

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

mrs

First name

jude

Surname

wilcox

Company Name

Address

Address line 1

29 Grasmere Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL2 0NQ

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

facing brick and render

Proposed materials and finishes:

render and facing brick quoins

Type:

Windows

Existing materials and finishes:

white upvc

Proposed materials and finishes:

white upvc

Type:

Doors

Existing materials and finishes:

white upvc

Proposed materials and finishes:

white aluminium bi-fold doors

Type:

Roof

Existing materials and finishes:

clay plain tiles

Proposed materials and finishes:

modern concrete interlocking tiles to match colour of existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

JAW001

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
 No

Parking

Will the proposed works affect existing car parking arrangements?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Can you give appropriate notice to all the other owners/agricultural tenants? (Select 'Yes' if there are no other owners/agricultural tenants)

Yes

No

Certificate Of Ownership - Certificate B

I certify/ The applicant certifies that:

- I have/The applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner* and/or agricultural tenant** of any part of the land or building to which this application relates; or
- The applicant is the sole owner of all the land or buildings to which this application relates and there are no other owners* and/or agricultural tenants**.

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990

Owner/Agricultural Tenant

Name of Owner/Agricultural Tenant:

**** REDACTED ****

House name:

Number:

892

Suffix:

Address line 1:

Chemin du Castera

Address Line 2:

Lieu-dit monteloup

Town/City:

Thil fRANCE

Postcode:

GL20NQ

Date notice served (DD/MM/YYYY):

03/10/2022

Person Family Name:

