

Application to determine if prior approval is required for a proposed: Larger Home Extension
 The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 1, Class A

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number	<input type="text" value="5"/>
Suffix	<input type="text"/>
Property Name	<input type="text"/>
Address Line 1	<input type="text" value="Colwell Avenue"/>
Address Line 2	<input type="text"/>
Address Line 3	<input type="text" value="Gloucestershire"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL3 3LY"/>

Description of site location must be completed if postcode is not known:

Easting (x)	Northing (y)
<input type="text" value="387233"/>	<input type="text" value="217897"/>

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Eligibility

Permitted development rights are subject to conditions set by legislation to ensure that only appropriate proposals are eligible. The need to apply to the Local Planning Authority to see if prior approval is required is one such condition.

Important - Please note that:

- This application is specifically for a 'larger' single storey rear extension to a house, and the questions below are particular to determining the eligibility of proposals for this extension type.
- Other kinds of home extensions do not use this 'prior approval' process and should not be applied for using this type of application.
- There are additional permitted development conditions that apply to all home extensions which are not covered in the questions below, [they can be reviewed in our common projects section](#). If your proposals do not meet these conditions, it is advisable not to continue with this application.

Please indicate the type of dwellinghouse you are proposing to extend

- Detached
 Other

Will the extension be:

- a single storey;
- no more than 4 metres in height (measured externally from the natural ground level); and
- extend beyond the rear wall of the original dwellinghouse (measured externally) by over 3 but no more than 6 metres.

Note that where the proposed extension will be joined to an existing extension, the measurement must represent the total enlargement (i.e. both the existing and proposed extensions) to the original dwellinghouse.

- Yes
 No

Is the dwellinghouse to be extended within any of the following:

- a conservation area;
- an area of outstanding natural beauty;
- an area specified by the Secretary of State for the purposes of enhancement and protection of the natural beauty and amenity of the countryside;
- the Broads;
- a National Park;
- a World Heritage Site;
- a site of special scientific interest;

- Yes
 No

Description of Proposed Works

Please describe the proposed single-storey rear extension

Measurements

Please provide the measurements as detailed below.

Where the proposed extension will be joined to an existing extension, the measurements provided must be in respect to the total enlargement (i.e. both the existing and proposed extensions) to the original dwellinghouse.

How far will the extension extend beyond the rear wall of the original dwellinghouse (in metres, measured externally)

3.40	metres
------	--------

What will be the maximum height of the extension (in metres, measured externally from the natural ground level)

3.20	metres
------	--------

What will be the height at the eaves of the extension (in metres, measured externally from the natural ground level)

2.30	metres
------	--------

Adjoining premises

Please provide the full addresses of all adjoining premises to the house you are proposing to extend. This should include any premises to the side/front/rear, even if they are not physically 'attached'

House name:

Number:

3

Suffix:

Address line 1:

Colwell Avenue

Address Line 2:

Town/City:

Gloucester

Postcode:

GL3 3LY

House name:

Number:

7

Suffix:

Address line 1:

Colwell Avenue

Address Line 2:

Town/City:

Gloucester

Postcode:

GL3 3LY

House name:

Number:

32

Suffix:

Address line 1:

Wilkes Avenue

Address Line 2:

Town/City:

Gloucester

Postcode:

GL3 3NX

Declaration

I / We hereby apply for Prior Approval: Larger home extension as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

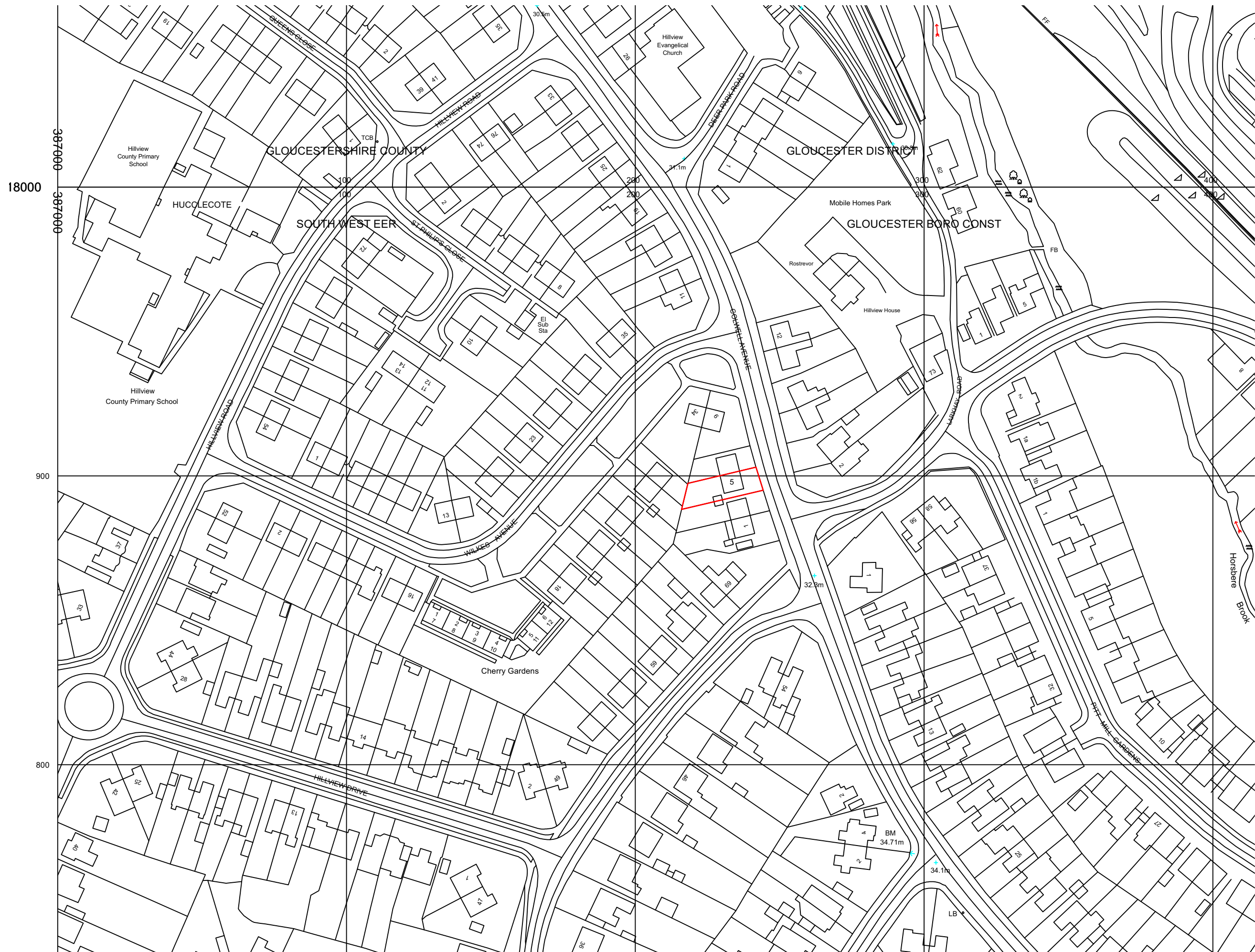
I / We agree to the outlined declaration

