

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mrs

First name

E

Surname

Kelly

Company Name

Address

Address line 1

96 Oxstalls Lane

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL2 9HX

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

Demolition of existing lean-to garage and rear single storey structure, and erection of a part-single, part-two storey wrap around extension

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

| |
|---|
| <p>Type: Walls</p> <p>Existing materials and finishes: Render</p> <p>Proposed materials and finishes: Render Black Brick</p> |
| <p>Type: Doors</p> <p>Existing materials and finishes:</p> <p>Proposed materials and finishes: uPVC Dark Grey / Anthracite</p> |
| <p>Type: Windows</p> <p>Existing materials and finishes:</p> <p>Proposed materials and finishes: uPVC Dark Grey / Aluminium</p> |

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Please refer to 266-P-70 Proposed Elevations

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes
 No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
 No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mr

First Name

Tom

Surname

Bell

Declaration Date

28/04/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Tom Bell

Date

15/06/2022

KEY

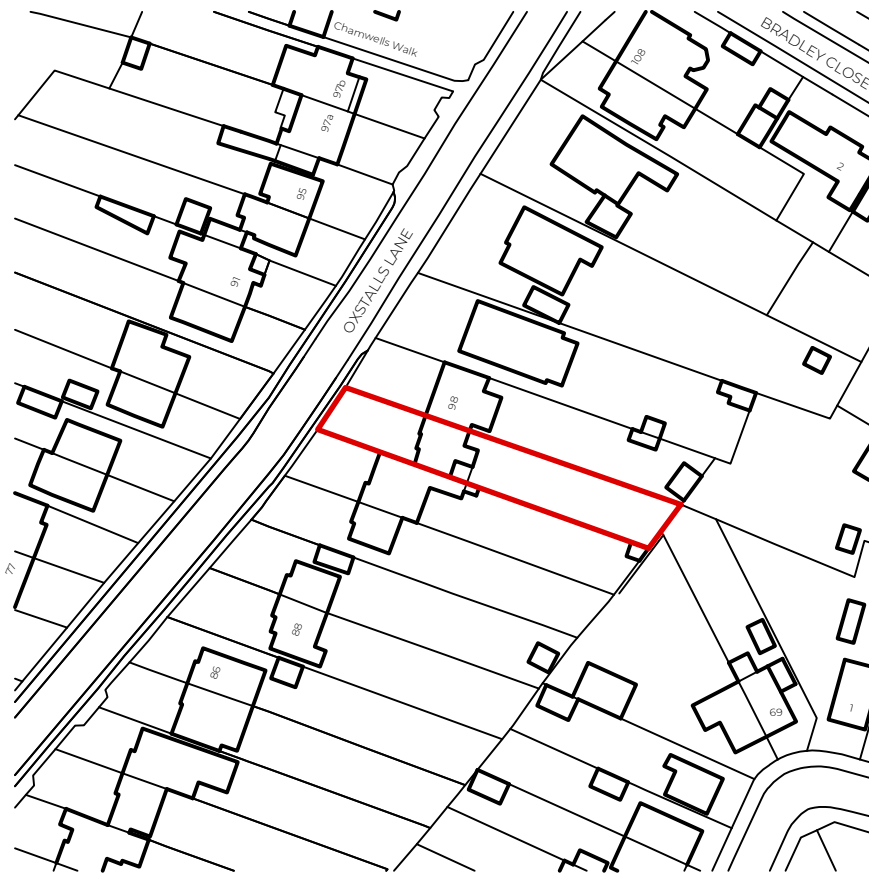
Red Line Boundary

NOTES

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3. Refer to the drawing number.
4. This drawing is to be read in conjunction with all other relevant architect's and engineer's drawings.
5. All dimensions to be checked on site prior to commencement of works, and any discrepancies are to be checked with the architect immediately.
6. Unless otherwise stated, all dimensions are in mm.

COMMENTS

01.06.22: TB - Drawing Created.