Person Role

The Applicant

The Agent

Title

mrs

First Name

jude

Surname

wilcox

Declaration Date

03/10/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

richard matthews

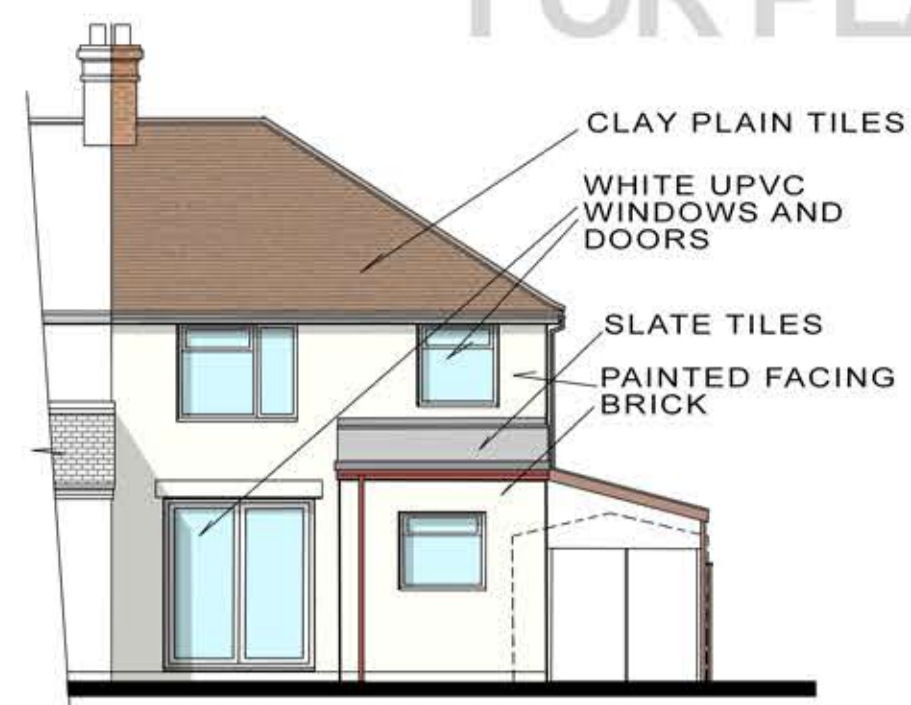
Date

05/10/2022

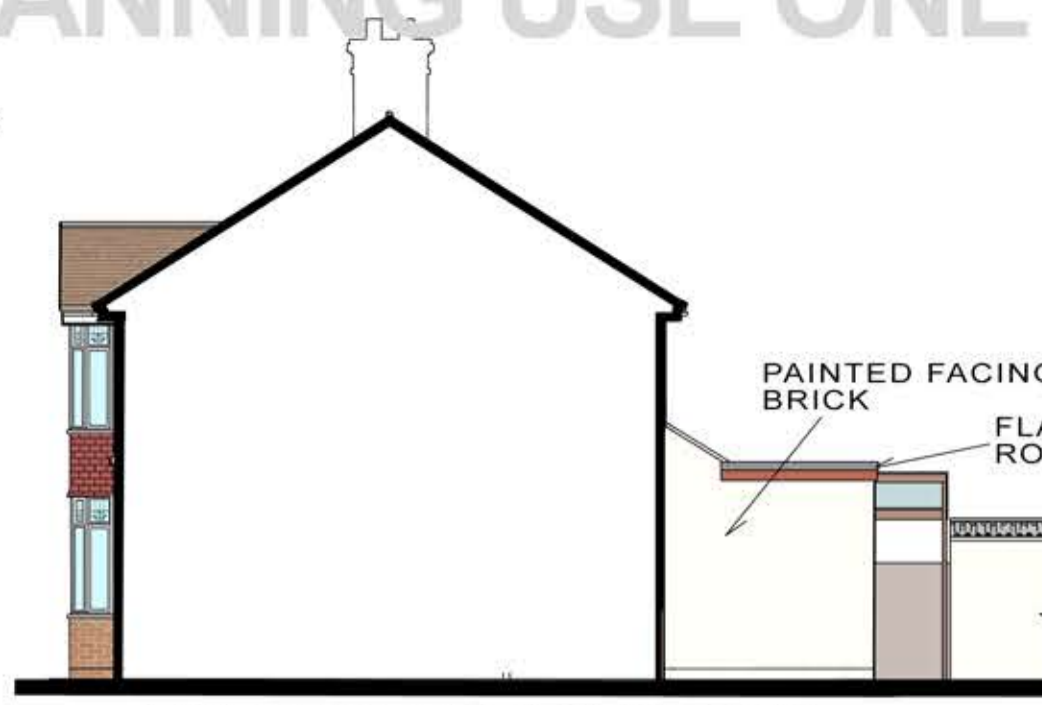