Signed

Quattro Design Architects Ltd

Date

08/06/2022



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REVISIONS

REV. DATE - DRAWN - CHECKED: NOTES
 - 31.05.22 - HP: Drawing created.
 Rev A - 14.06.22 - HP - North arrow added



DRAWING TITLE

Site Location Plan

PROJECT

5 Colwell Avenue, Gloucester

CLIENT

Gloucester City Homes

SCALE

1:1250@A3

DATE

May 2022

DRAWING NO.

6779-W-010

REV

A





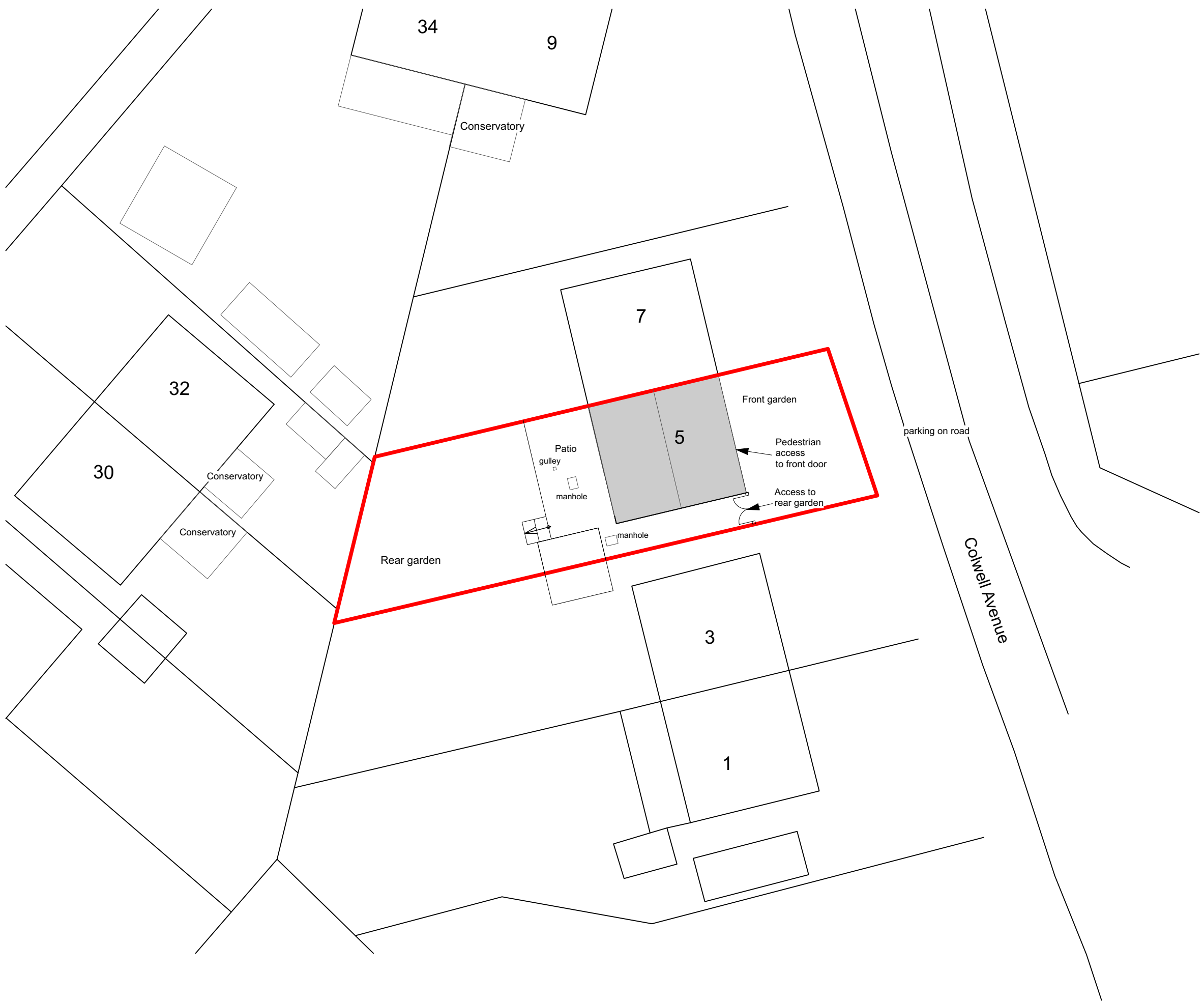
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REV. DATE - DRAWN - CHECKED: NOTES

-: 09.05.22 - HP:
Drawing created.



DRAWING TITLE

Existing Site Plan

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:200@A3

DATE

May 2022



DRAWING NO.