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PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly

CONTRACTOR N/A
STAGE Planning

SCALE 1:1250 @ A4 **DATE** June '22

DRAWING TITLE
 Site Location Plan

DRAWING NO. 266-P-01 **REV.** -



0 5 10 25 50

OXSTALLS

KEY

Red Line Boundary

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PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly

CONTRACTOR N/A
STAGE Planning

SCALE 1:200 @ A3 **DATE** June '22

DRAWING TITLE
Existing Site Plan

| DRAWING NO. | REV. |
|-------------|------|
| 266-P-05 | - |

OXSTALLS

KEY
Red Line Boundary

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|----------------------|------------------------------|
| PROJECT | 96 Oxstalls Lane, Longlevens |
| CLIENT | Mr & Mrs Kelly |
| CONTRACTOR | N/A |
| STAGE | Planning |
| SCALE | 1:200 @ A3 |
| DATE | June '22 |
| DRAWING TITLE | Proposed Site Plan |
| DRAWING NO. | 266-P-10 |
| REV. | - |

DRAWING REGISTER AND DOCUMENT ISSUE SCHEDULE



Project 96 Oxstalls Lane, Longlevens

Reference 255-P-DIR
Client Mr & Mrs Kelly
Stage Planning
Date 11/06/2022

| Drawings | Scale | Size | Title | 11/06/2022 | | | | | | | | | | | | | | | | | | |
|----------|--------|------|------------------------|------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| 266-P-01 | 1:1250 | A4 | Site Location Plan | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-05 | 1:200 | A3 | Existing Site Plan | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-10 | 1:200 | A3 | Proposed Site Plan | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-15 | 1:100 | A3 | Existing Floor Layouts | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-20 | 1:100 | A3 | Proposed Floor Layouts | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-21 | 1:100 | A3 | Proposed Floor Layouts | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-60 | 1:100 | A2 | Existing Elevations | ✓ | | | | | | | | | | | | | | | | | | |
| 266-P-70 | 1:100 | A2 | Proposed Elevations | ✓ | | | | | | | | | | | | | | | | | | |
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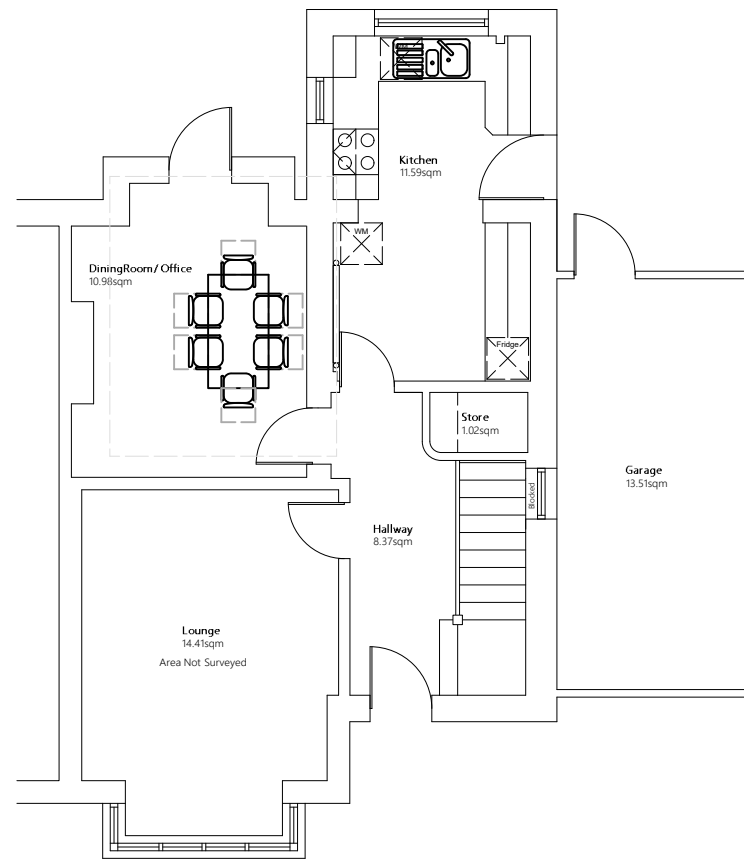
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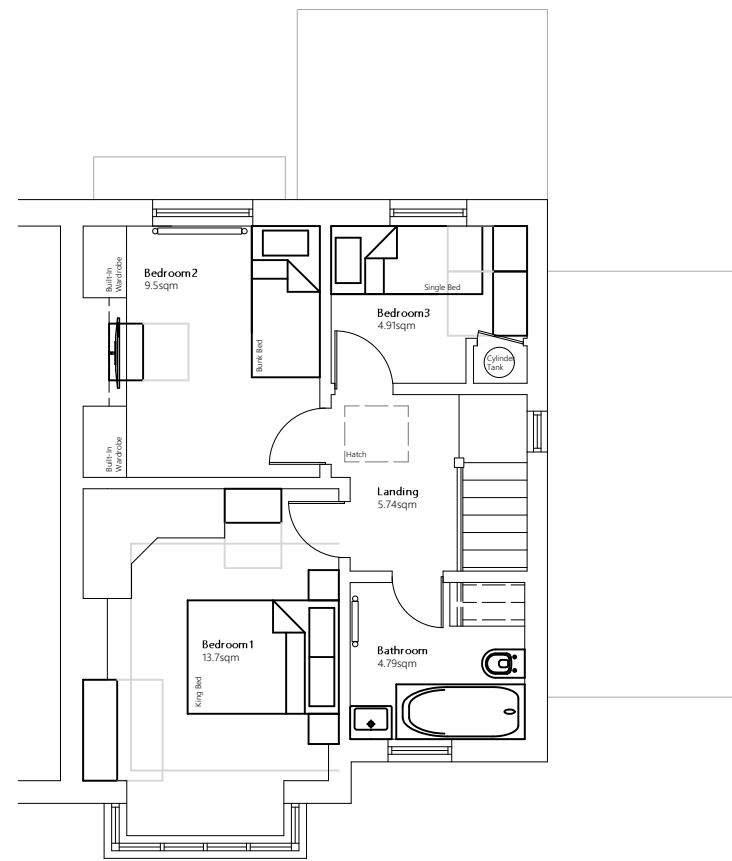
COMMENTS

