

## Application for Planning Permission

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

MRS

First name

DEE

Surname

BOZARD

Company Name

### Address

Address line 1

2 Colwell Avenue

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL3 3LY

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Site Area

What is the measurement of the site area? (numeric characters only).

Unit

## Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

### Description

Please describe details of the proposed development or works including any change of use

Has the work or change of use already started?

- Yes  
 No

## Existing Use

Please describe the current use of the site

Is the site currently vacant?

- Yes  
 No

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

- Yes  
 No

Land where contamination is suspected for all or part of the site

- Yes  
 No

A proposed use that would be particularly vulnerable to the presence of contamination

- Yes  
 No

## Materials

Does the proposed development require any materials to be used externally?

- Yes  
 No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

**Proposed materials and finishes:**

WIENERBERGER FACING BRICK DENTON CROFTERS MEDLEY

**Type:**

Roof

**Existing materials and finishes:**

**Proposed materials and finishes:**

CONCRETE INTERLOCKING TILES

**Type:**

Windows

**Existing materials and finishes:**

**Proposed materials and finishes:**

WHITE UPVC DOUBLE GLAZED ARGON FILLED CASEMENT WINDOWS

**Type:**

Boundary treatments (e.g. fences, walls)

**Existing materials and finishes:**

**Proposed materials and finishes:**

Feather edge close boarded timber fence.

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes  
 No

If Yes, please state references for the plans, drawings and/or design and access statement

MATERIALS SCHEDULE

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Are there any new public roads to be provided within the site?

- Yes  
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes  
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes  
 No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

PROPOSED SITE PLAN

## Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes  
 No

Please provide information on the existing and proposed number of on-site parking spaces

### Vehicle Type:

Cars

### Existing number of spaces:

0

### Total proposed (including spaces retained):

2

### Difference in spaces:

2

## Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes  
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes  
 No

**If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.**

## Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes  
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes  
 No

Will the proposal increase the flood risk elsewhere?

- Yes  
 No

How will surface water be disposed of?

- Sustainable drainage system  
 Existing water course  
 Soakaway  
 Main sewer  
 Pond/lake

## Biodiversity and Geological Conservation

**Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?**

**To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.**

a) Protected and priority species

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

c) Features of geological conservation importance

- Yes, on the development site  
 Yes, on land adjacent to or near the proposed development  
 No

### Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

## Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

If Yes, please include the details of the existing system on the application drawings and state the plan(s)/drawing(s) references

PROPOSED DRAINAGE PLAN

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

If Yes, please provide details:

PROPOSED FLOOR PLANS

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

## Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No



## Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

Yes

No

**Please note: This question is based on the current housing categories and types specified by government.**

If your application was started before 23 May 2020, the categories and types shown in this question will now have changed. We recommend that you review any information provided to ensure it is correct before the application is submitted.

## Proposed

Please select the housing categories that are relevant to the proposed units

Market Housing

Social, Affordable or Intermediate Rent

Affordable Home Ownership

Starter Homes

Self-build and Custom Build

## Market Housing

Please specify each type of housing and number of units proposed

### Housing Type:

Houses

**1 Bedroom:**

0

**2 Bedroom:**

0

**3 Bedroom:**

1

**4+ Bedroom:**

0

**Unknown Bedroom:**

0

**Total:**

1

**Proposed Market Housing  
Category Totals**

1 Bedroom Total

0

2 Bedroom Total

0

3 Bedroom Total

1

4 Bedroom Total

0

Unknown  
Bedroom Total

0

Bedroom Total

1

## Existing

Please select the housing categories for any existing units on the site

Market Housing

Social, Affordable or Intermediate Rent

Affordable Home Ownership

Starter Homes

Self-build and Custom Build

## Totals

Total proposed residential units

1

Total existing residential units

0

Total net gain or loss of residential units

1

## All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

Yes

No

## Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

Yes

No

## Hours of Opening

Are Hours of Opening relevant to this proposal?

Yes

No

## Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

Yes

No

Is the proposal for a waste management development?

Yes

No

## Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

Yes

No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

**If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):**

Officer name:

Title

\*\*\*\* REDACTED \*\*\*\*

First Name

\*\*\*\* REDACTED \*\*\*\*

Surname

\*\*\*\* REDACTED \*\*\*\*

Reference

20/01260/FUL - 2 Colwell Avenue, Hucclecote,

Date (must be pre-application submission)

11/07/2022

Details of the pre-application advice received

I would agree that the dwelling is in FZ1 and the landscaping in FZ2 based on what you have presented.

So long as the landscaping does not raise ground levels that will be fine.

A drainage strategy will be required and approved prior to determination as additional run-off from this development (and others in the catchment) will, if not managed, impact the flood zone and put other properties elsewhere at risk.

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

- Yes
- No

### Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner\* and/or agricultural tenant\*\* of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners\* and/or agricultural tenants\*\*.

