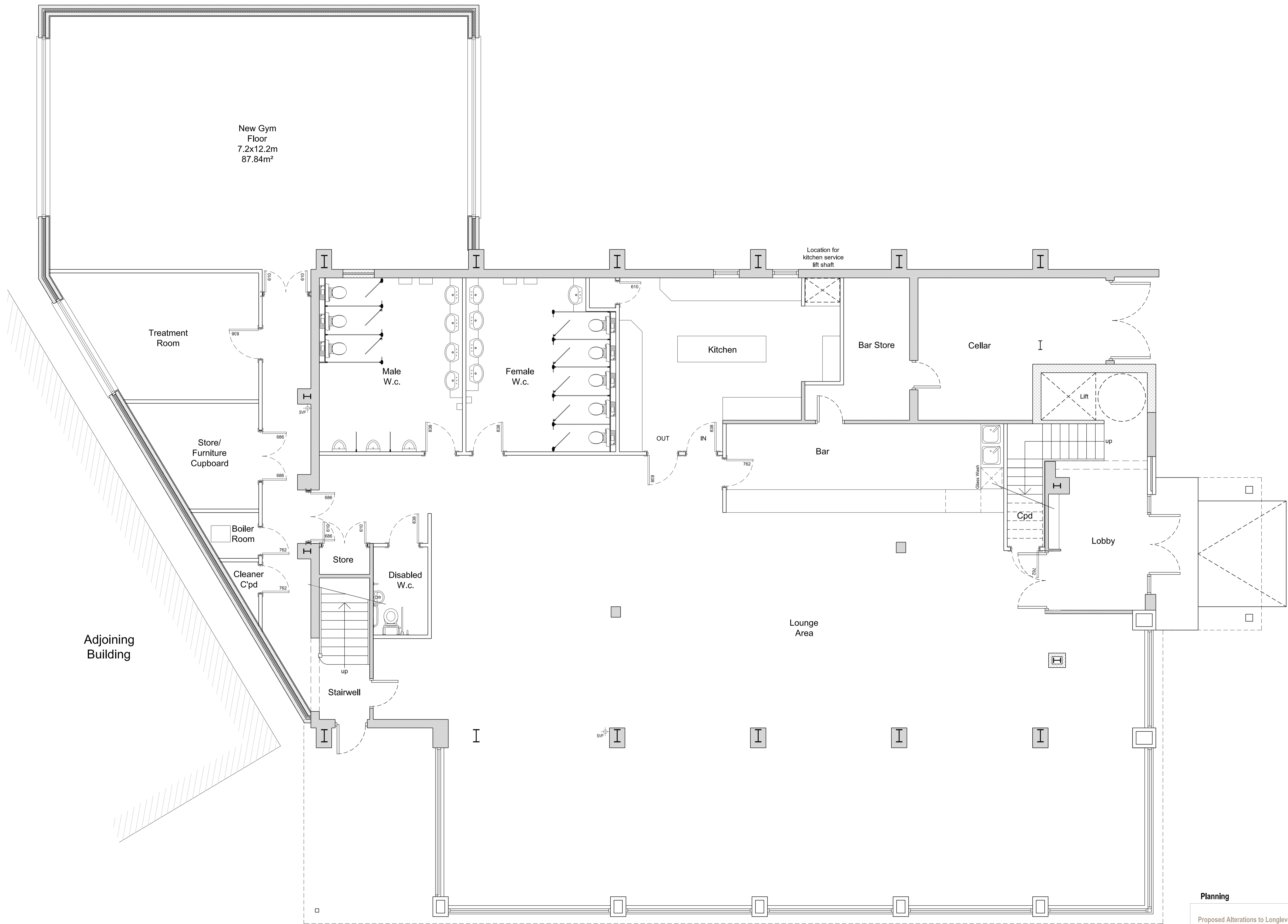
Existing Elevations

Date: Dec 2020

Scale: 1/50 @ A1

Drawing No:707 / 005 Rev -

rev.	date	description
-	29/12/20	First Issue
A	04/03/21	Proposed layout amended to clients requirements
B	28/03/21	Platform lift from GF removed
C	03/04/21	Amended to Existing SE steel grid positions and layout changes as per clients information
D	05/11/21	Bar made bigger with glass wash and sinks included
E	14/02/22	New gym extension added and internal alterations



Proposed Ground Floor Plan

Planning

Proposed Alterations to Longlevens Rugby Clubhouse,
Longford lane, Longlevens, Gloucester, GL2 9EU