01.06.22 : TB - Drawing Created.



Ground Floor

32 The Avenue, Gloucester



First Floor

32 The Avenue, Gloucester



KENKO Architects Ltd | ARB | RIBA

| | |
|-------------------|------------------------------|
| PROJECT | 96 Oxstalls Lane, Longlevens |
| CLIENT | Mr & Mrs Kelly |
| CONTRACTOR | N/A |
| STAGE | Planning |
| SCALE | 1:100 @ A3 |
| DATE | June '22 |

DRAWING TITLE

Existing Floor Layouts

DRAWING NO. **REV.**

266-P-15 -



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COMMENTS

01.06.22: TB - Drawing Created.



Front Elevation

98 Oxstalls Lane, Longlevens

96 Oxstalls Lane, Longlevens

94 Oxstalls Lane, Longlevens



Side Elevation

96 Oxstalls Lane, Longlevens



Rear Elevation

94 Oxstalls Lane, Longlevens

96 Oxstalls Lane, Longlevens

98 Oxstalls Lane, Longlevens



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PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly
CONTRACTOR N/A
STAGE Planning
SCALE 1:100 @ A2 **DATE** June '22

DRAWING TITLE

Existing Elevation

DRAWING NO. **REV.**

266-P-60

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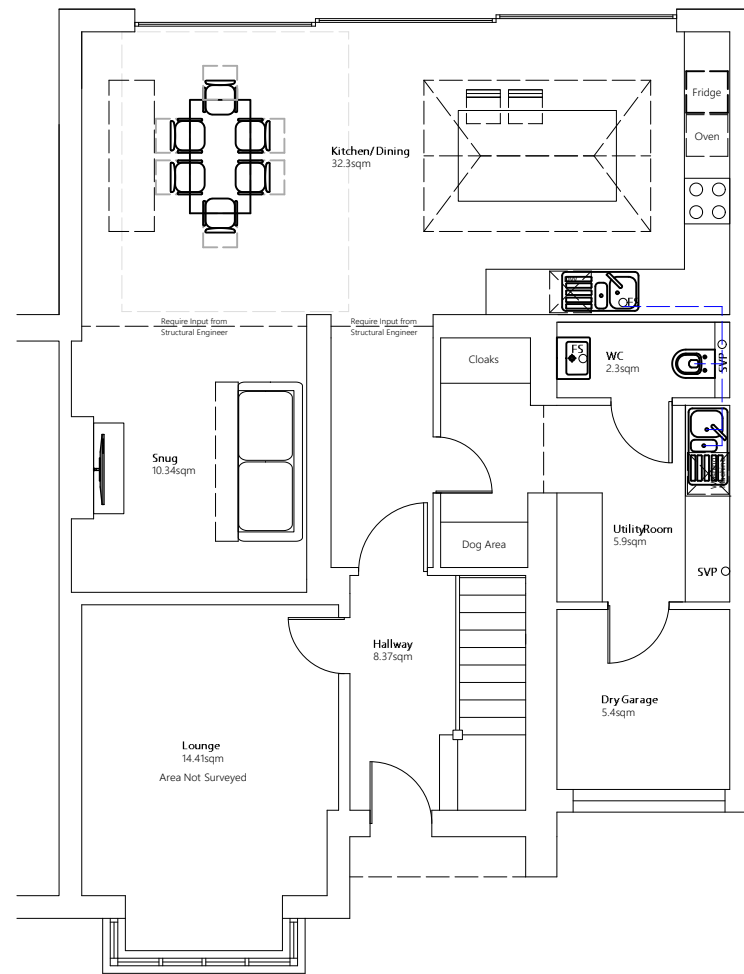