EXISTING FRONT ELEVATION
SOUTHEAST 1:100

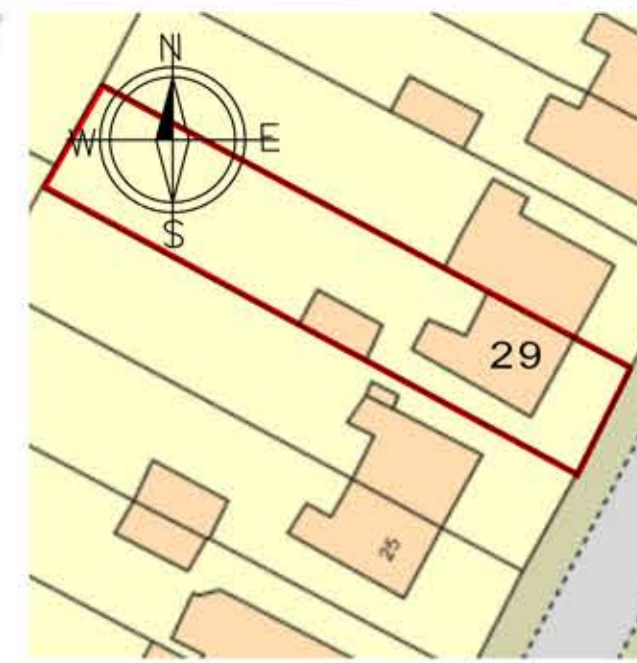
EXISTING SIDE ELEVATION
SOUTHWEST 1:100



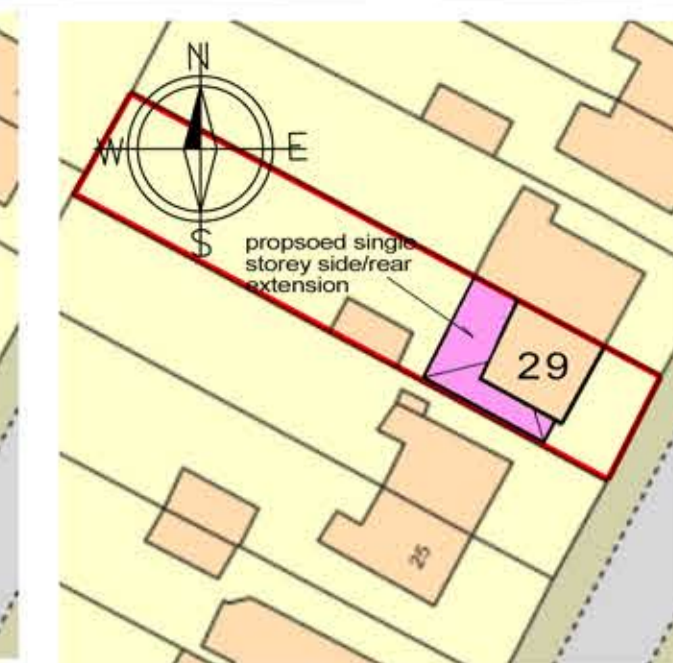
EXISTING REAR ELEVATION
NORTHWEST 1:100



EXISTING SIDE ELEVATION
NORTHEAST 1:100



EXISTING BLOCK PLAN 1:500

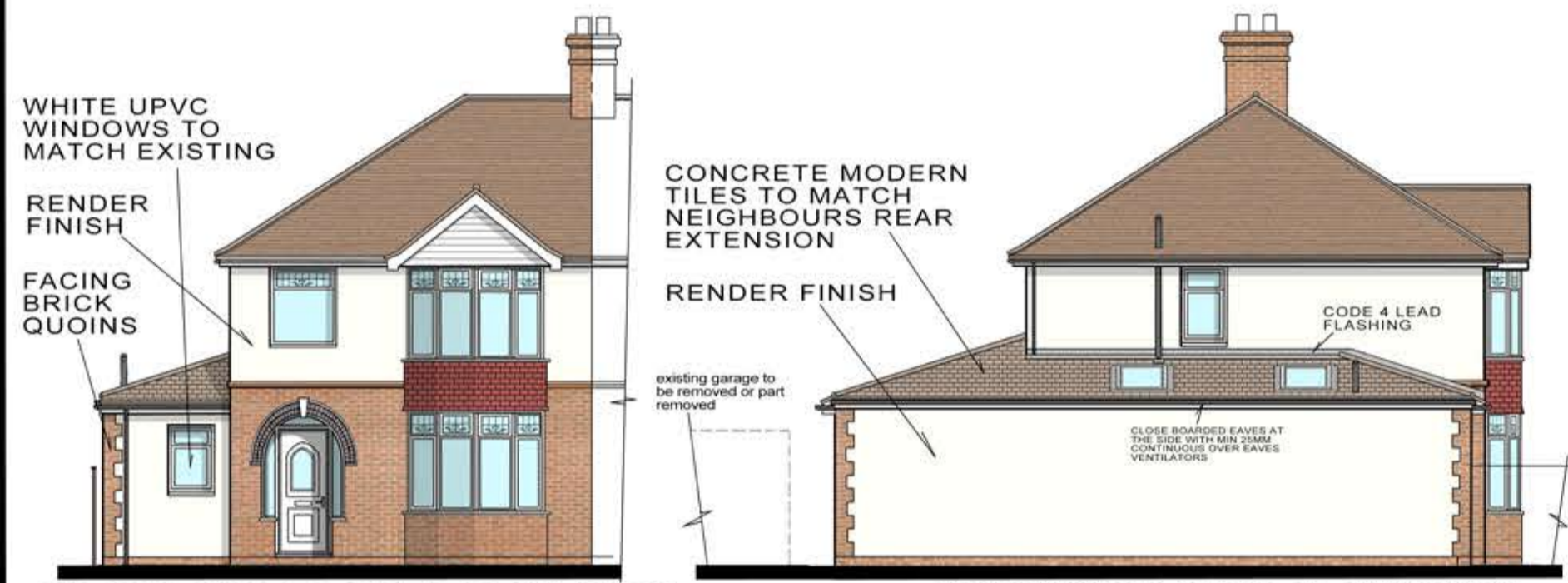