Proposed Ground Floor Plan (Phase 1) Date: Jan 2021

Scale: 1/50 @ A1

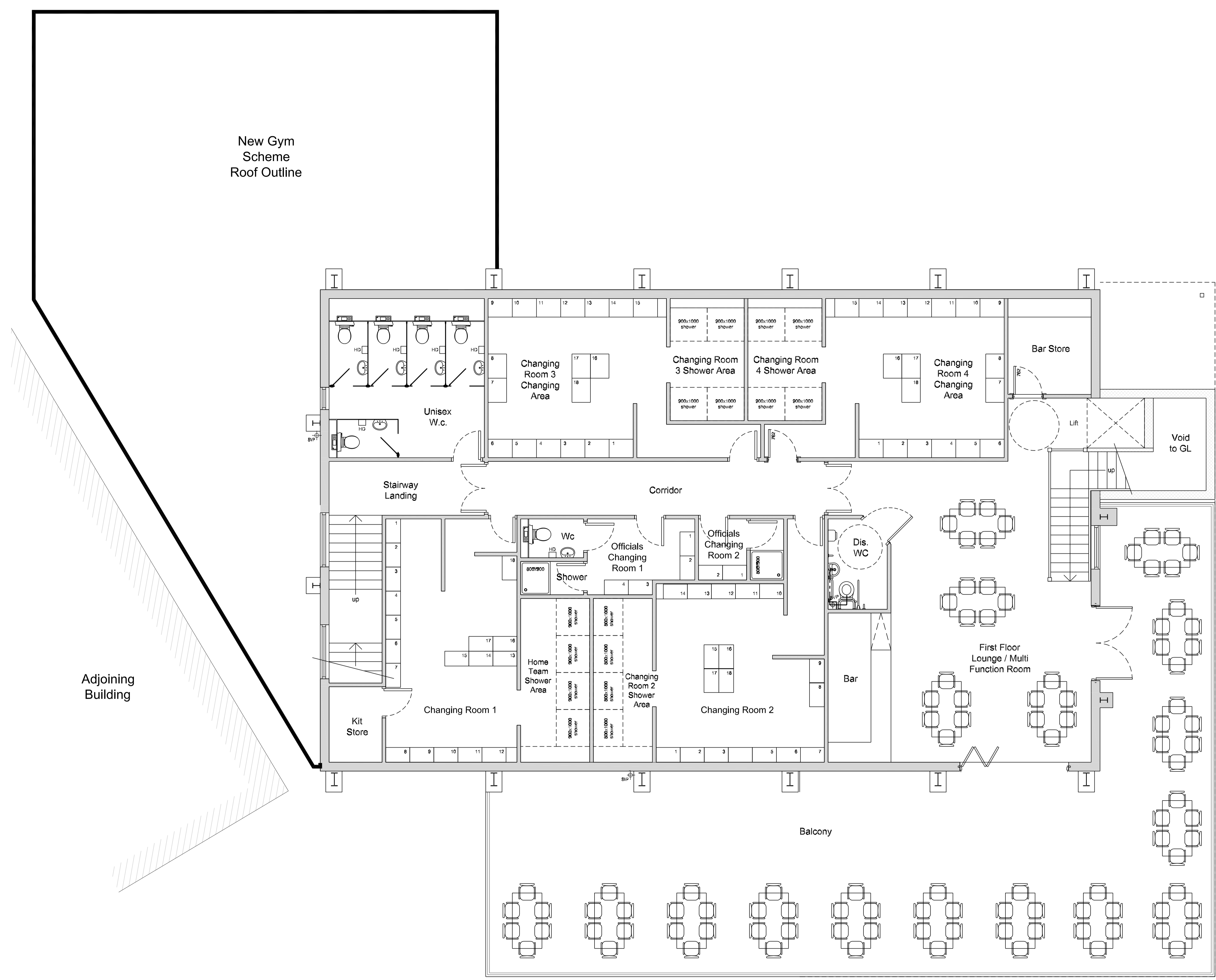
Drawing No707 / 007 Rev E

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rev.	date	description
-	04/03/21	First Issue
A	28/03/21	Layout amended to clients requirements
B	03/04/21	Amended to Existing SE steel grid positions and layout changes as per clients information
C	06/06/21	Balcony access doors amended and disabled wc arrangement in place of female WC.
C	06/06/21	Balcony access doors amended and disabled wc arrangement in place of female WC.
D	05/06/21	Changing Room Positions added and Refs changing room made larger
E	06/02/22	FF layout redesign amendments for client approval
F	14/02/22	New gym extension roof outline and adjoining building extents added
G	24/02/22	Officials changing room labels amended