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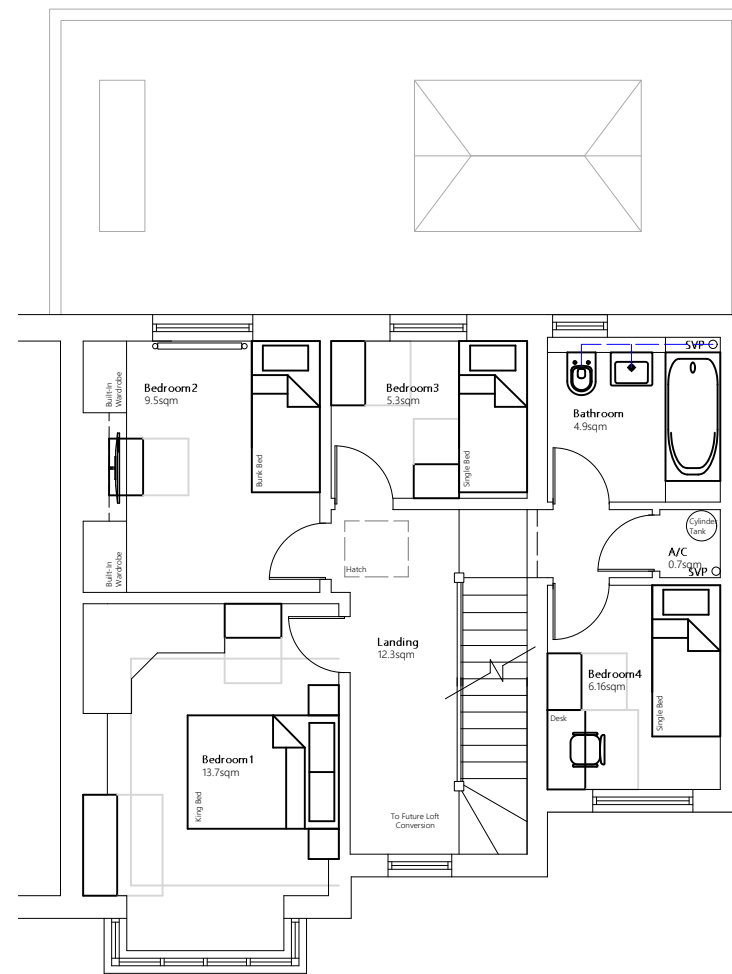
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Ground Floor
96 Oxstalls Lane, Gloucester



First Floor
96 Oxstalls Lane, Gloucester



KENKO Architects Ltd | ARB | RIBA

PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly
CONTRACTOR N/A
STAGE Planning
SCALE 1:100 @ A3 **DATE** June '22