REV

6779-W-002

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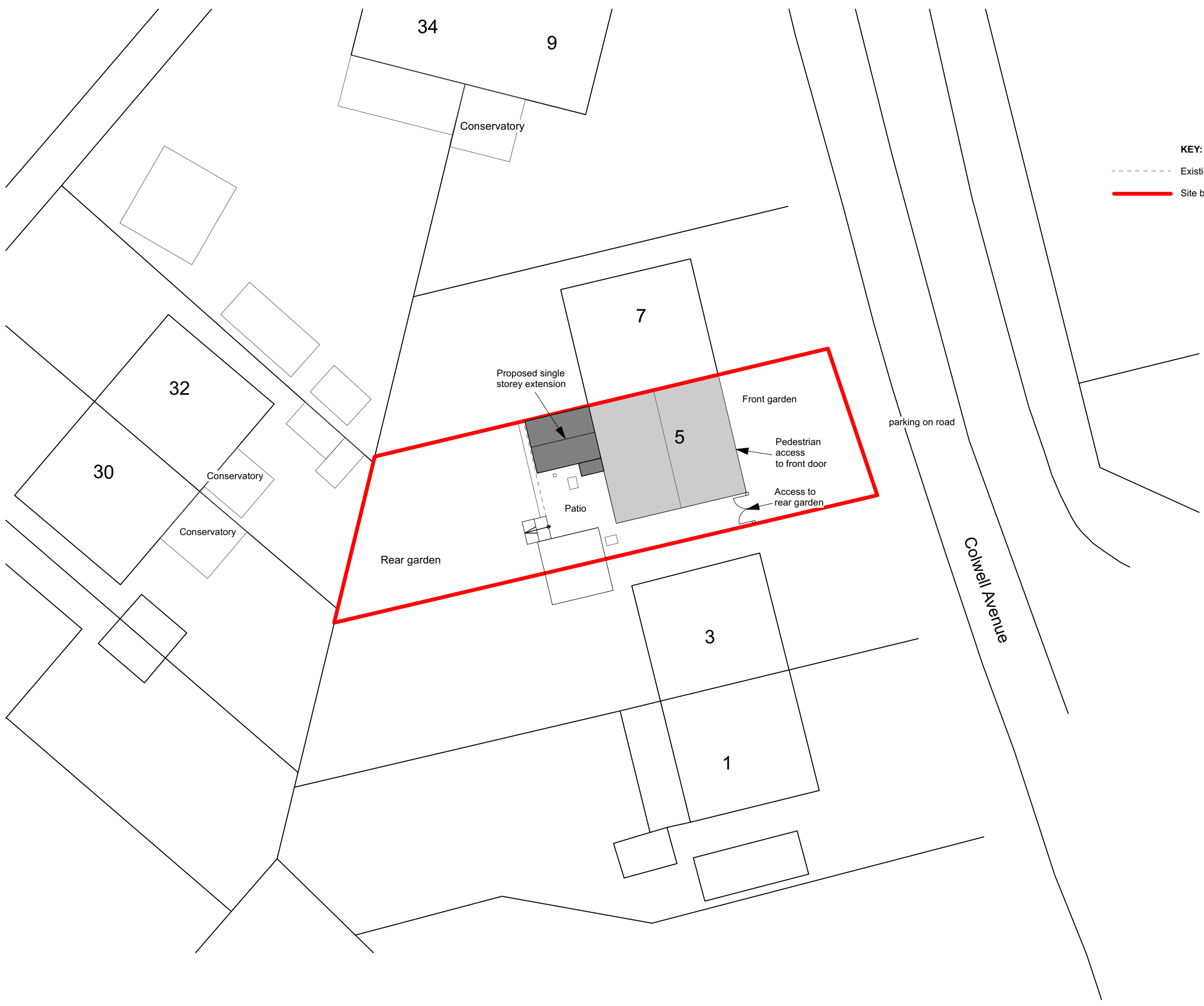
REVISIONS

REV. DATE - DRAWN - CHECKED: NOTES

-: 09.05.22 - HP:
Drawing created.

KEY:

- Existing structure to be removed
- Site boundary



DRAWING TITLE

Proposed Site / Block Plan

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:200@A3

DATE

May 2022



DRAWING NO.

REV

6779-W-100

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Matthews Warehouse, High Orchard Street
Gloucester Quays, GL2 5QY



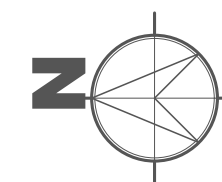
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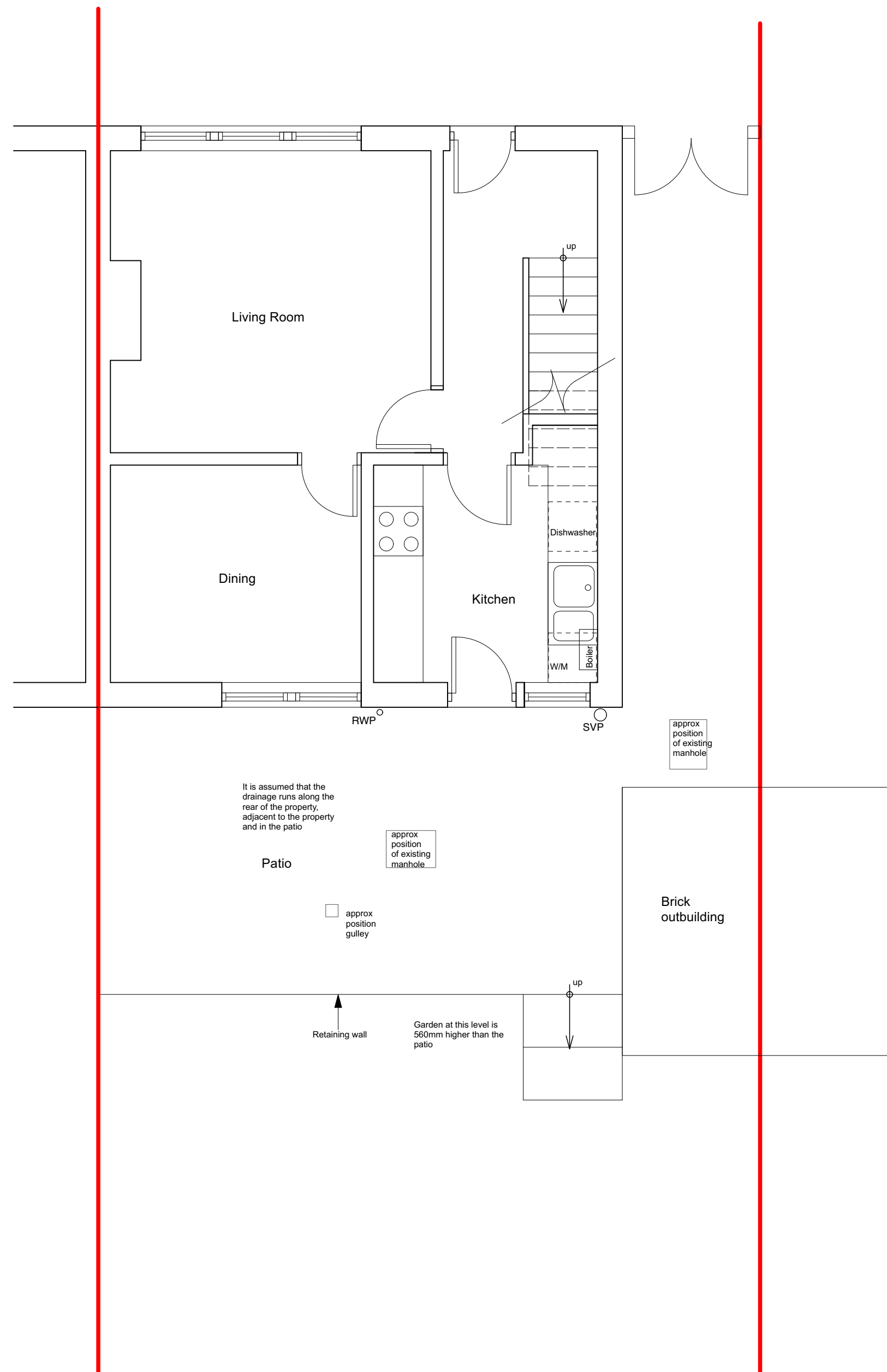
REV: DATE - DRAWN - CHECKED: NOTES

