

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

London Heather Bricks

Proposed materials and finishes:

London heather bricks

Type:

Roof

Existing materials and finishes:

Redland 49 Roof tiles

Proposed materials and finishes:

Redland 49 Rooftiles

Type:

Windows

Existing materials and finishes:

White UPVC

Proposed materials and finishes:

White UPVC

Type:

Other

Other (please specify):

Soffits and fascia / guttering

Existing materials and finishes:

White UPVC

Proposed materials and finishes:

White UPVC

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

BP2021 Proposed Plans
BP2021 Design access statement

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed in order to carry out your proposal?

- Yes
- No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
- No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
- No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
- No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
- No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
- No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
- No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
- No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
- No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
- No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
- The Agent

Title

First Name

Surname

Declaration Date

05/10/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Cen Davies

Date

05/10/2022



Architectural Planning Services

DESIGN AND ACCESS STATEMENT FOR PLANNING APPLICATIONS
(no listed building consent required)

Name and address of proposed development site –
46 Liddington Road, Longlevens, Gloucester, GL2 0HL

Proposed Development –
Proposed first floor extension above existing ground floor office to provide enlarged bedroom and ensuite.

Assessment of the surroundings of the proposed development

46 Liddington Road is set half way up a cul de sac in a residential area of Longlevens. . The houses were built in 1950s with London Heather bricks and Redland 49 roof tiles with some semi-detached and others totally detached. Many of the dwellings have been extended and there is plenty of scope within each curtilage to provide enlarged living. To the rear of the properties is a field which leads towards Sir Thomas Riches school playing field and The rugby Club. There would be no issues with overlooking other than precedents which have already been set by other similar extensions.

Consultation -

There has been plenty of communication regarding this proposal with the neighbouring property and as the proposal sits to the rear of 46b Liddington Road and there are no windows to be added to the extension, there is no danger of overlooking. Indeed the neighbouring hedgerow is very high and prevents any visual gain into the neighbouring garden.

Evaluation-

In evaluating the proposal taking into account the surrounding area, conclusions have been reached listed by the following statements.

1. The addition of a second storey extension to the rear of 46 Liddington Road will have little if any impact on any of the surrounding properties.
2. The design of the extension will use the aesthetic details of the existing buildings and match in with this so that the extension is complementing the existing building
3. The proposal must attempt to retain the character of not only the existing building but also fit in with the local areas and property type. Materials will be used that are both sustainable and aesthetically pleasing.

DESIGN COMPONENTS

Proposed Use(s) -
The proposal fits in with the surrounding area, as material being used for the exterior will match every other building. The roof line is no higher, than surrounding properties and the proposal does not affect amenity space at all.

Layout -

This proposal aims to increase the space available in the bedroom area by building out over the existing ground floor office. An ensuite is to be built , taking advantage of existing foul drainage position .

Scale –

The roof pitch is the same as the lower building. The proposal only uses a does not increase the footprint of the property and so a large garden is still available for amenity space.

Appearance –

The appearance of the building will match the surroundings. London Heather bricks will be blended with white UPVC window frames and meet a soffit board and fascia of white UPVC. This leads to roof tiles that will be matched to the existing tiles on the roof – Redland 49 Tudor brown rooftiles

ACCESS COMPONENTS

Technical advice -

Advice re the foundations has been south has been taken form the previous owners of 46 Liddington Road. The foundations for the existing side extension were piled in 2007 due to a waste water drain at the front of the House. It has come to light that this was unnecessary as the pipe has been unused for many years – however as the foundations were piled, the first floor extension will provide no overloading on the existing foundations.