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

**Name of Owner/Agricultural Tenant:**

\*\*\*\*\* REDACTED \*\*\*\*\*

**House name:**

**Number:**

4

**Suffix:**

**Address line 1:**

COLWELL AVENUE

**Address Line 2:**

HUCCLECOTE

**Town/City:**

GLOUCESTER

**Postcode:**

GL3 3LY

**Date notice served (DD/MM/YYYY):**

03/10/2022

**Person Family Name:**

Person Role

The Applicant

The Agent

Title

MRS

First Name

DEE

Surname

BOZARD

Declaration Date

03/10/2022

Declaration made

## Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

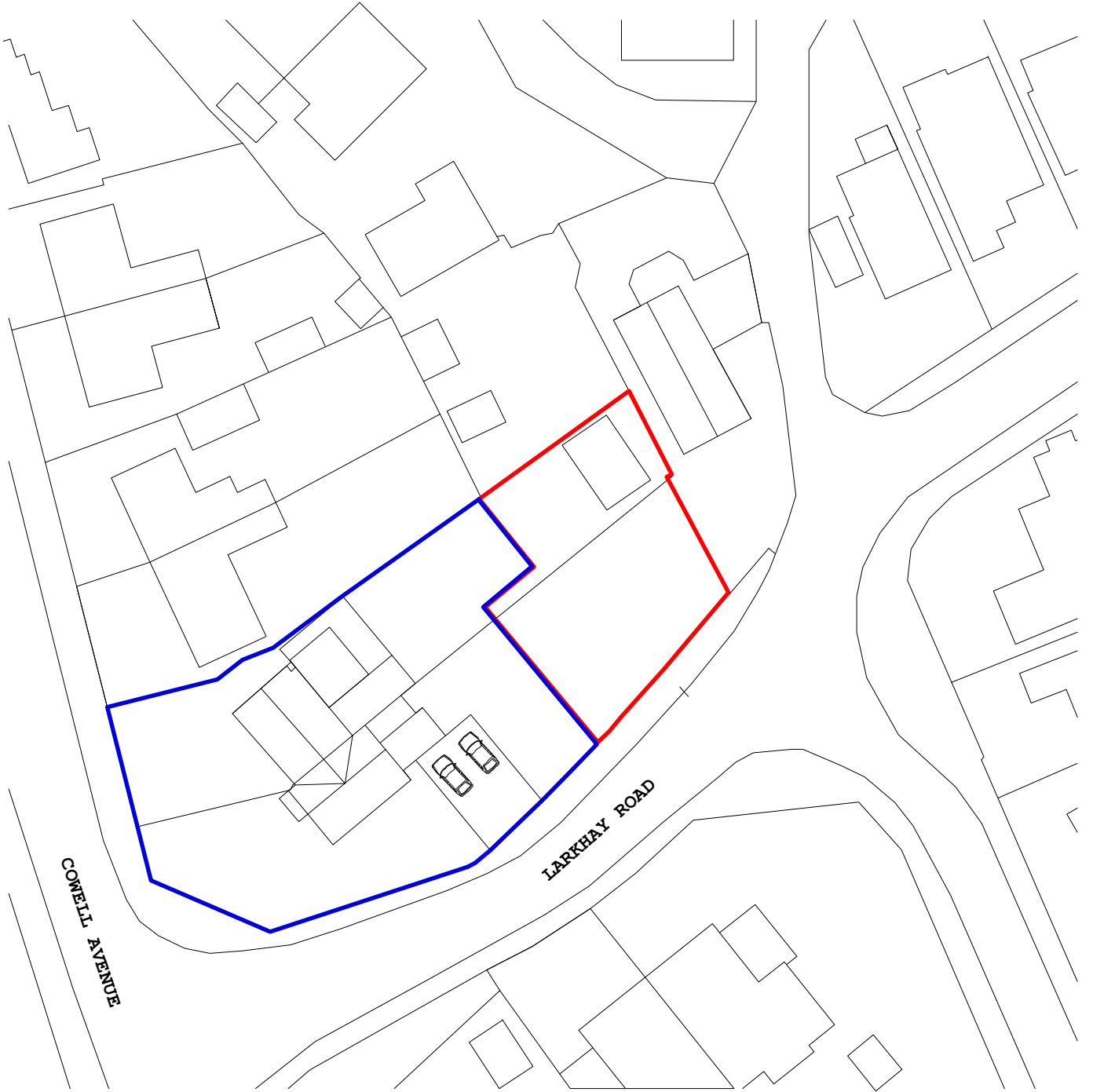
Signed

JACK WINCHLE

Date

03/10/2022

SITE LOCATION PLAN  
SCALE 1:500@A4






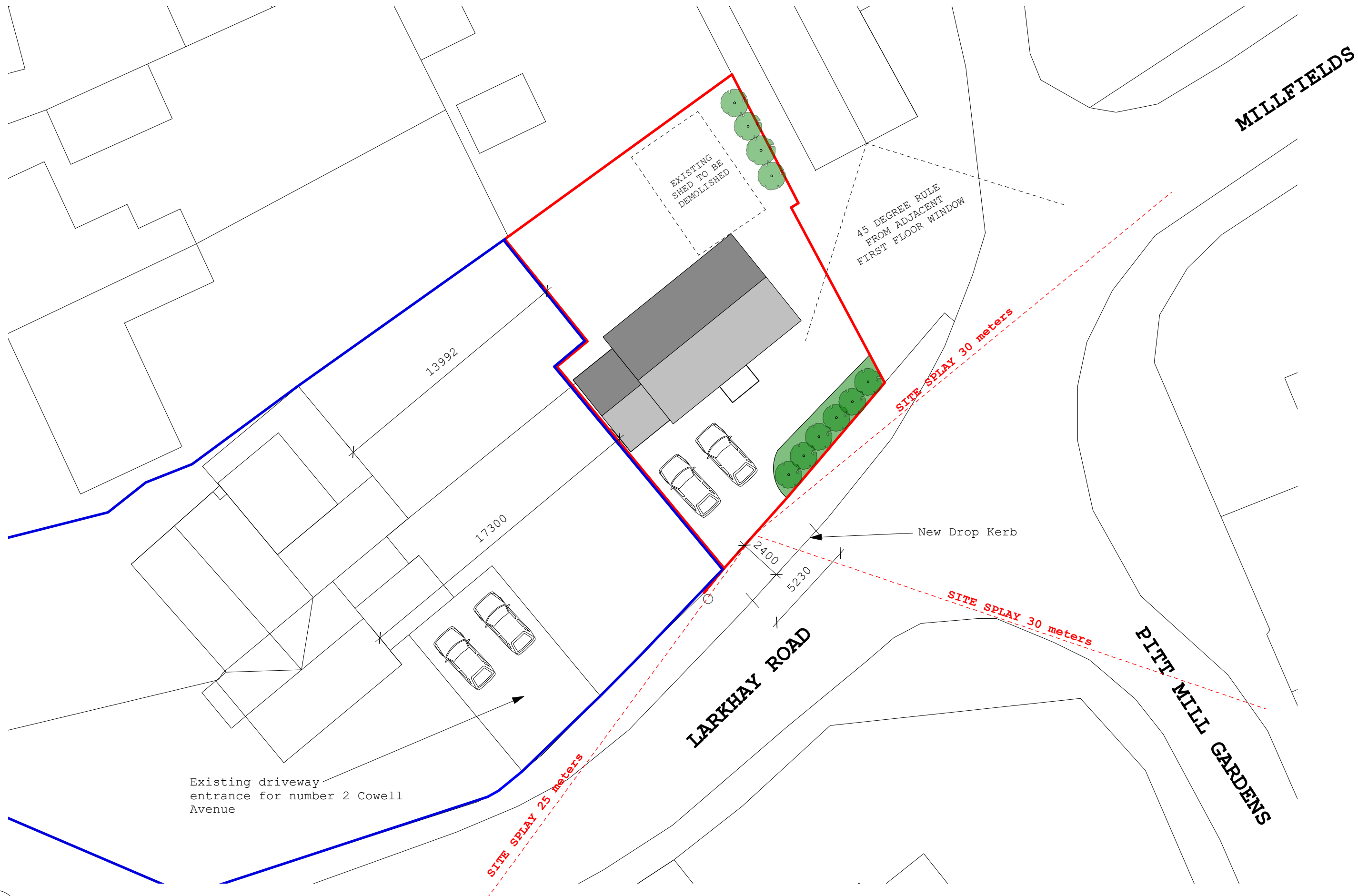
COMELLIL AVENUE

LARKHAY ROAD

EX01 Existing Site/Block Plan  
1:200 @A3

	23a Parsonage Street Dursley Gloucestershire GL11 4BW	DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY	<p><b>NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.</b></p>
		<b>EX01</b>		Existing Block Plan	Land to the rear of 2 and 4 Cowell Avenue	1:200@A3	26/09/2022	D. BOZZARD	J.W	





PR02 Proposed Site/Block Plan  
1:200 @A3



23a  
Parsonage Street  
Dursley  
Gloucestershire  
GL11 4BW

DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY
<b>PR02</b>		Land to the rear of 2 and 4 Cowell Avenue	Land to the rear of 2 Cowell Avenue	1:200@A3	23/09/2022	D. BOZZARD	J.W

**NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.**



# Design and Access Statement

**Date:** 27.09.22

**Proposal:** Erection of a new dwelling, together with associated parking and landscaping

**Report Completed by:** JW Architectural Studio

**Address:** Land to the rear of number 2 and number 4 Cowell Avenue, Hucclecote, Gloucester.

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2.0 Site description and context

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9.0 Summary & Conclusions

## **1.0 Introduction**

1.1 This Design and Access Statement accompanies a detailed planning application to Gloucester City Council for the erection of a new dwelling, together with associated parking and landscaping.