-: 17.03.22 - HP:
Drawing created.



KEY:

— Site boundary



DRAWING TITLE

Existing Ground Floor Plan

PROJECT

5 Colwell Avenue, Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

REV

6779-W-200

-



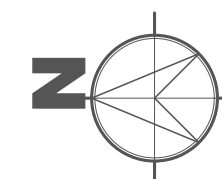
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REVISIONS

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-: 17.03.22 - HP:
Drawing created.



Refer to Refurbishment and Demolition Asbestos survey provided by client prior to commencement of works.

Protect existing house, garden and services for duration of the works.

All fixtures and fittings supplied by the client are to be fitted by the contractor.

Carefully remove existing paving slabs in location of extension. Set aside for customer.

Excavate for extension.

Excavate for foundations to extension and for new floor continuous with main house ground floor.

New rain water pipes to connect into existing drainage. Contractor to investigate positions of existing drainage.

Existing external walls that are to become internal bedroom wall to be made good and plastered finish applied to receive decoration.

New internal walls to be plastered. Bedroom walls and ceiling to be decorated with two coats of matt emulsion. Bathroom walls to be finished with two coats of bathroom eggshell emulsion.

Finishes, fixtures and fittings to be confirmed by client. Electrical fixtures and fittings to be selected by client. Ceilings to be strong enough to allow for fitting of overhead hoist capable of carrying a load of 200kg if required in future.

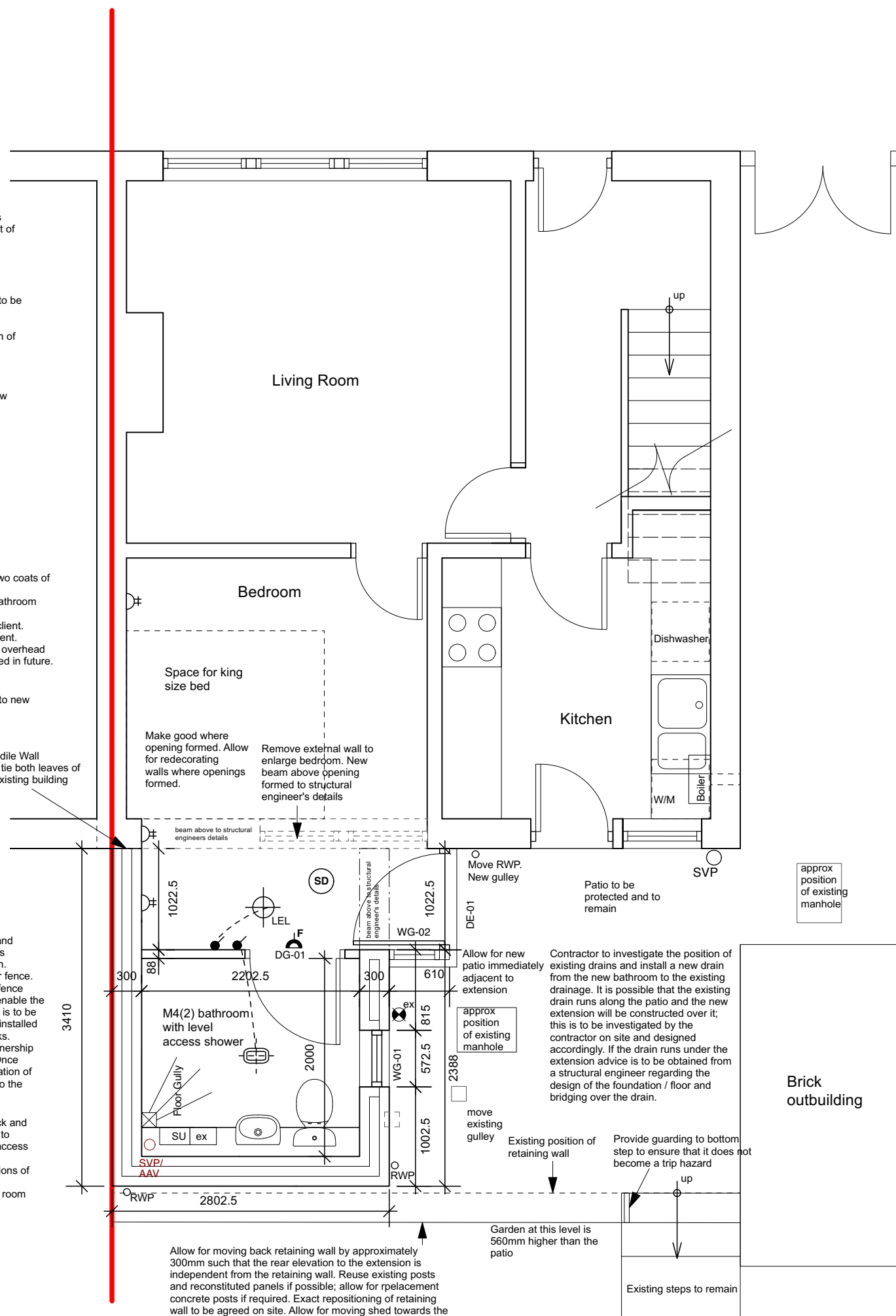
Connect new water supply, heating and electrics to new extension.