As the property sits within the Gloucester City jurisdiction, the polices are taken from the Joint Core Strategy for Gloucester Cheltenham and Tewksbury- as this is permitted development policy compliance will only be looked at for Policy SD4

| | |
|---|---|
| <p>Policy SD4 Design Requirements</p> <p>1. Context, Character and sense of place.</p> | <p>The proposal has taken note of the character and aesthetics of the surrounding building and used to cultivate a similar bond between the existing dwellings and the new dwelling. Examples of this include:</p> <ul style="list-style-type: none"> a) Mirroring the brickwork colour and style where possible. b) Ensuring that windows are installed n the corresponding style to neighbouring properties. c) Ensuring that eaves details are adopted to reflect the design of a bygone era. <p>This will ensure that context, character and sense of place have been incorporated into this design.</p> |
| <p>2. Legibility and identity.</p> | <p>As this paragraph applies to bigger residential layouts, it is unclear as to how this proposal fits in – however, in designing a strong character filled property which will not stand out in its surroundings but is sympathetic to the surrounding design style, we are maintaining the distinctive identity of the Liddington Road dwellings</p> |
| <p>3. Amenity and space.</p> | <p>The proposal does not impact the amenity space at all as the design sits on top of an existing footprint.</p> |
| <p>4. Inclusiveness and adaptability.</p> | <p>N/A</p> |
| <p>5. Movement and connectivity</p> | <p>N/A</p> |



Architectural Planning Services

Water Management Plan.