DRAWING TITLE
Proposed Floor Layouts

DRAWING NO. 266-P-20 **REV.** -

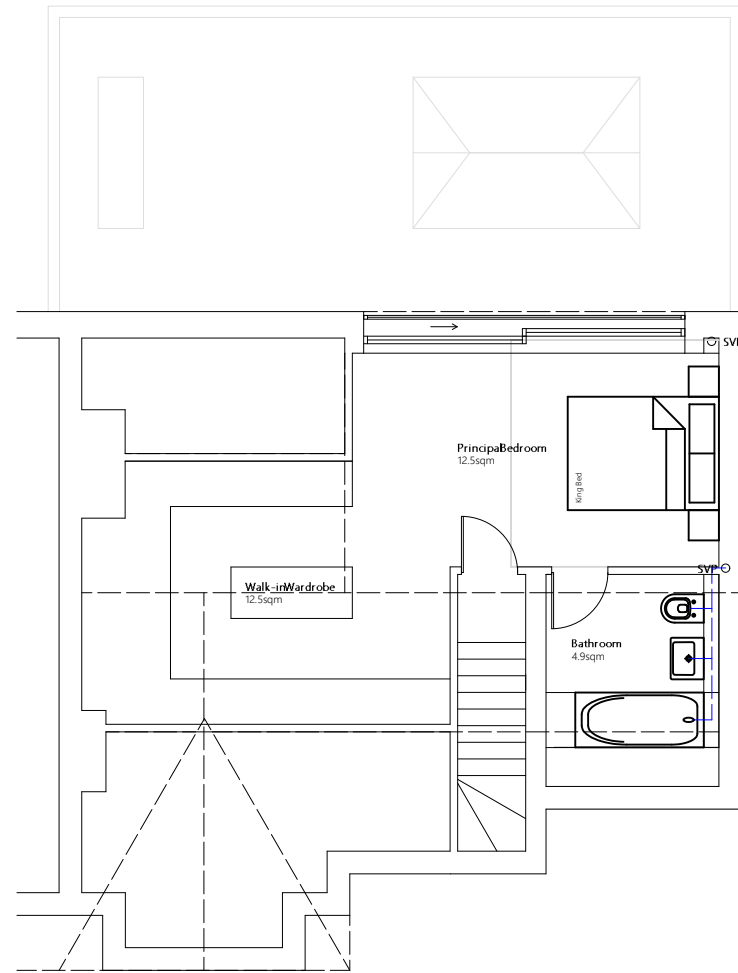


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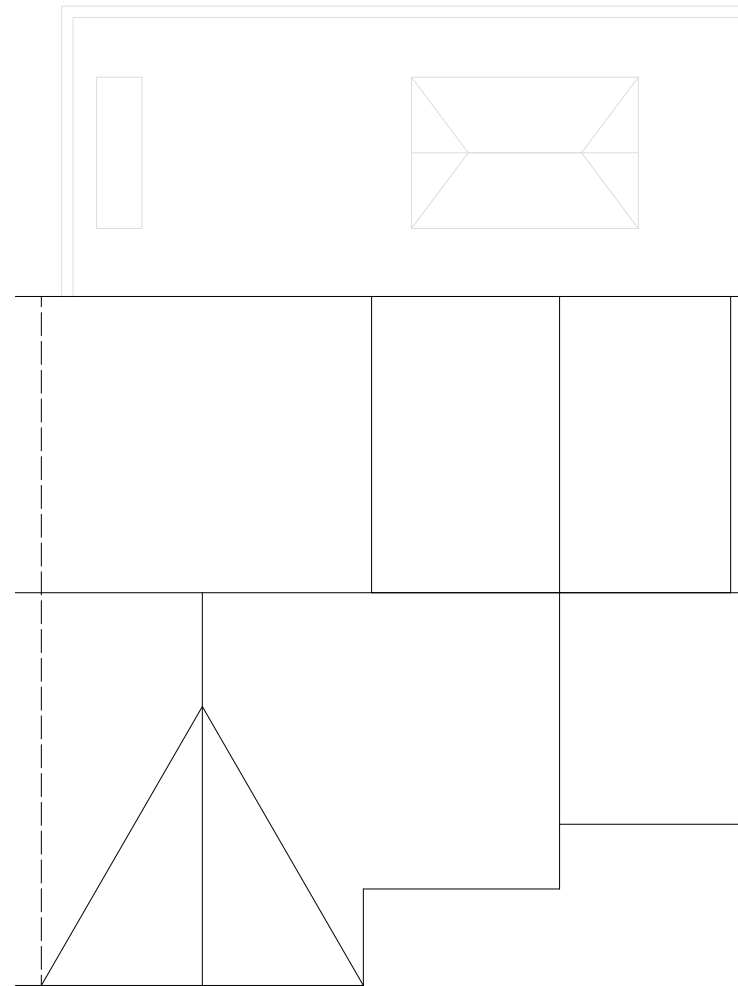
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COMMENTS

24.04.22 : TB - Drawing Created.