Proposed First Floor Plan

Planning

Proposed Alterations to Longlevens Rugby Clubhouse, Longford lane, Longlevens, Gloucester, GL2 9EU

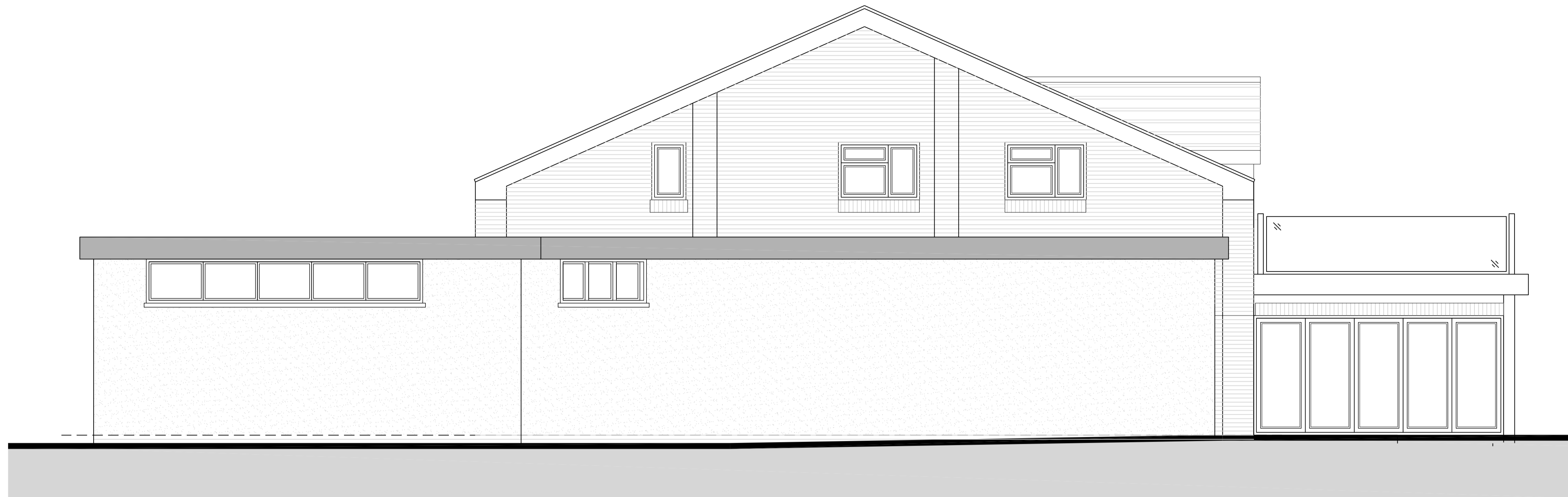
Proposed First Floor Plan Date: Dec 2020