1.2 This application is a revised submission following application reference; 20/01260/FUL which was submitted in December 2020 & subsequently withdrawn by the applicant in June 2021.

1.3 The basis for the withdrawal was to further review consultee responses, third party comments and planning comments. This revised application has been prepared with due consideration to all the above.

## **2.0 Site Description and Context**

2.1 The site is situated within the curtilage of number 2 and number 4 Colwell Avenue, on land that comprises unused/surplus private rear gardens areas.

2.2 The proposal ensures that the remaining garden areas of 2 & 4 Colwell Avenue will be greater than is typically required by local planning policy or provided for new build housing.

2.3 The existing dwellings at 2 and 4 Colwell Avenue are two storey, semi-detached, white rendered houses with concrete interlocking roof tiles and white UPVC windows.

2.4 The other nearby property to the north-east, 73 Larkhay Road, is a two storey, detached red brick house with concrete interlocking roof tiles and white UPVC windows. The dwelling which will be opposite the proposed dwelling, 58 Larkhay Road, is a semi-detached red brick bungalow, with concrete interlocking roof tiles and white UPVC windows.

2.5 There have been several developments at different eras in Larkhay Road, Colwell Avenue & Pit Mill Gardens with a variety of house styles and configurations, including detached and semi-detached versions of bungalows & two storey family housing. This application proposes a dwelling of a scale and appearance that respects the character of the area & surrounding properties.

2.6 Similarly, there is a range of traditional external materials including brickwork, render and cladding, together with a range of concrete interlocking tiles with sporadic imitation slate & plain tiles. The application proposes a materials palette in keeping with local character and context. A proposed Materials Schedule is provided as part of the application, to be agreed with the LPA prior to determination.

2.7 The proposal is deemed an appropriate 'infill' which would complement the built form on the opposite side of Larkhay Road where it is a gateway to Pit Mill Gardens & Millfields.

2.8 Access to the new dwelling is off Larkhay Road and suitable visibility splays for entering and exiting the site have been shown on the planning drawings.

2.9 The site is level and does not require any retaining structures.

2.10 The Site, dwelling & all hard standings are in Flood Zone 1.

2.11 A small area of rear garden in the northwest corner of the site may encroach Flood Zone 2, however there will be no change in level from existing to finished garden levels.

2.12 The site benefits from existing boundary treatments in the form of close boarded timber

fencing and mature hedge rows which are to be retained. The proposal will provide new treatments to the newly created boundaries to the gardens of 2 and 4 Colwell Avenue of a type and height that comply with Secured by Design/AD Part Q.

2.13 A large shed which was previously used for horses and is now disused will be demolished, and the new dwelling will benefit from a private rear garden of >100m<sup>2</sup>.

2.14 The site is not constrained by any protective designations such as AONB/Conservation Area or Green Belt.

2.15 The site lies within the defined settlement boundary and is in a highly sustainable location with a wide range of public services and amenities within walking distance, as well as excellent public transport links to Gloucester & Cheltenham via bus routes.

### **3.0 Amount**

3.1 The application site occupies a gross area of approximately 344 m<sup>2</sup>.

3.2 The application proposes a new two storey dwelling with a total footprint of 71 m<sup>2</sup>.

3.3 The dwelling will have a gross internal floor area of 98 m<sup>2</sup> and an attached garage with a gross internal floor area of 15.6 m<sup>2</sup>.

3.4 Whilst the dwelling has been significantly reduced in size since the previous application, it has a gross internal floor area which satisfies Nationally Described Space Standards (NDSS) for both gross internal area & storage provision. A nominal increase against NDSS is provided ensuring a comfortable place to live without comprising it's appropriateness within the setting.

3.5 Secure, private amenity space of approximately 130 m<sup>2</sup> will be provided to the rear and side of the property with a garden depth of approximately 7.5 meters.

3.6 The proposal will provide parking spaces for a minimum of 2 cars (excluding garage) & 3 cars (including garage). This is in accordance with the latest GCC Highways Manual for Gloucestershire Streets.

### **4.0 Layout**

4.1 The proposed dwelling will be situated to the rear of 2 and 4 Colwell Avenue, and opposite 56 and 58 Larkhay Road, in doing so continuing the street scene prior to the junction of Pit Mill Gardens.

4.2 The orientation of the houses will be to the South East (front) and the North East (rear). The attached garage faces the carriage way ensuring it is easily accessible from the driveway/forecourt.

4.3 The new access from Larkhay Road replicates other access arrangements of nearby properties whilst ensuring appropriate visibility splays are achieved.

4.4 Within the site a new private driveway & parking courtyard will be formed to provide access to dwelling & garage. The layout will provide parking spaces for a minimum of 2 cars (excluding garage) & 3 cars (including garage)

4.5 The internal layout of the dwelling is designed to maximise natural daylight and connectivity to the external areas. A porched entrance and hallway at ground floor level gives access to a generous size kitchen and living/diner. The internal floor area is repeated

on the first floor with 3 bedrooms, en-suite and bathroom.

4.6 The generously proportioned rear garden will be private and level to ensure enjoyment and residential amenity.

## **5.0 Scale**

5.1 The dwelling has been redesigned to a scale, mass and form that compliments the immediately adjacent properties and is appropriate to the location generally.

5.2 The proposal is deemed an efficient and improved land use, suitable for the setting & it's surrounds.

5.3 The selection of the dwelling type and associated ridge height acknowledges nearby properties whilst maintaining suitable separation distances.

5.4 Plans have been included which show those suitable separation distances, and which demonstrate there is no overlooking/overbearing risk for the proposal or for nearby properties.

5.5 No windows are proposed on the east elevation ensuring no overlooking risks to dwellings to the east, and suitable separation distances are provided to dwellings to the north and west.

## **6.0 Appearance**

6.1 The proposed dwelling is designed using simple building forms, elements and detailing reflecting the character of the local area & surrounding built environment.