Simpson Strong-Tie Crocodile Wall Extension Profiles used to tie both leaves of new brick/blockwork into existing building

Remove concrete posts and reconstituted stone panels adjacent to new extension. Retain neighbour's timber fence. If the neighbour's timber fence needs to be removed to enable the works to be carried out, it is to be carefully set aside and reinstalled on completion of the works. NB Client to establish ownership of boundary fence/wall. Once established the exact location of the extension in relation to the boundary to be finalized.

Allow for boxing in of stack and drainage in shower room to ensure they are clear of access zones.

Ensure that clear dimensions of 2150mm x 1700mm are maintained in the shower room



Allow for moving back retaining wall by approximately 300mm such that the rear elevation to the extension is independent from the retaining wall. Reuse existing posts and reconstituted panels if possible; allow for replacement concrete posts if required. Exact repositioning of retaining wall to be agreed on site. Allow for moving shed towards the rear of the garden if required.

Garden at this level is 560mm higher than the patio

Existing steps to remain

KEY:

- Existing structure to be removed
- ▬ New partitions / walls
- ▬ Site boundary

M&E Key

- LEL Low energy light fittings, pendant lamp
- Bulkhead light
- Light switch One-Way - aligned horizontally with door handles
- Light Switch Two-Way - aligned horizontally with door handles
- 13 amp. double switched socket - 900mm above FFL
- Radiator (to be specified, sized and positioned by sub-contractor) to connect onto existing heating system
- Fused spur
- Wall Mounted Extract Fan (Humidistat Controlled and Wired to Lighting Circuit)
- External water tight light unit on PIR and movement switch
- Electric shower unit
- Smoke detector

Note: All outlets, switches and controls to be located min. 350mm from internal corners.

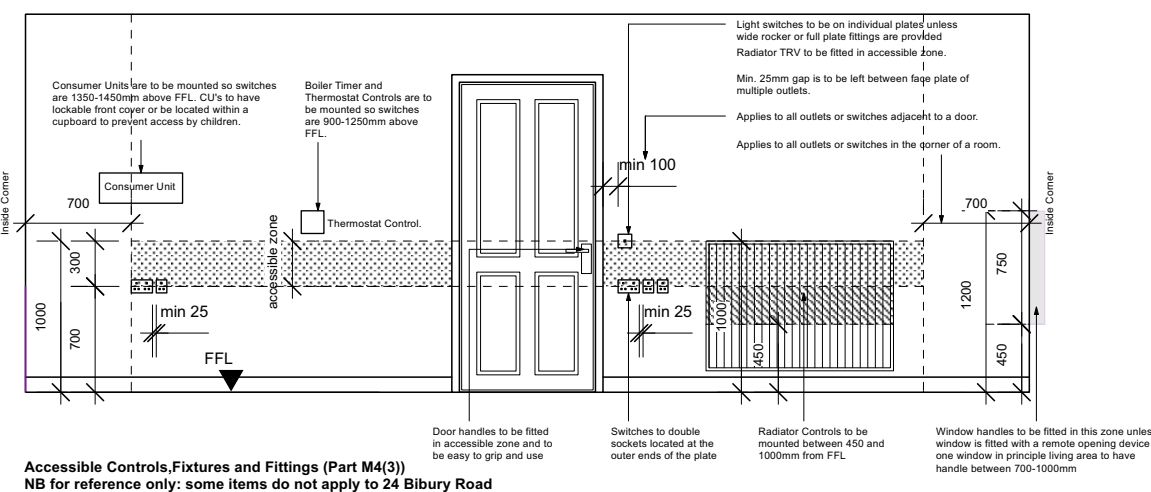
Positions of sockets, wall heaters etc to be confirmed on site

Ref	S/O (w x h)	Leaf (w x h)	Glazing	Fire	Comments
DE-01	1022.5 x 2100	926 x 2040	Yes	No	New Upvc external door; glazed (bottom panel in critical location to be robust glazing)
DG-02	1010 x 2100	926 x 2040	No	No	Internal door to match doors in existing dwelling

Notes:
Allow for ironmongery - lever handles, locks and 3no sets of hinges per door.

Ref	S/O (w x h)	Comments
WG-01	572.5 x 900	SBD Compliant / Side Hung, Obscured glass
WG-02	510 x 2100	SBD Compliant / top panel side hung/ bottom panel fixed and in critical location so to be robust glazing

Notes:
Windows to match existing UPVC
*Dimensions of door and window openings to be checked on site prior to order/manufacture