PROPOSED BLOCK PLAN 1:500



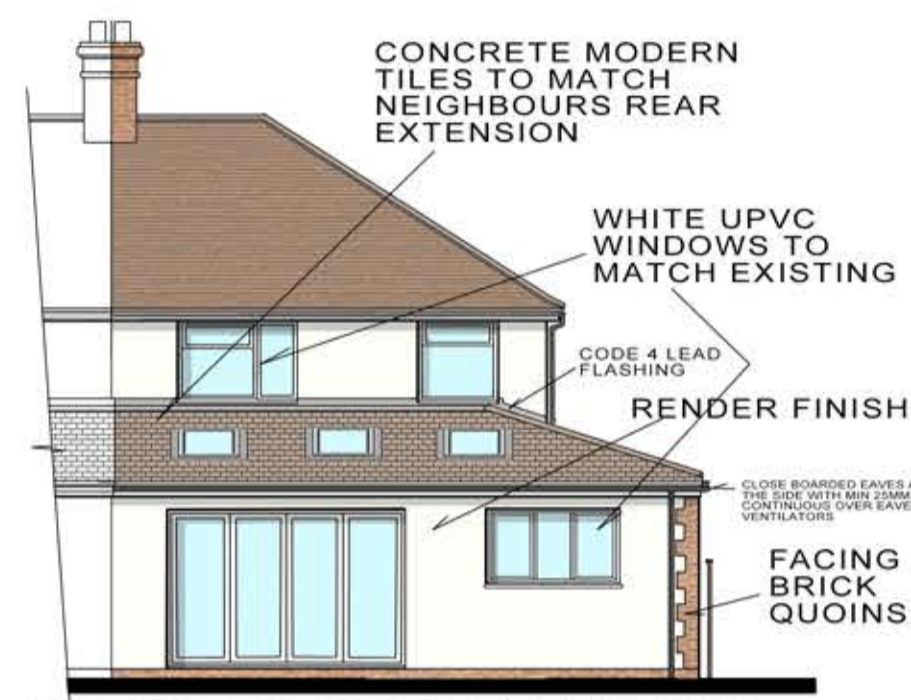
SITE LOCATION 1:1250

NOTE
THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS.
THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST AN STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.