46 Liddington Road, Longlevens, Gloucester, GL2 0HL

Proposed first floor extension to rear elevation

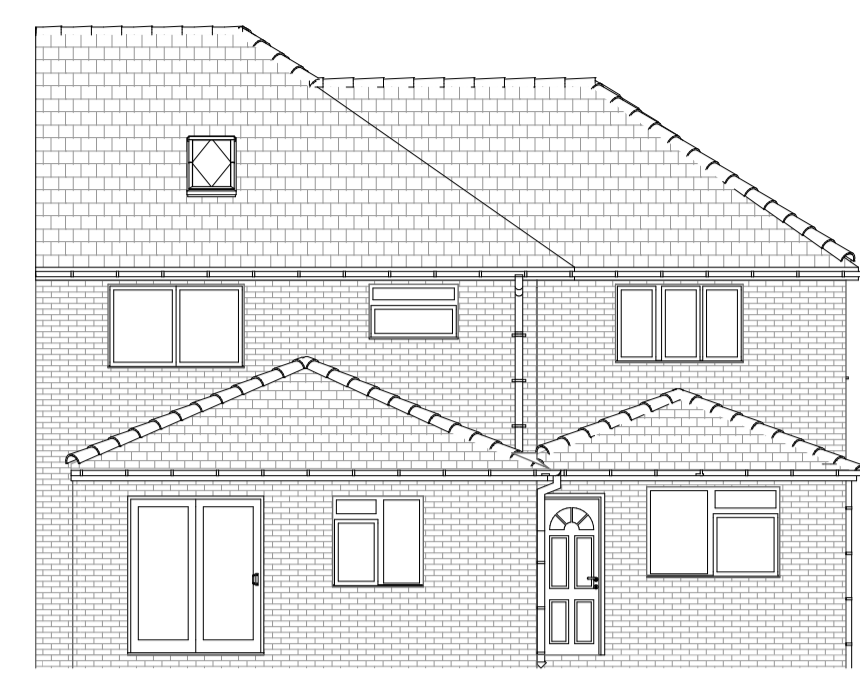
| Intended Development | Existing Measures | Proposed Measures |
|--|--|---|
| Proposed new ensuite | Waste water dispersed into existing Soil & Vent pipe and fed to waste foul drain in front driveway | Waste water to continue to be fed into SVP pipe and into foul drain system. |
| | Old style taps with no aeration facility | All new taps to have aeration filters fitted. |
| | | . |
| | | Low water use appliances to be installed |
| New roof to rear first floor extension | Currently rain water from existing roof is fed to a the combined rainwater/foul water system | Single second storey roof to guttering to continue to be fed to the existing system with the addition of rainwater harvesting water butt fitted to the rear elevation downpipe. |
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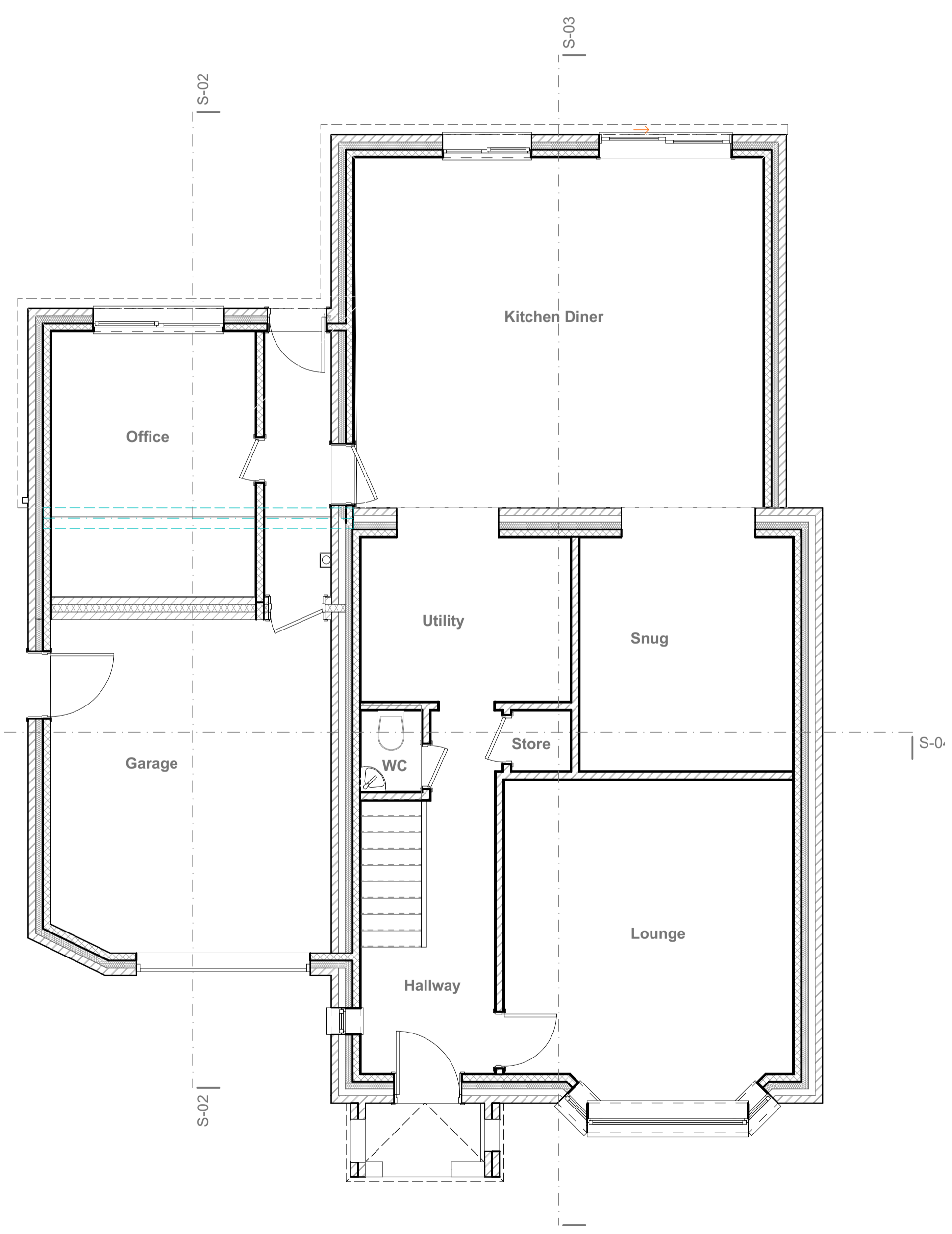
Existing Front Elevation