6.2 The palette of materials will be selected to ensure appropriateness within the setting and ensure the dwelling will contribute to the identity of the local area rather than be an outlier.

6.3 Whilst it is envisaged that a final materials schedule will be agreed with the LPA prior to determination, the following will form the basis of key materials and have been selected to complement the nearest properties.

- Red Brick/Cream Render external walls
- Concrete interlocking/imitation slate roof tiles
- White UPVC windows

6.4 Boundary treatments will be selected to fit with the same ethos as neighbouring dwellings and will improve the visible road frontage along Larkhay Road for passers-by.

6.5 The existing dilapidated slab on edge wall along the front boundary will be removed and replaced with a 600mm red brick wall or picket fence with landscaping behind. This will create a sense of place and connection with the existing dwellings in the surrounding area.

6.6 The size and proportion of openings ensure connectivity between private external and internal spaces. They will maximize the amount of natural light within the building without compromising on safety or amenity for occupants, nearby properties, or the public.

## **7.0 Sustainability**

The following outlines the principles incorporated into the design in order to minimise the environmental impact of the proposal.

### **7.1 Design**

- The design of the proposed dwelling maximises the accommodation provided within the building envelope.
- Materials used will be derived from sustainable sources and sourced locally.
- Within reason, areas of glazing have been maximised to benefit from passive heat gain and natural light and to reduce energy bills.
- The dwelling has been designed to ensure compliance with current Building Regulations and emerging Building Regulations changes.
- The dwelling complies with Nationally Described Space Standards (NDSS) for both gross internal area & storage provision.
- The overall site layout & dwelling design has evolved to ensure it complements the existing street scenes and nearby properties. It is appropriate within the site & the wider setting.
- The dwelling design, amenity spaces and parking provision ensure the proposal will create an attractive and comfortable place to live.

### **7.2 Energy**

- The detailed design of energy efficiency measures falls within the remit of other legislation, however it is accepted that there is a declared climate emergency and therefore a continuing drive towards greater energy efficiency.
- The dwellings will comply with the requirements Part L of the Building Regulations and a detailed energy strategy will be agreed prior to commencement.
- Energy consumption will be minimised by employing all or some of the following;
  - o A 'fabric first' approach to energy efficiency with high standards of thermal insulation and air tightness.
  - o High performance double glazing;
  - o The use of renewable technologies;
  - o Energy efficient light fittings;
  - o High efficiency heating and hot water systems;
  - o High level of natural lighting and ventilation;
  - o Grade 'A' appliances;
  - o User information, highlighting energy efficiency measures incorporated and their safety/upkeep requirements.

### **7.3 Water**

- Besides the desire to reduce energy consumption there is also a necessity to reduce both the consumption and waste of water. Where possible, the following measures will be adopted that will assist in achieving this:
  - o Flow restrictors fitted to all taps
  - o High efficiency/low water fittings for showers/WC's etc
  - o Dual flush cisterns
  - o Baths with smaller profiles, requiring less water to fill
  - o Water butts installed for rainwater collection, for garden watering rather than hoses.



## **8.0 Access**

8.1 The access/entrance has been designed in accordance with GCC Highways Design Guide requirements and ensures appropriate visibility in both directions deemed acceptable to highway safety.

8.2 A new drop-kerb will be provided to facilitate the access & the necessary licenses/approvals to form this will be secured as required by other legislation.

8.3 Secure cycle storage will be provided via the garage, and if necessary, lockable storage in a garden shed.

## **9.0 Summary & Conclusions**

9.1 The proposal will provide a high-quality, comfortable family home in a highly sustainable location within close proximity to a multitude of local services, amenities, public transport, motorway and cycle routes.

9.2 The site is located within the defined settlement boundary.

9.3 The existing pattern of road fronting development on Larkhay Road will be maintained and the size and scale of the dwelling will be commensurate with other dwellings in the locality as well as the site itself.

9.4 The design evolution from the previous application will ensure the proposal complements and continues the existing street scene, whilst respecting the character of its surroundings.

9.5 The proposal to bring forward a high-quality family home on what is currently unused and surplus private garden area represents an improvement in land use.

9.6 The proposal will ensure greater than appropriate residential garden areas are maintained for 2 and 4 Colwell Avenue, whilst providing the same for the new dwelling.

9.7 A distance of approximately 17 meters is maintained from the rear of number 2 and set back far enough to ensure the 45 degree rule applies to the adjacent neighboring property as shown on the proposed site plan PR02.

9.8 The new dwelling will exceed Nationally Described Space Standards and comply with the requirements of at least Building Regulations Part M4(1).

9.9 The new dwelling is designed to be energy efficient and meet or exceed the minimum standards required by Building Regulations Part L. In doing so, it will minimise energy use and running costs at a time of increased fuel poverty for families.

9.10 The boundary treatments and landscaped areas to both the front and rear will complement the street scene and preserve the general characteristics of this part of Larkhay Road and adjoining roads.

9.11 The proposed access arrangement is deemed to present no highway safety risks, and the site provides adequate parking provision for proposed dwelling type.

9.12 The design evolution taking on board previous planning & third-party comments ensures a proposal that is of an appropriate scale, type, whilst using detailing and materials appropriate to the setting.

9.13 The site is ideally located with easy access to public transport, motorway junctions and cycle routes.

9.14 The final scheme has evolved over recent months and has benefitted from input from the applicant and the LPA. The comments from all parties, including third-party representations from the previous application, have been carefully considered and have informed this application.

9.15 Every effort has been made to comply with the Adopted Joint Core Strategy and NPPF, and we have reviewed other recently consented infill/single dwelling consents in the vicinity. We believe this is a compliant proposal which will provide a high-quality family home, in a sustainable location which compliments it's setting and improves the current land use.