Scale: 1/50 @ A1 Drawing No: 707 / 008 Rev G

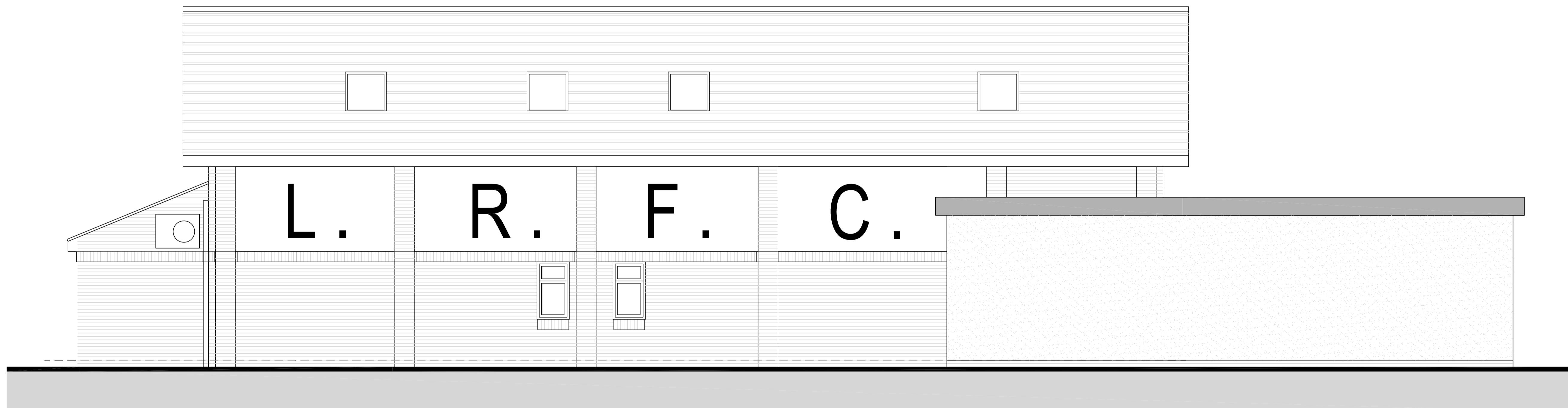


Subject to correct pricing. See top left.

rev.	date	description
-	29/12/20	First Issue
A	03/04/21	Amended to Existing SE steel grid positions and layout changes as per clients information
B	15/02/22	New gym extension added to elevations



Proposed Side Elevation



Proposed Rear Elevation

Planning

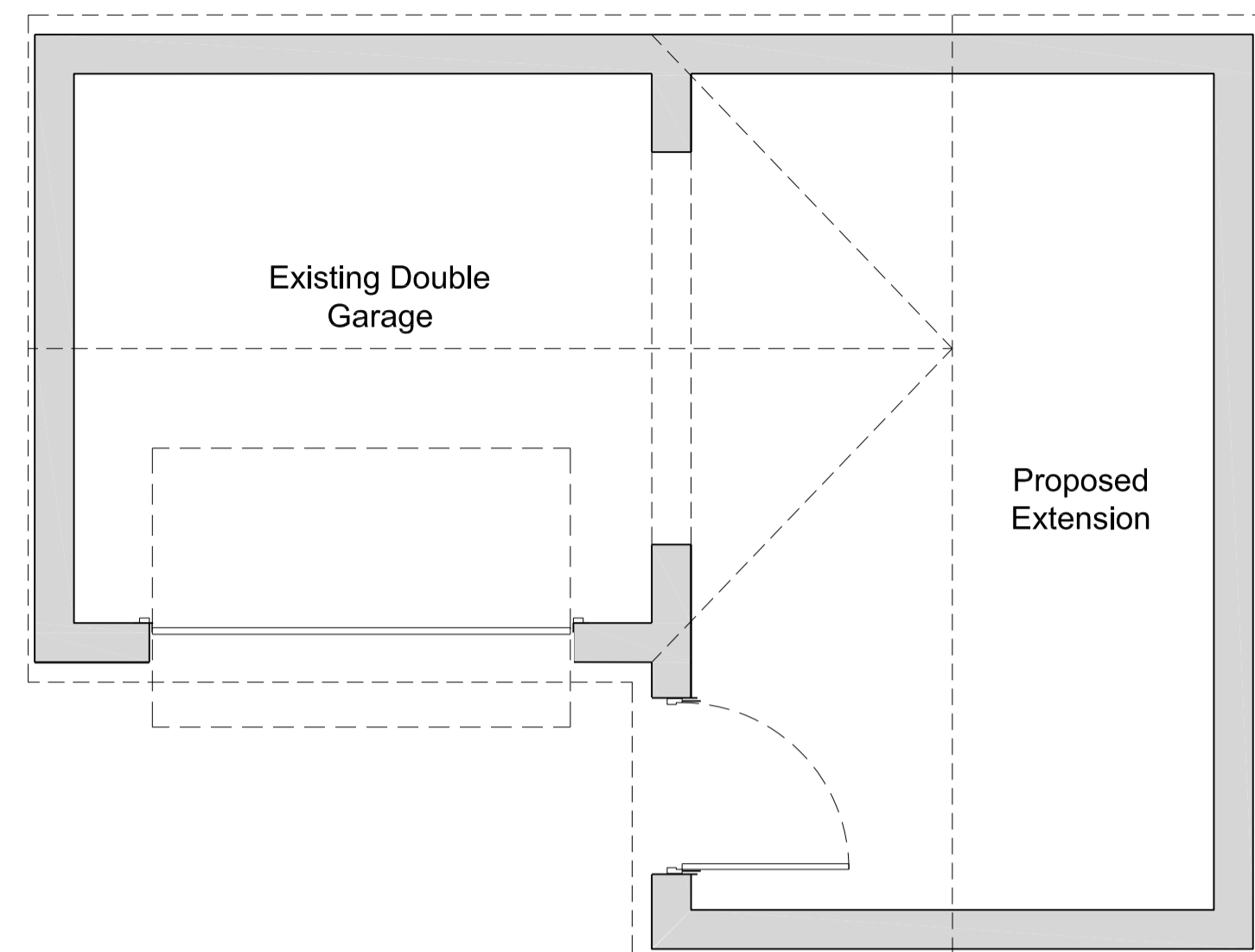
Proposed Alterations to Longlevens Rugby Clubhouse,
Longford lane, Longlevens, Gloucester, GL2 9EU