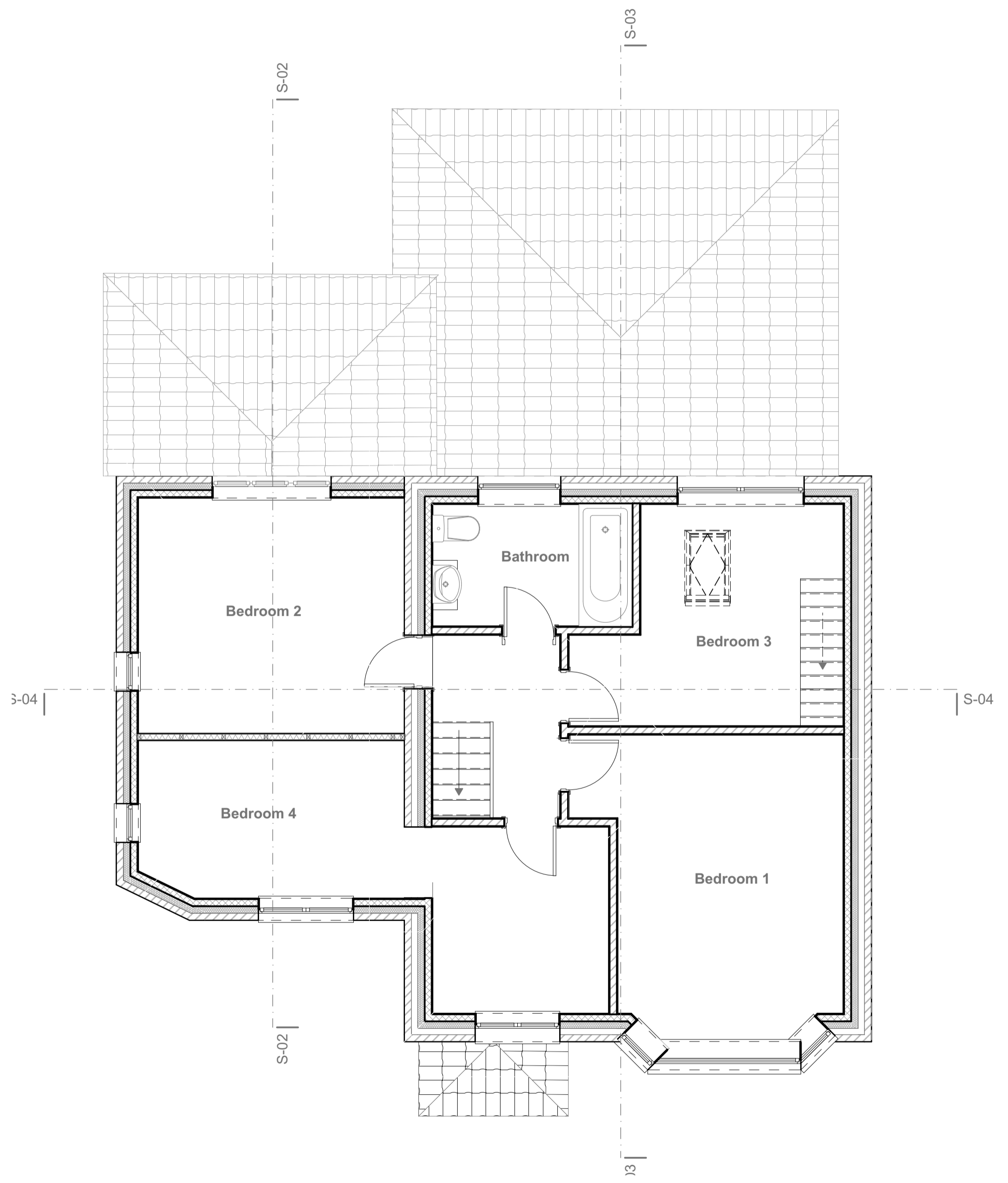
Existing Side Elevation



Existing Rear Elevation



Existing Ground Floor Plan



Existing First Floor Plan

Construction Risks Maintenance/Cleaning Risks Demolition/Adaptation Risks

In addition to the hazards/risks normally associated with the types of work detailed on this drawing take note of the above. It is assumed that all works on this drawing will be carried out by a competent contractor working, where appropriate, to an appropriate method statement.