DRAWING TITLE

Proposed Ground Floor Plan

PROJECT

5 Colwell Avenue, Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

REV

6779-W-201

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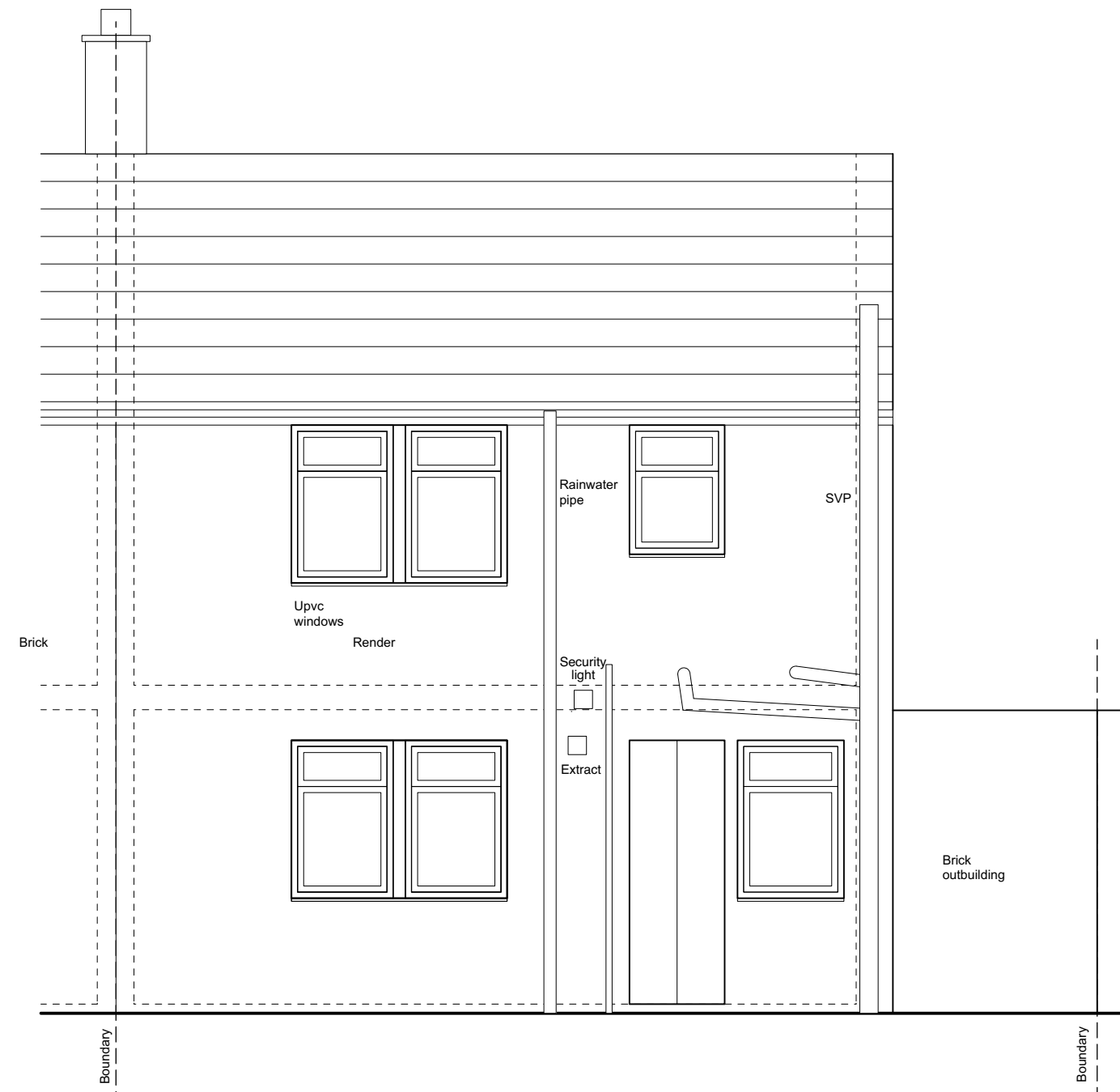
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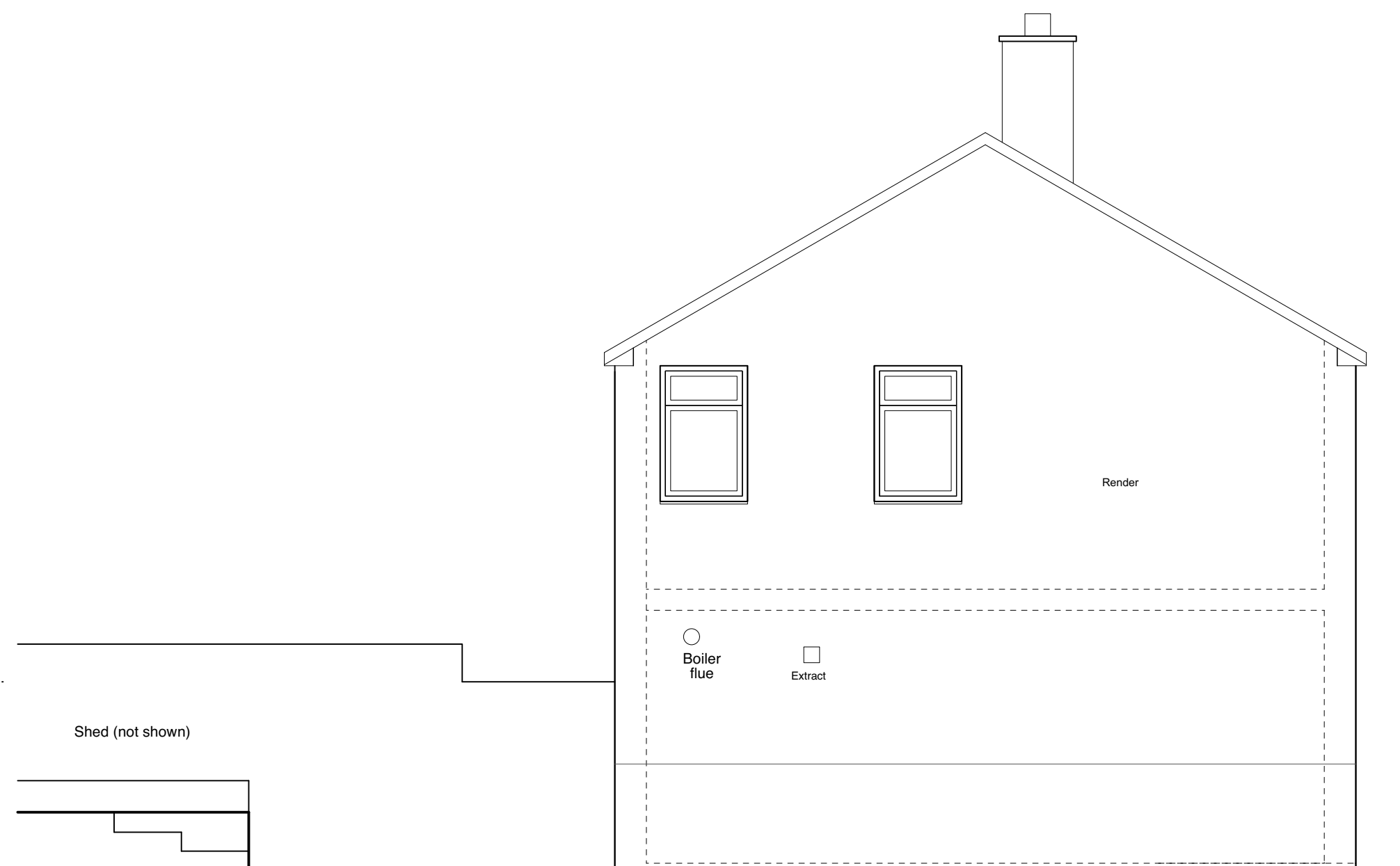
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-: 09.05.22 - HP:
Drawing created.