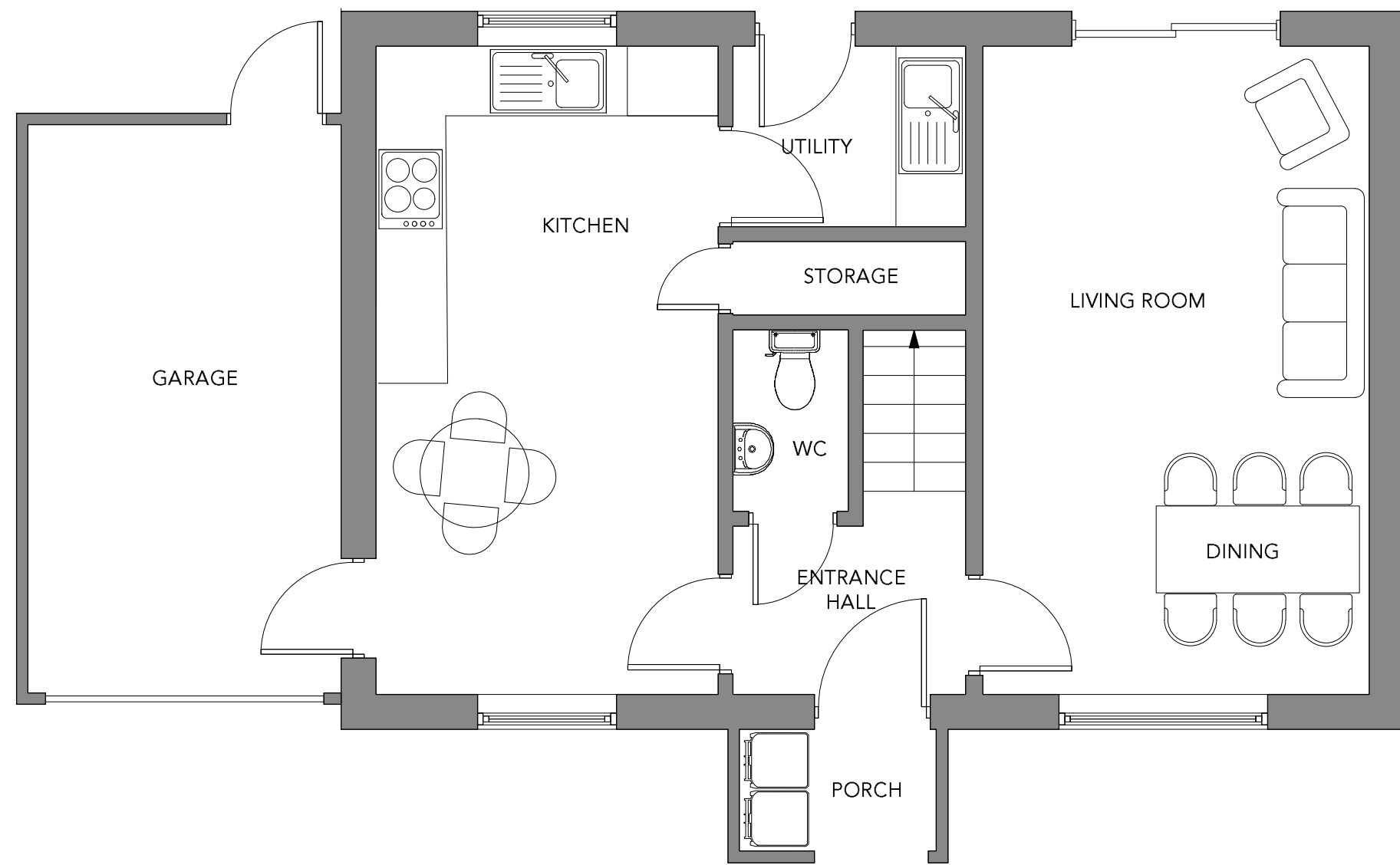
# MATERIAL SCHEDULE

JW ARCHITECTURAL STUDIO

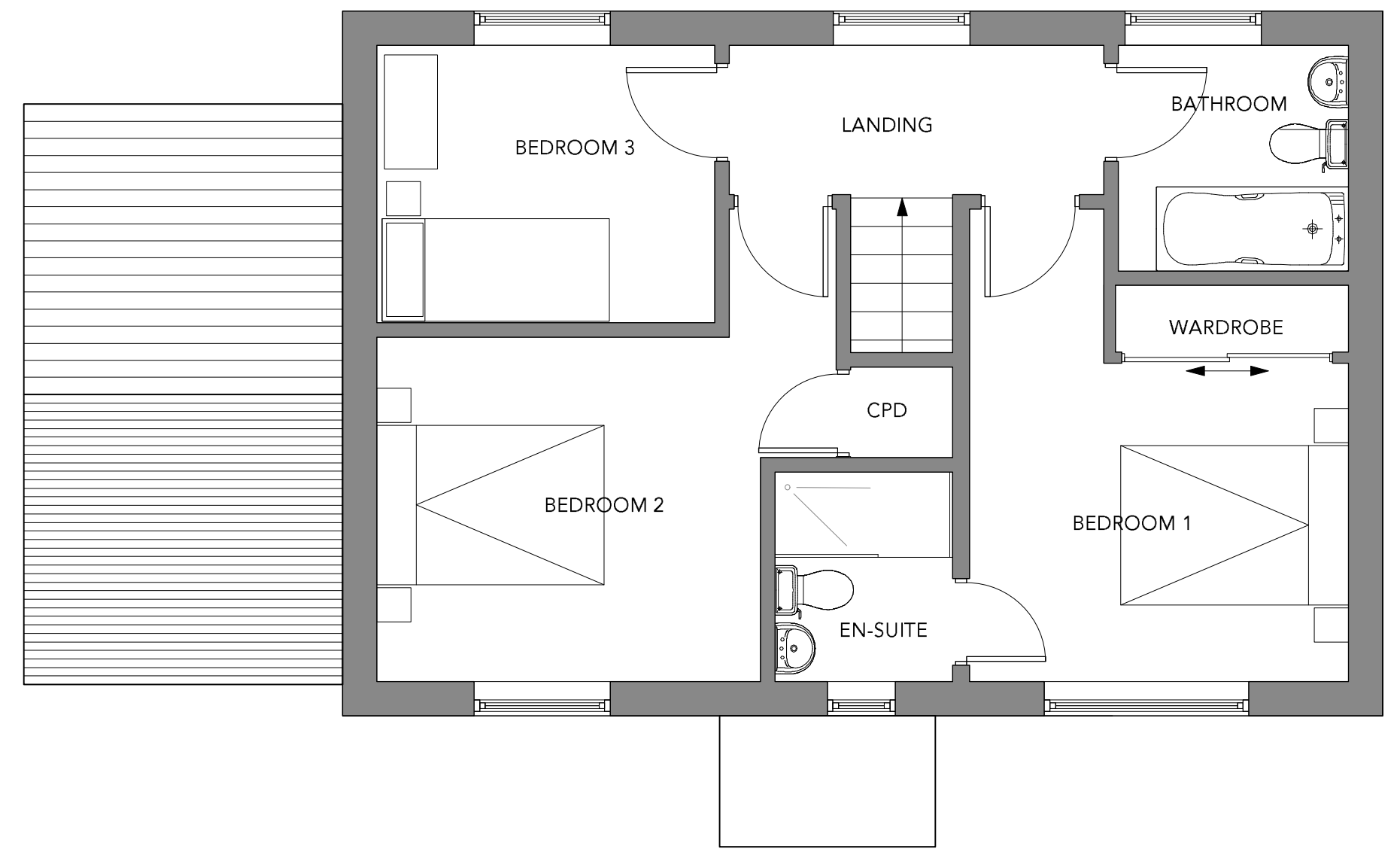
03/10/2022

<b>JOB NO:</b> FPBR21	<b>PROJECT:</b> LAND TO REAR OF 2 AND 4 COWELL AVENUE, HUCCLECOTE	<b>STATUS:</b> PLANNING	<b>REVISION:</b>
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	BRICK BELOW RENDER	ROOF TILE	DOORS AND WINDOW FRAMES	FRONT DOOR	FACIAS AND SOFFITS	GUTTERING AND DOWPIPES	BOUNDARY TREATMENTS
<b>MAIN HOUSE</b>	WIENERBERGER FACING BRICK DENTON CROFTERS MEDLEY 	CONCRETE INTERLOCKING TILES 	WHITE UPVC DOUBLE GLAZED ARGON FILLED CASEMENT WINDOWS 	WHITE COMPOSITE FRONT DOOR 	TO MATCH WINDOW COLOUR	BLACK 'OSMA' GUTTERING SYSTEM 	Feather edge close boarded timber fence. 
<b>GARAGE</b>	WIENERBERGER FACING BRICK DENTON CROFTERS MEDLEY 	CONCRETE INTERLOCKING TILES 	WHITE METAL GEORGIAN STYLE GARAGE DOOR 		TO MATCH WINDOW COLOUR	BLACK 'OSMA' GUTTERING SYSTEM 	Feather edge close boarded timber fence 