Safety Health and Environmental Information Box

Notes

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| RevID | Issue Date | Issuer/Info | Status | Approved by |
|-------|------------|-------------|--------|-------------|
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|-------------|---|-------------|
| Scales @ A1 | Issuing Office | Project No. |
| 1:100, 1:50 | Blueprint Architectural Planning Services | BP2021 |

Client Approval

A - Approved

B - Approved with Comments

C - Do Not Use

Status: **For Approval**

Originator: **CEN DAVIES B.A**

Project: **Proposed first floor extension**

46 Liddington Road, Longlevens, Gloucester, GL2 0HL

Layout Title: **Existing Elevations and Floor plans**

Client: **Mr I & Mrs K McKenna**

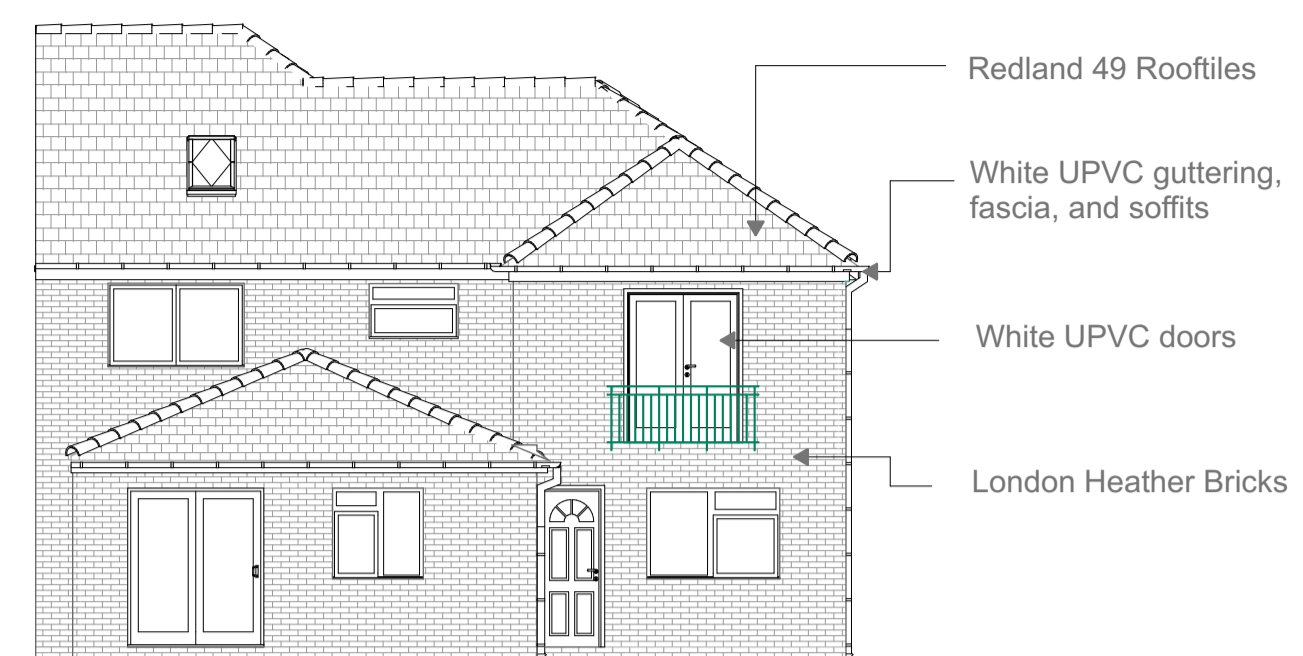
| project | originator | volume | level | type | role | number | rev |
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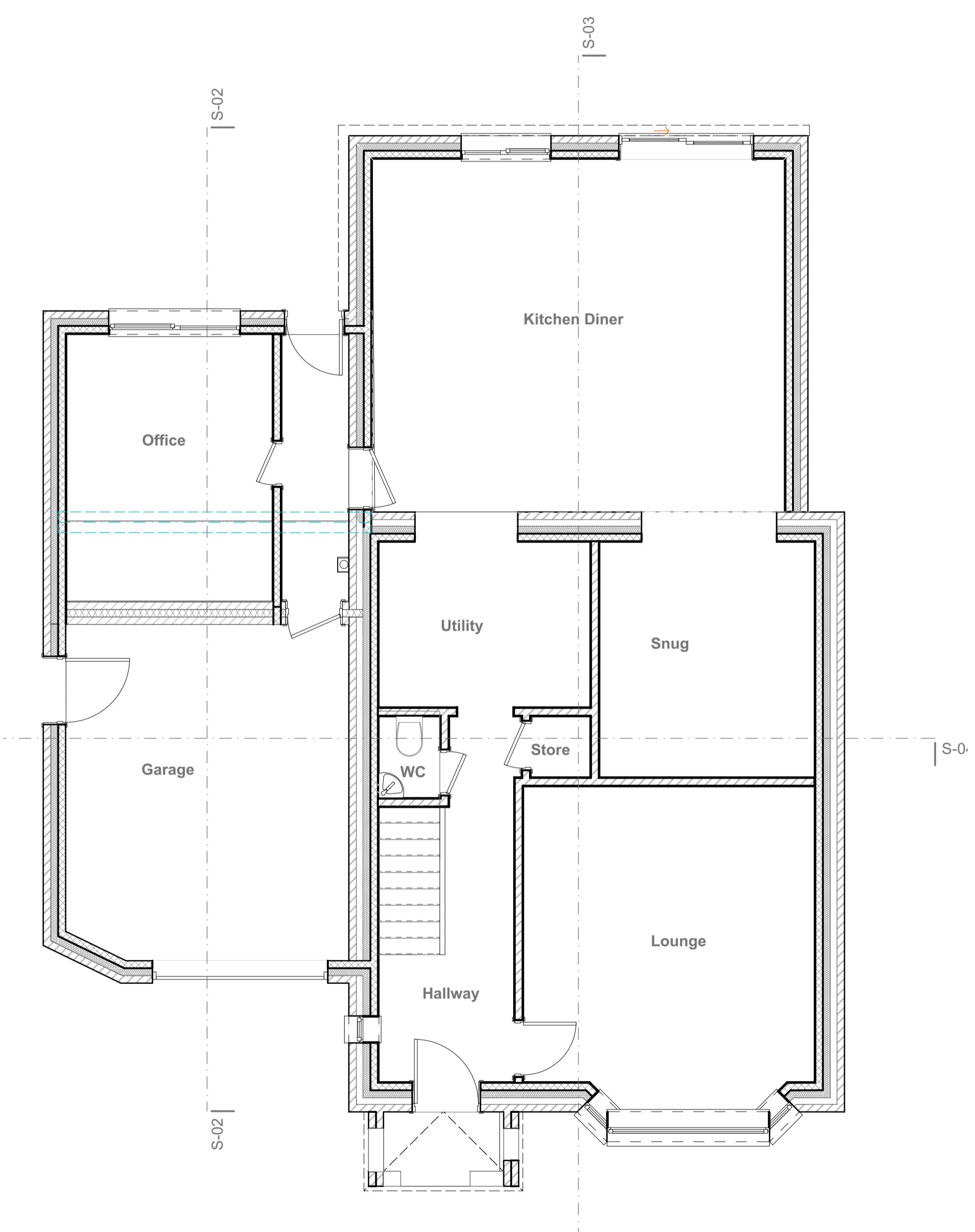
Proposed Front Elevation