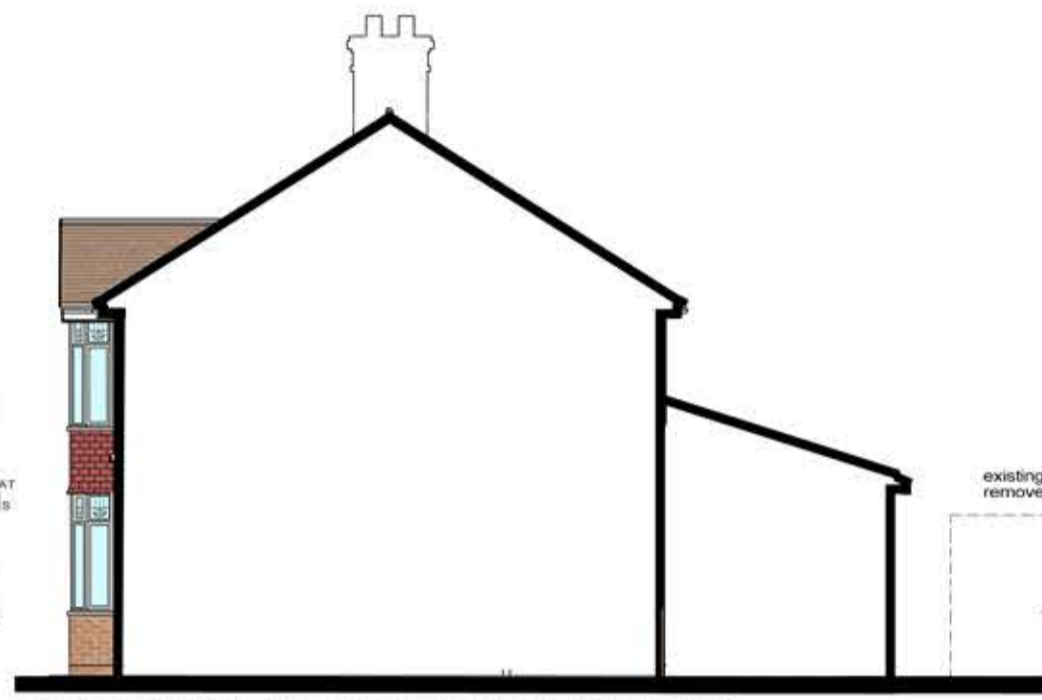


PROPOSED FRONT ELEVATION
SOUTHEAST 1:100

PROPOSED SIDE ELEVATION
SOUTHWEST 1:100



PROPOSED REAR ELEVATION
NORTHWEST 1:100



PROPOSED SIDE ELEVATION
NORTHEAST 1:100

ROOF CONSTRUCTION MAIN ROOF

TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. CLAY TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILVENT MEMBRANE ON 175MM X50MM SW RAFTERS AT 400MM C/C. ROOF TO BE MADE UP FROM HIP ROOF STRUCTURE SUPPORTED AT EAVES BY 100MM X 75MM WALLPLATES AND HIP (WITH SUFFICIENT SIZE TO TAKE CUT JACK RAFTERS). WALL PLATES TO BE STRAPPED DOWN 1000MM TO BLOCKWORK WITH 30X55MM GALVANISED STRAPS. ALLOW FOR LATERAL RESTRAINT TIES AT CEILING LEVEL AT 200MM CENTRES WITH NOGGINS AND BLOCKS SECURED TO 30 NO. RAFTERS TO GABLE WALLS. CEILING BINDER PROVIDED ACROSS CEILING TO TRUSS RAFTERS ABOVE CEILING. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED.
INSULATION TO BE 125MM KINGSPAN INSULATION BETWEEN RAFTERS LEAVING 50MM AIR GAP. 50MM CROSS BATTENS WITH 50MM KINGSPAN INSULATION BETWEEN BATTENS.

ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

LINTELS

EXTERNAL LINTELS TO BE CATNIC OR SIMILAR APPROVED. CAVITY TRAYS OVER LINTELS WITH WEEP HOLES AT 450MM LATERAL CENTRES. INTERNAL LINTELS TO BE MIN. 100 X 140MM PRECAST CONCRETE.

VENTILATION

WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION DOWNSTAIRS TO KITCHEN(60L/S), UTILITY (30L/S) AND SHOWER ROOM 15L/S WITH TIME DELAY.

ELECTRICS

ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671, IEE LATEST EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P (COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME). THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A "SELF CERTIFICATION CERTIFICATE" WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE "SELF CERTIFICATION CERTIFICATE" AND A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS

PLUMBING

HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO EXISTING BOILER. ALL NEW RADIATORS TO BE FITTED WITH TRV'S. ALL WORK TO BE INSTALLED AND COMMISSIONED BY A QUALIFIED TRADESMAN IN ACCORDANCE WITH THE DOMESTIC HEATING GUIDE 2010