Rear Elevation - West



Side Elevation - South



DRAWING TITLE

Existing Elevations

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

REV

6779-W-700

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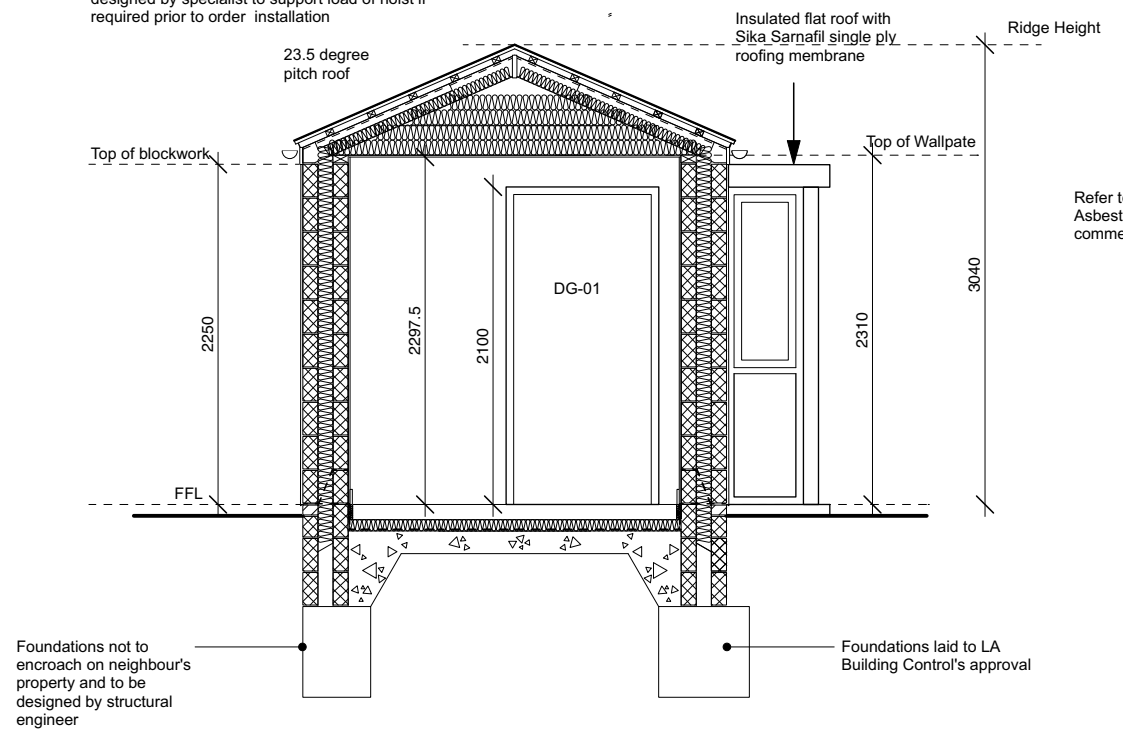
Key

- - - - - Structure to be removed
- . - . - Site boundary

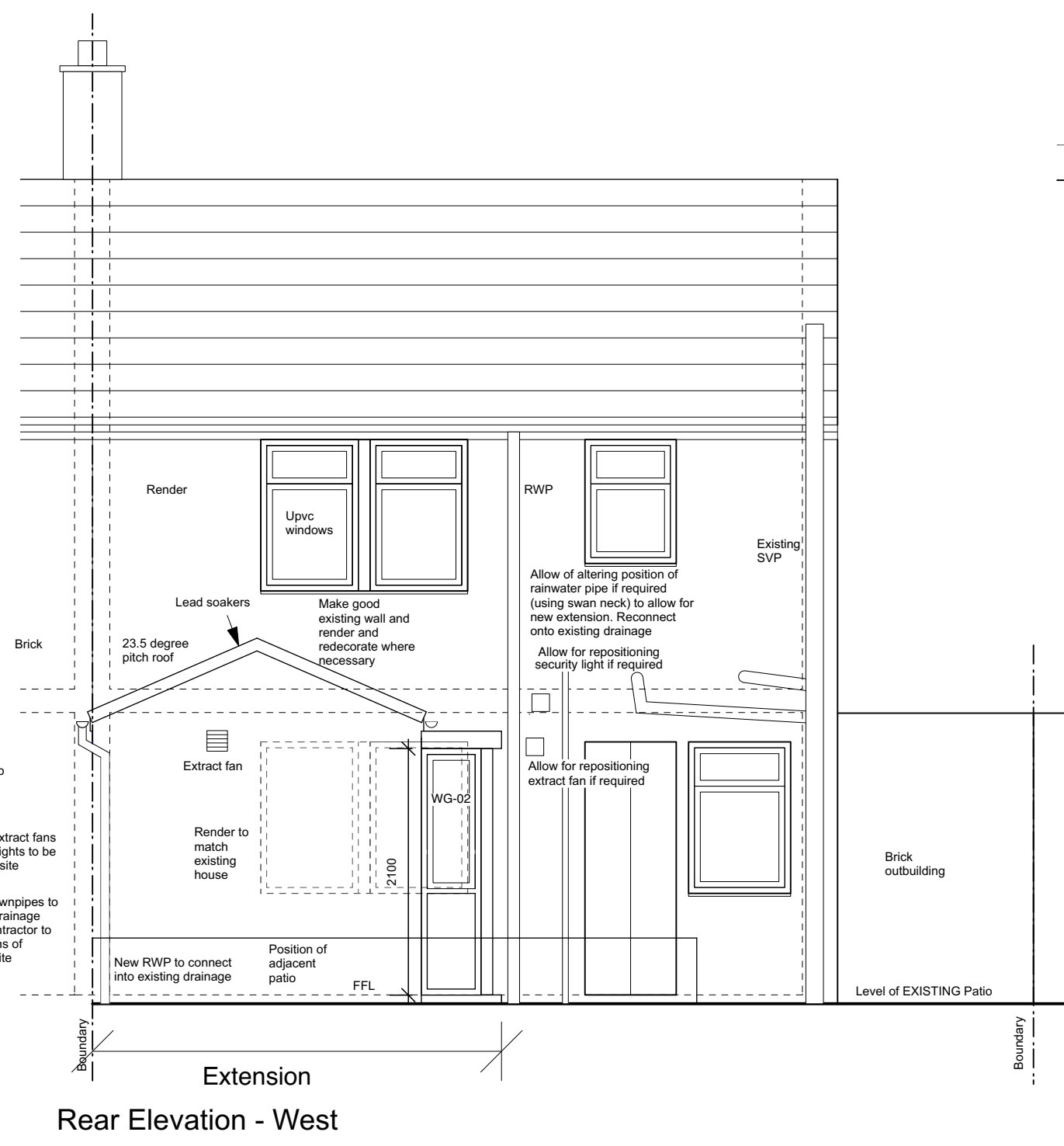
Materials:

- Roof: tile to match existing
- Walls: render to match existing
- Windows: White UPVC to match existing
- Gutters and downpipes: Black UPVC to match existing

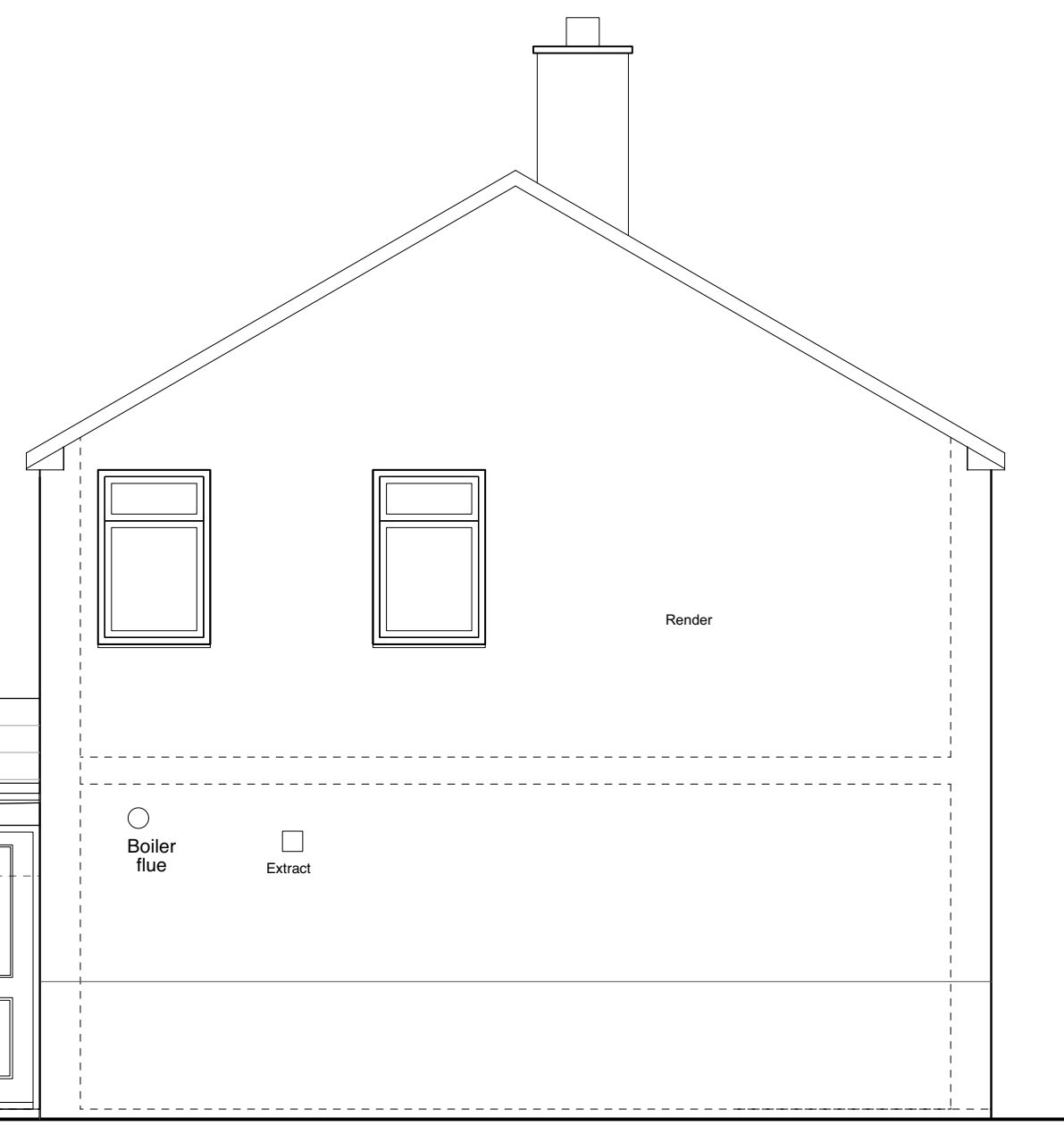
Roof Structure Assumed:
Rafters: 47x125mm C16 @ 400 centres
Ceiling Joists: 47x195mm C16 @ 400 centres
Note: Roof structure to be fully confirmed & designed by specialist to support load of hoist if required prior to order installation



Section A-A



Rear Elevation - West



Side Elevation - South

Existing timber fence to remain. If the fence is required to be removed in order for the construction works to be carried out it should be reinstated on completion of the works

Allow for moving back retaining wall by approximately 300mm such that the rear elevation to the extension is independent from the retaining wall. Reuse existing posts and reconstituted panels if possible. Exact repositioning of retaining wall to be agreed on site. Allow for moving shed towards the rear of the garden if required.



DRAWING TITLE

Proposed Elevations

PROJECT

5 Colwell Avenue,
Gloucester

CLIENT

Gloucester City Homes

SCALE

1:50@A2

DATE

May 2022

DRAWING NO.

REV

6779-W-701

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