GA 01 Proposed Ground Floor  
1:50 @A2

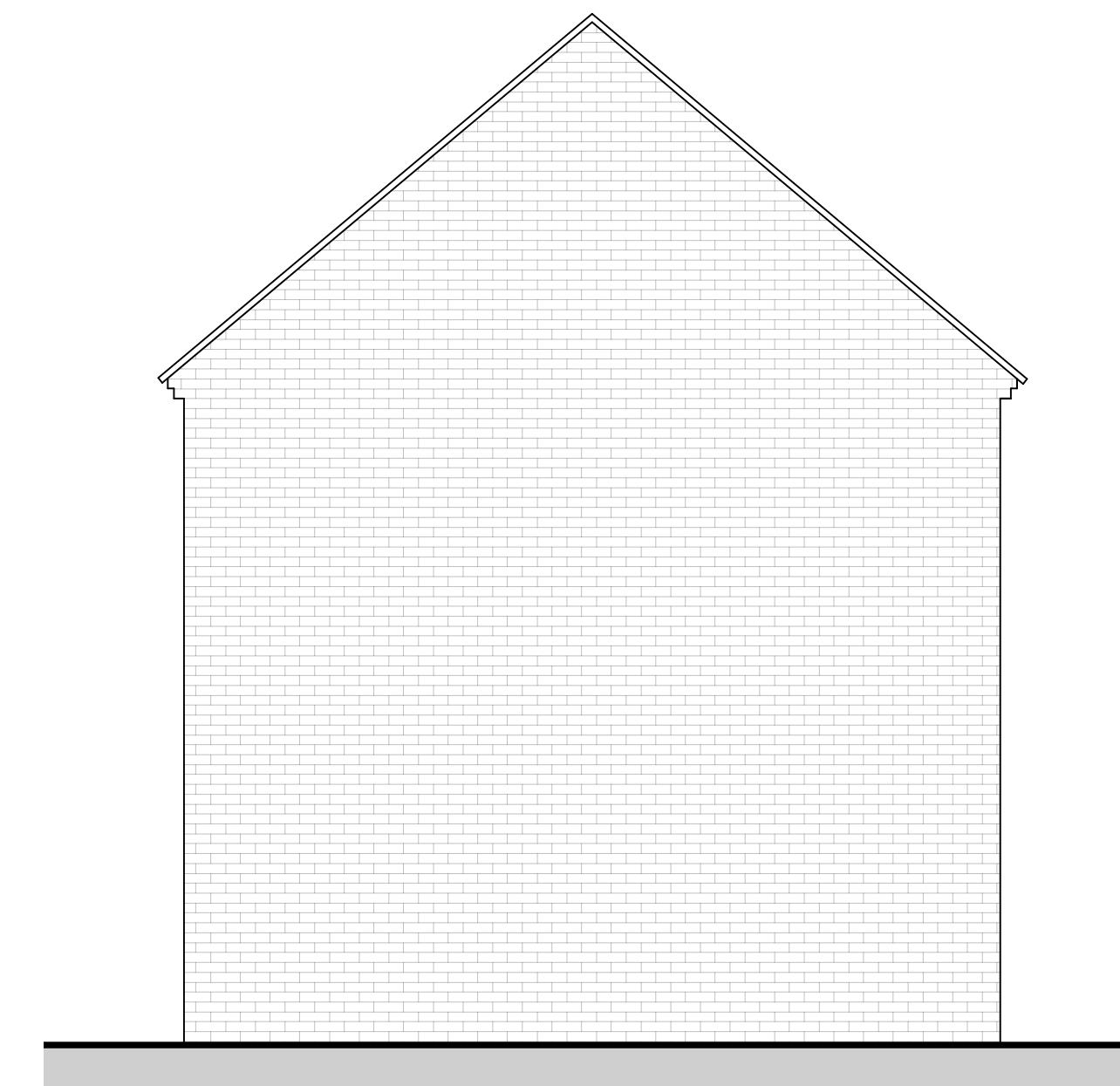


GA 01 Proposed First Floor  
1:50 @A2

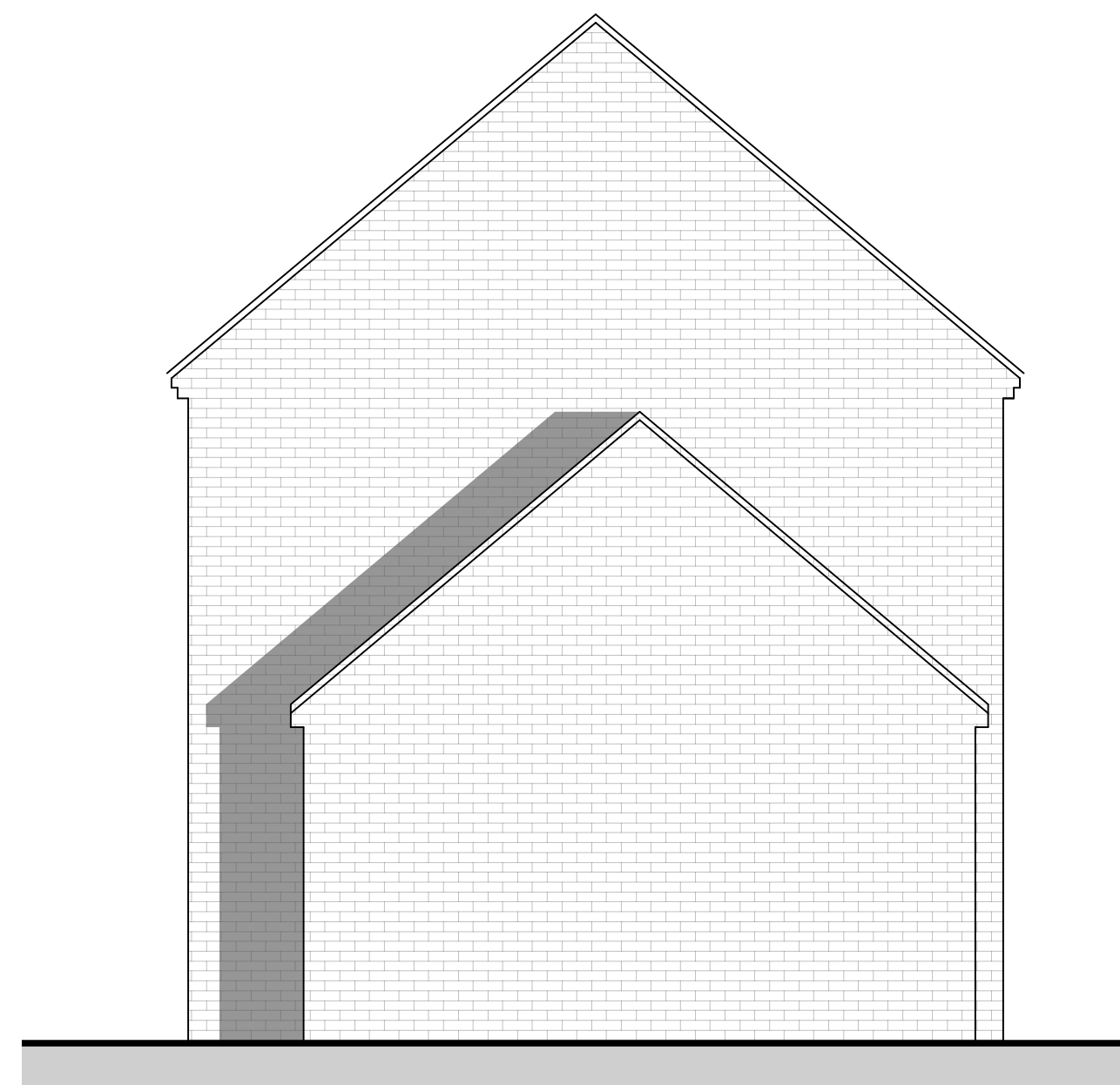
	23a Parsonage Street Dursley Gloucestershire GL11 4BW	DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY	NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.
		PR01		Proposed Floor Plans	Land to the rear of 2 and 4 Cowell Avenue	1:50@A2	23/09/2022	D. Bozzard	J.W	



PR05 Proposed Front Elevation  