Second Floor
96 Oxstalls Lane, Gloucester



Roof Plan
96 Oxstalls Lane, Gloucester



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PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly
CONTRACTOR N/A
STAGE Planning
SCALE 1:100 @ A3 **DATE** Apr '22

DRAWING TITLE
Proposed Floor Layouts

DRAWING NO. 266-P-21 **REV.** -



KEY

- 01 Render (To Match Existing)
- 02 Red Brick (To Match Existing)
- 03 Standing Seam Zinc / GreenCoat PLX
- 04 Garage Door, Anthracite
- 05 Aluminium / uPVC, Dark Grey
- 06 RWP (To Match Existing)
- 07 Roof Tiles (To Match Existing)
- 08 Lead Flashing
- 09 Aluminium / uPVC Sliding Doors, Dark Grey
- 10 RWP and Hopper, Anthracite
- 11 Glass Balustrade

NOTES

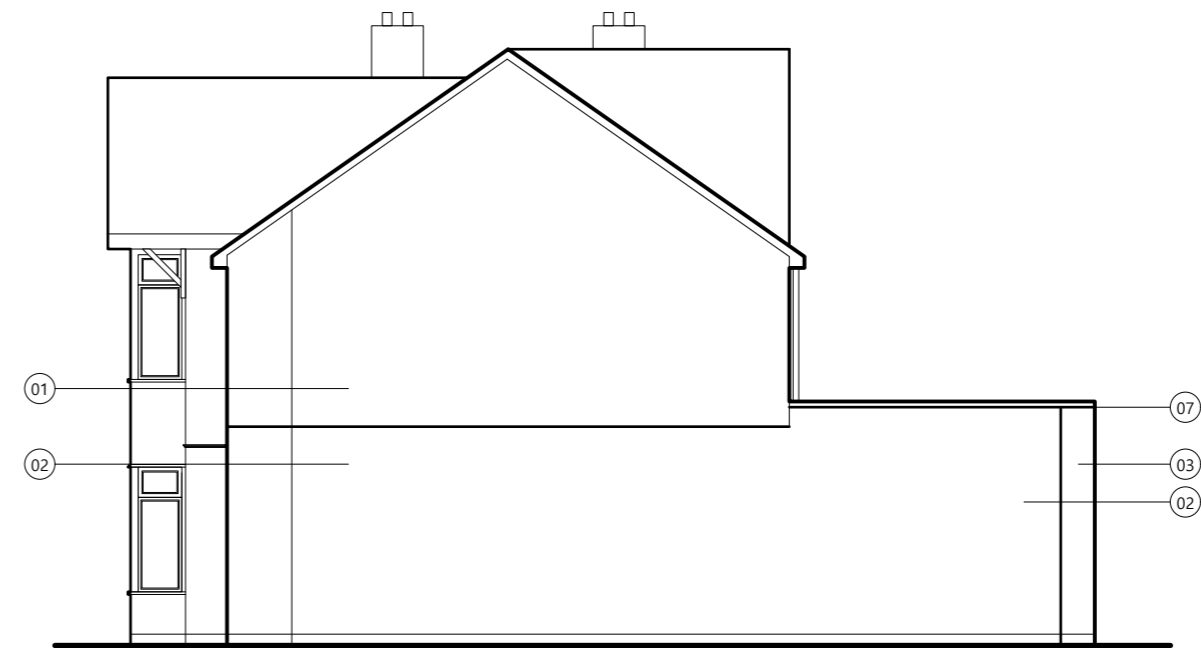
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98 Oxstalls Lane, Longlevens
Front Elevation
96 Oxstalls Lane, Longlevens
94 Oxstalls Lane, Longlevens



96 Oxstalls Lane, Longlevens
Side Elevation
96 Oxstalls Lane, Longlevens



94 Oxstalls Lane, Longlevens
Rear Elevation
96 Oxstalls Lane, Longlevens
98 Oxstalls Lane, Longlevens



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PROJECT 96 Oxstalls Lane, Longlevens
CLIENT Mr & Mrs Kelly
CONTRACTOR N/A
STAGE Planning
SCALE 1:100 @ A2 **DATE** June '22

DRAWING TITLE
Proposed Elevation

DRAWING NO. 266-P-70 **REV.** -