Proposed Elevations Sheet 2(Phase 1) Date: Jan 2021

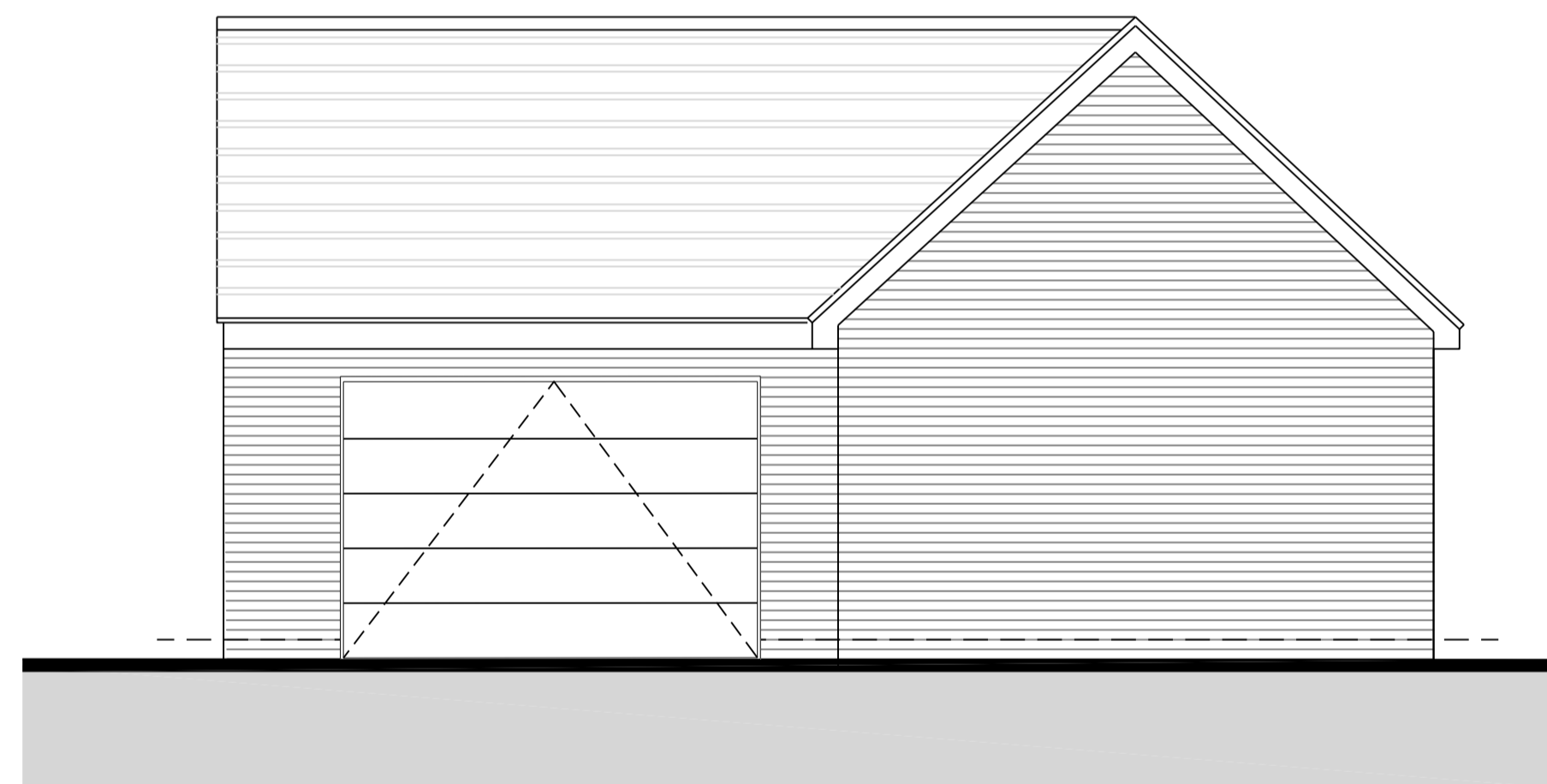
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Drawing No: 707 / 010 Rev B