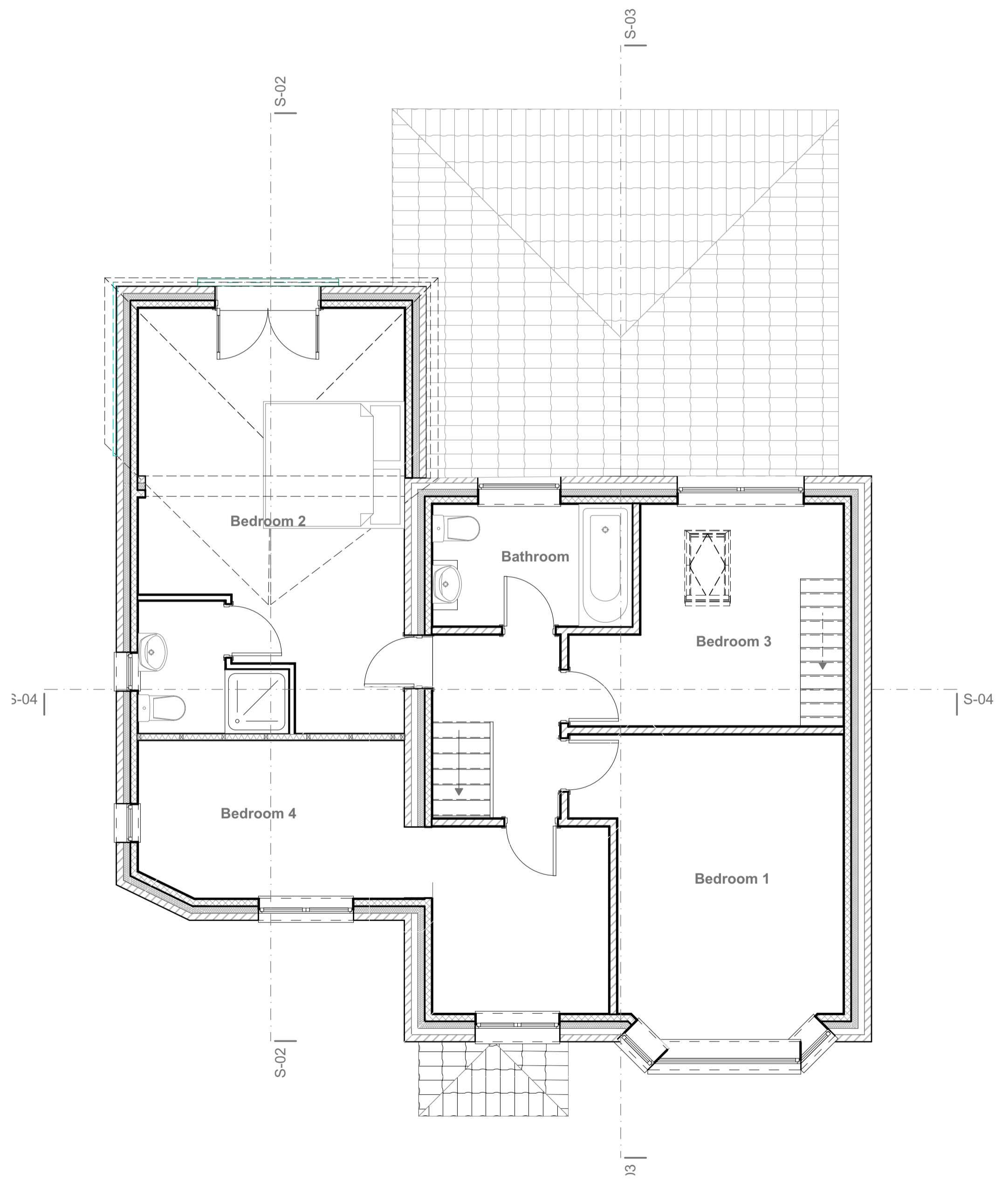
Proposed side Elevation



Proposed Rear Elevation



Proposed Ground Floor



Proposed First Floor

Construction Risks Maintenance/Cleaning Risks Demolition/Adaptation Risks

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Project

Proposed first floor extension

46 Liddington Road, Longlevens, Gloucester, GL2 0HL

Layout Title

Proposed Elevations and Floor plans

Client

Mr I & Mrs K McKenna

| Drawing Number | | | | | | |
|----------------|------------|--------|-------|------|------------|-----|
| project | originator | volume | level | type | number | rev |
| BP2021 | CPO | 1 | A | AI | BP2021 E E | N/A |