1:50 @A1



PR05 Proposed Side Elevation  
1:50 @A1

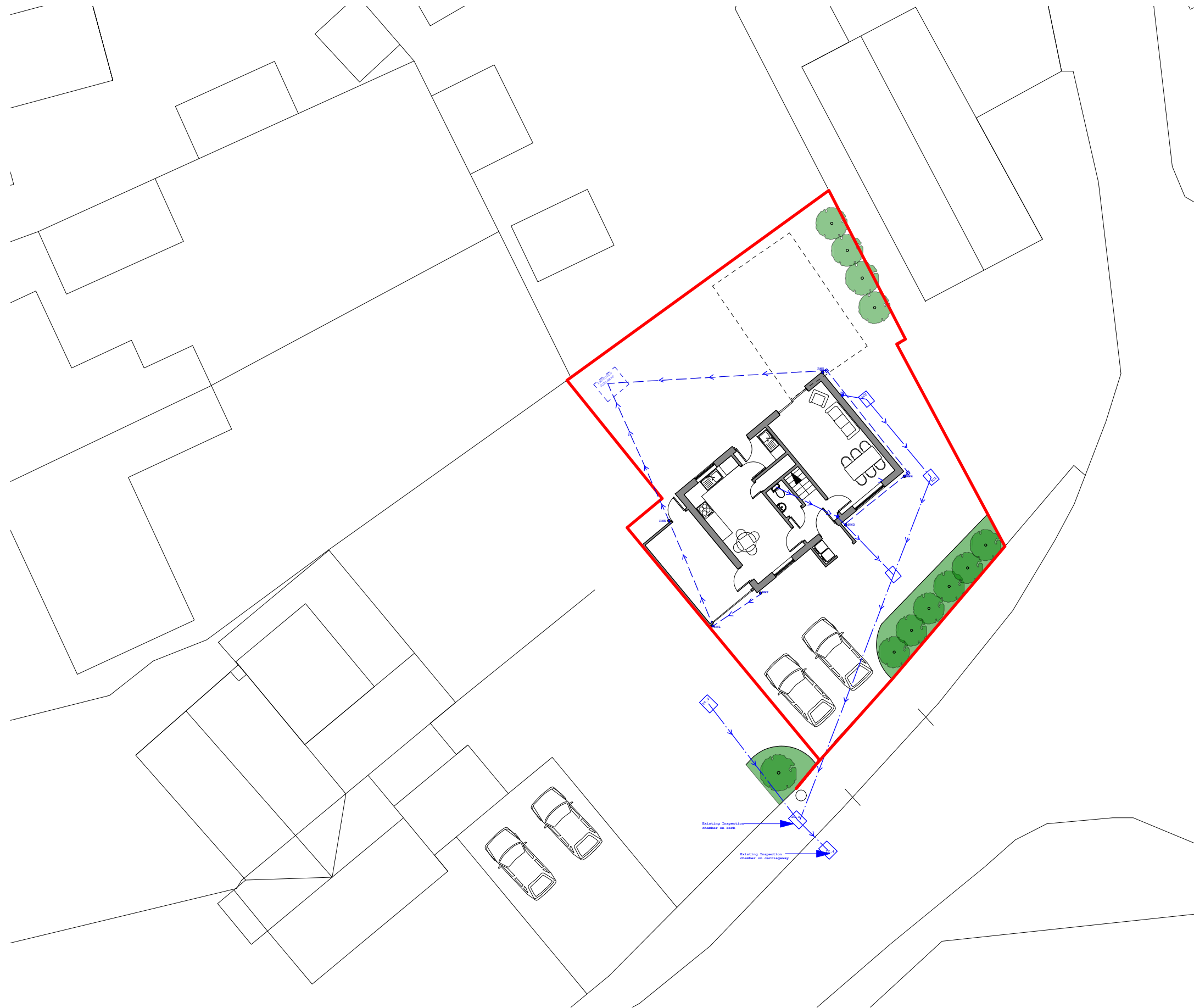


PR05 Proposed Side Elevation  
1:50 @A1



PR05 Proposed Rear Elevation  
1:50 @A1

DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY
<b>PR04</b>		Proposed Elevations	Land to the rear of 2 and 4 Cowell Avenue	1:50@A1	23/09/2022	D. Bozzard	J.W



### Drainage Notes

Surface Water system designed for a 1 in 100 year event plus an allowance of 40% for climate change.