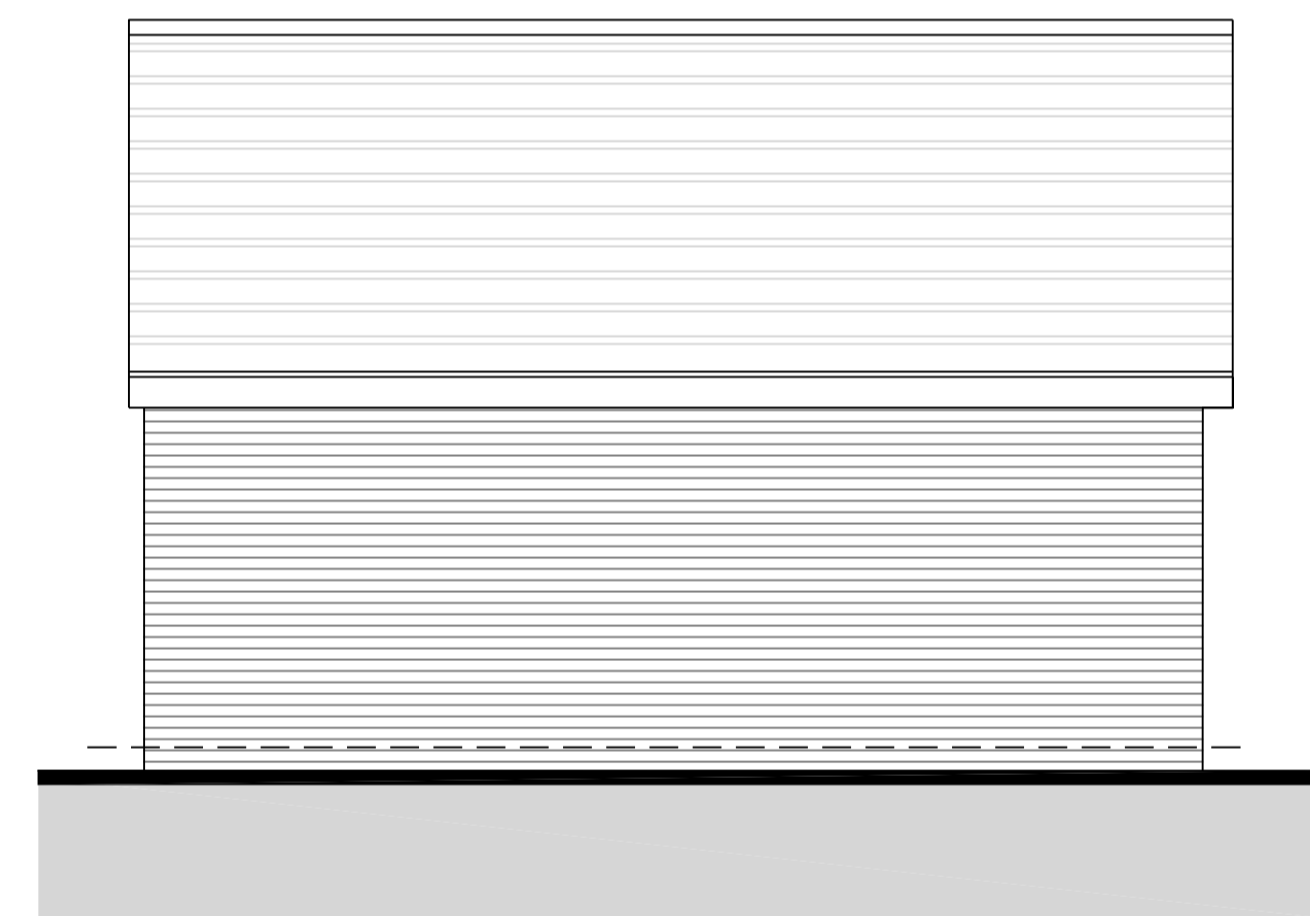
rev.	date	description
-	29/12/20	First Issue
A	03/05/21	New treatment room added and elevations amended
B	15/02/22	Complete redesign to Sport Englands request to have gym scheme attached to clubhouse