Impermeable areas have had an additional 10% added for urban creep.

### Drainage Strategy

#### **Foul Drainage**

Gravity system discharging into the mains sewer system that is located on Larkhay Road.

Individual flows less than 2m<sup>3</sup> to ground, passing the EA 'Binding Rules'.

Onsite drainage to be maintained by individual householders following sale of the units.

#### **Surface Water Drainage**


Consists of interlinked gravel hardstanding and grate soakaways. Falls on site dictate that flows should be taken to paving at front of dwellings. Should the design storm be exceeded the system will overflow at surface level to public highway.

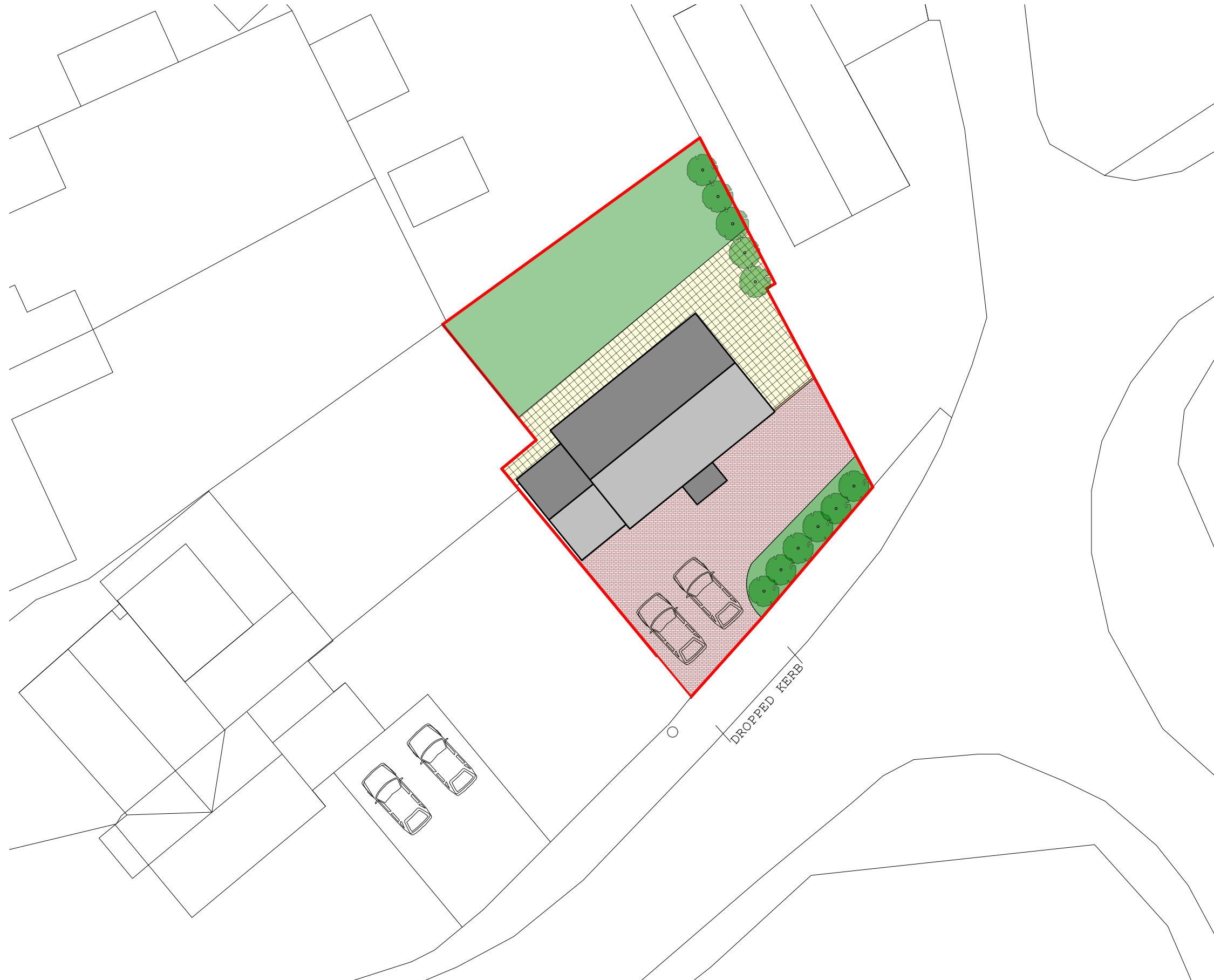
#### **Buried Utilities Risk Note:**

Buried utilities are present on and in the vicinity of the site. The Contractor must satisfy themselves that they have seen utility returns for the area and that appropriate Risk Assessment Method Statement (RAMS) are in place and implemented to ensure that buried and/or overhead services are located prior to any works taking place.

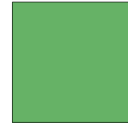
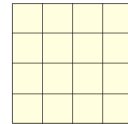
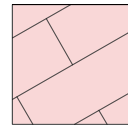
Any RAMS shall address safe procedures for protection and working in the proximity of services.

PR04 **Proposed Drainage Plan**  
1:200 @A3


	23a Parsonage Street Dursley Gloucestershire GL11 4BW	DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY	<b>NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.</b>
		<b>PR03</b>		Proposed Drainage Plan	Land to the rear of 2 and 4 Cowell Avenue	1:200@A3	26/09/2022	D. BOZZARD	J.W	



**MATERIALS KEY:**

-  LAID LAWN
-  PATIO SLABS
-  BLOCK PAVING


PR04 **Proposed Surface Finishes**  
1:200 @A3

	23a Parsonage Street Dursley Gloucestershire GL11 4BW	<b>DRAWING No</b>	<b>REV</b>	<b>DRAWING TITLE</b>	<b>PROJECT</b>	<b>SCALE</b>	<b>DATE</b>	<b>CLIENT</b>	<b>DRAWN BY</b>	<b>NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.</b>
				Proposed Drainage Plan	Land to the rear of 2 and 4 Cowell Avenue	1:200@A3	02/11/2020	D. BOZZARD	J.W	





**EX02** Existing Tree Plan  
1:200 @A3

	23a Parsonage Street Dursley Gloucestershire GL11 4BW	DRAWING No	REV	DRAWING TITLE	PROJECT	SCALE	DATE	CLIENT	DRAWN BY	<b>NOTE: DO NOT SCALE OFF THESE DRAWINGS. ANY MEASUREMENTS SHOULD BE REQUESTED TO US.</b>
		<b>EX02</b>		Existing Tree Plan	Land to the rear of 2 and 4 Cowell Avenue	1:200@A3	26/09/2022	D. BOZZARD	J.W	