Proposed Gym/Garage Ground Floor Plan



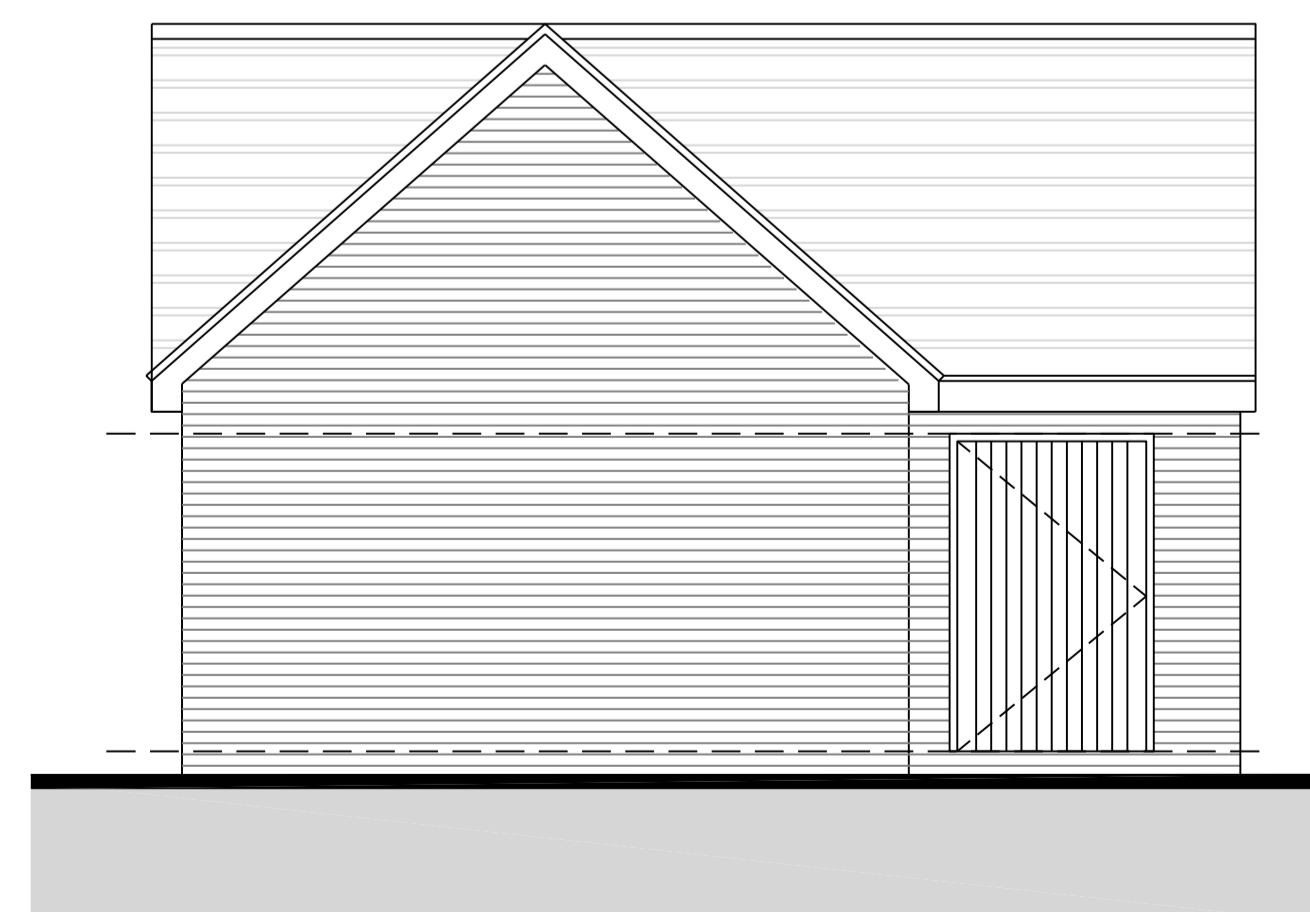
Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation



Proposed Side Elevation

Planning

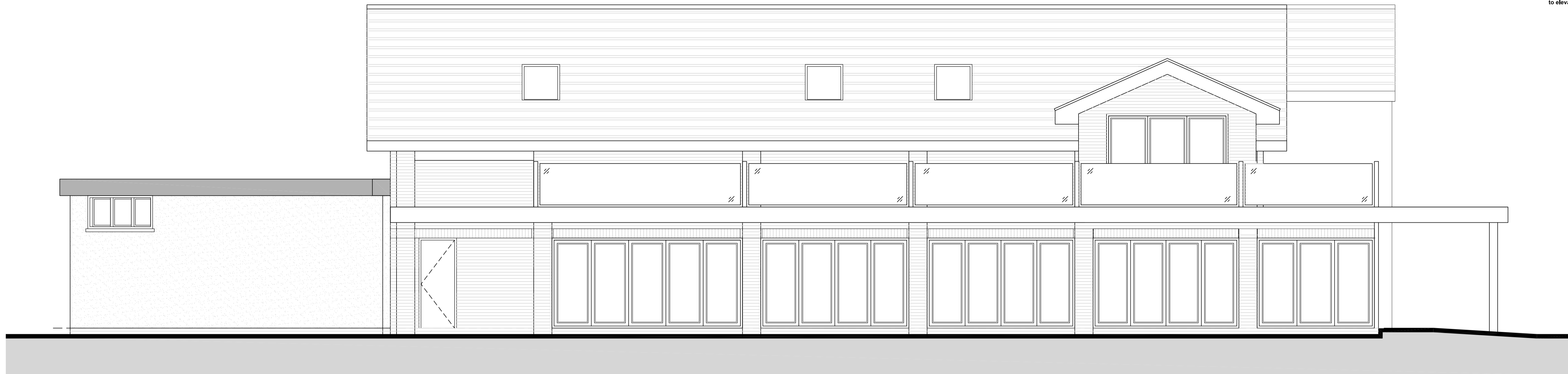
Proposed Alterations to Longlevens Rugby Clubhouse, Longford Lane, Longlevens, Gloucester, GL2 9EU

Proposed Garage Plan and Elevations Date: Jan 2021

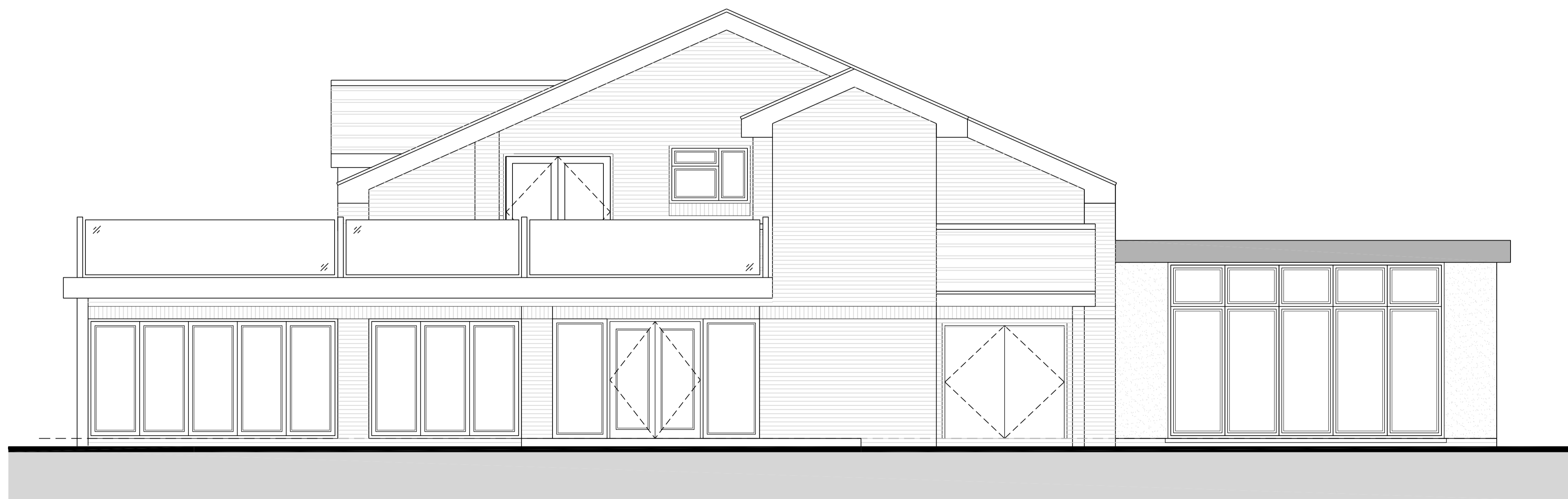
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Drawing No: 707 / 020 Rev B

rev.	date	description
-	29/12/20	First Issue
A	03/04/21	Amended to Existing SE steel grid positions and layout changes as per clients information
B	15/02/22	New gym extension added to elevations



Proposed Front Elevation



Proposed Side Elevation

Planning

Proposed Alterations to Longlevens Rugby Clubhouse,
Longford Lane, Longlevens, Gloucester, GL2 9EU

Proposed Elevations Sheet 1(Phase 1) Date: Jan 2021

Scale: 1/50 @ A1

Drawing No: 707 / 009 Rev B