WINDOWS

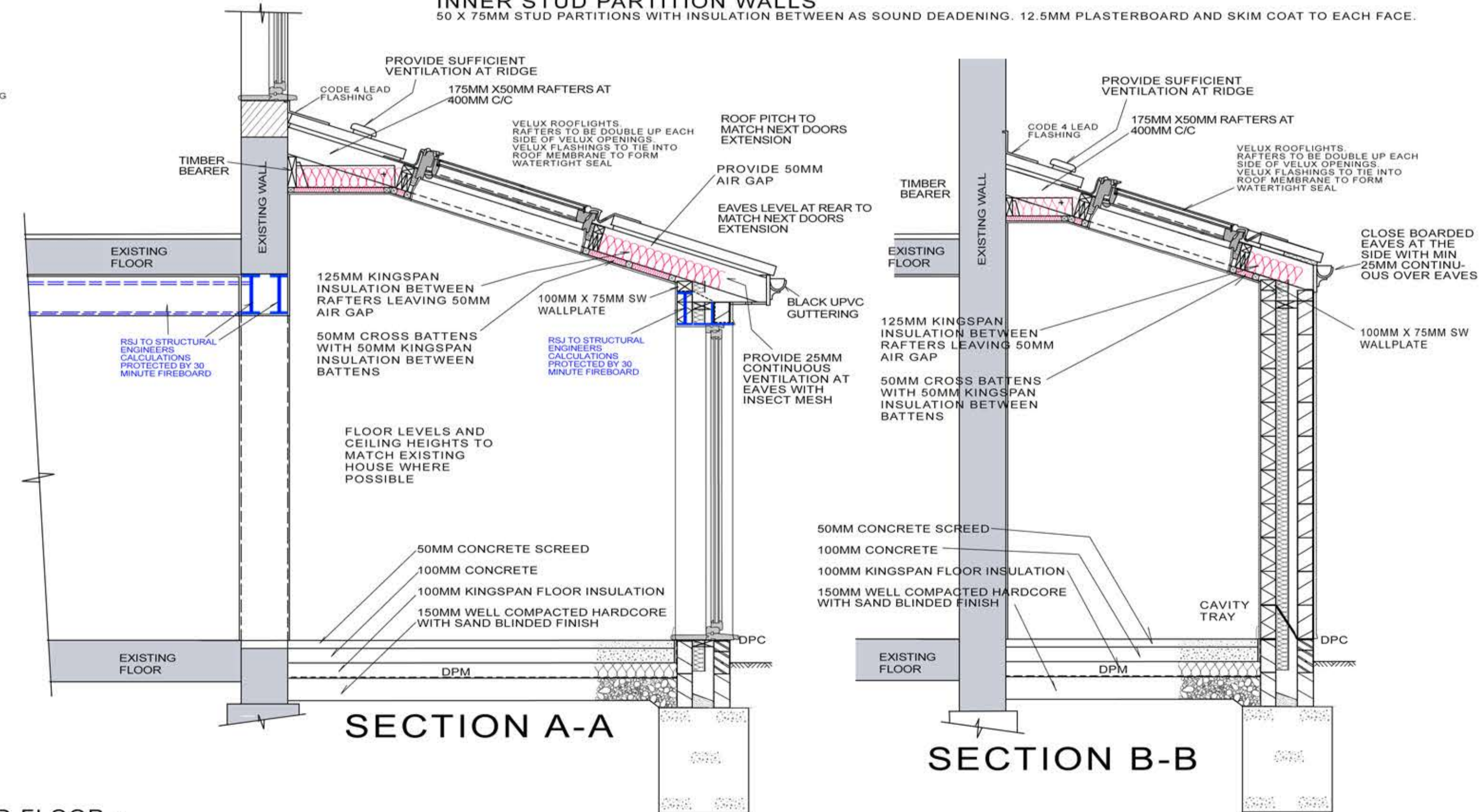
WHITE UPVC DOUBLE GLAZED WINDOWS AND DOORS AND WHITE ALUMINIUM BI-FOLD DOORS WITH DOUBLE GLAZED UNITS MIN. 24MM COMPRISING 4MM PILKINGTON K GLASS. ALL GLASS WINDOWS UPTO A HEIGHT OF 800MM ABOVE FLOOR LEVEL AND OR WITHIN 300MM FROM A DOOR AND ALL DOORS UO TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL TO BE TOUGHENED OR LAMINATED TO B.S.6206. WINDOWS TO HAVE MAX. U VALUE OF 1.4 W/M2K. WINDOWS TO PROVIDE DAYLIGHT EQUIVALENT TO 1/10TH FLOOR AREA AND OPENABLE VENTILATION 1/20TH FLOOR AREA. ALL HABITABLE ROOMS TO HAVE FIRE ESCAPE WINDOWS WITH MIN 450MM WIDE AND 450MM HIGH OPENING AND MIN AREA OF 0.75 M2

EXTERNAL WALLS

SAND CEMENT RENDER ON 100MM CONCRETE BLOCK (WITH FACING BRICK QUOINS AT THE CORNERS) 150MM CAVITY WITH 100MM KINGSPAN TW50 ZERO DP K8 INSULATION. RETAINED AGAINST INNER SKIN WITH RETAINER CLIPS. 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK, DRY LINED WITH 12.5MM PLASTERBOARD & SKIM COAT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTALLY AND 450MM CENTRES VERTICALLY. AROUND UNBONDED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 150MM VERTICAL DPC AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

INNER STUD PARTITION WALLS

50 X 75MM STUD PARTITIONS WITH INSULATION BETWEEN AS SOUND DEADENING. 12.5MM PLASTERBOARD AND SKIM COAT TO EACH FACE.



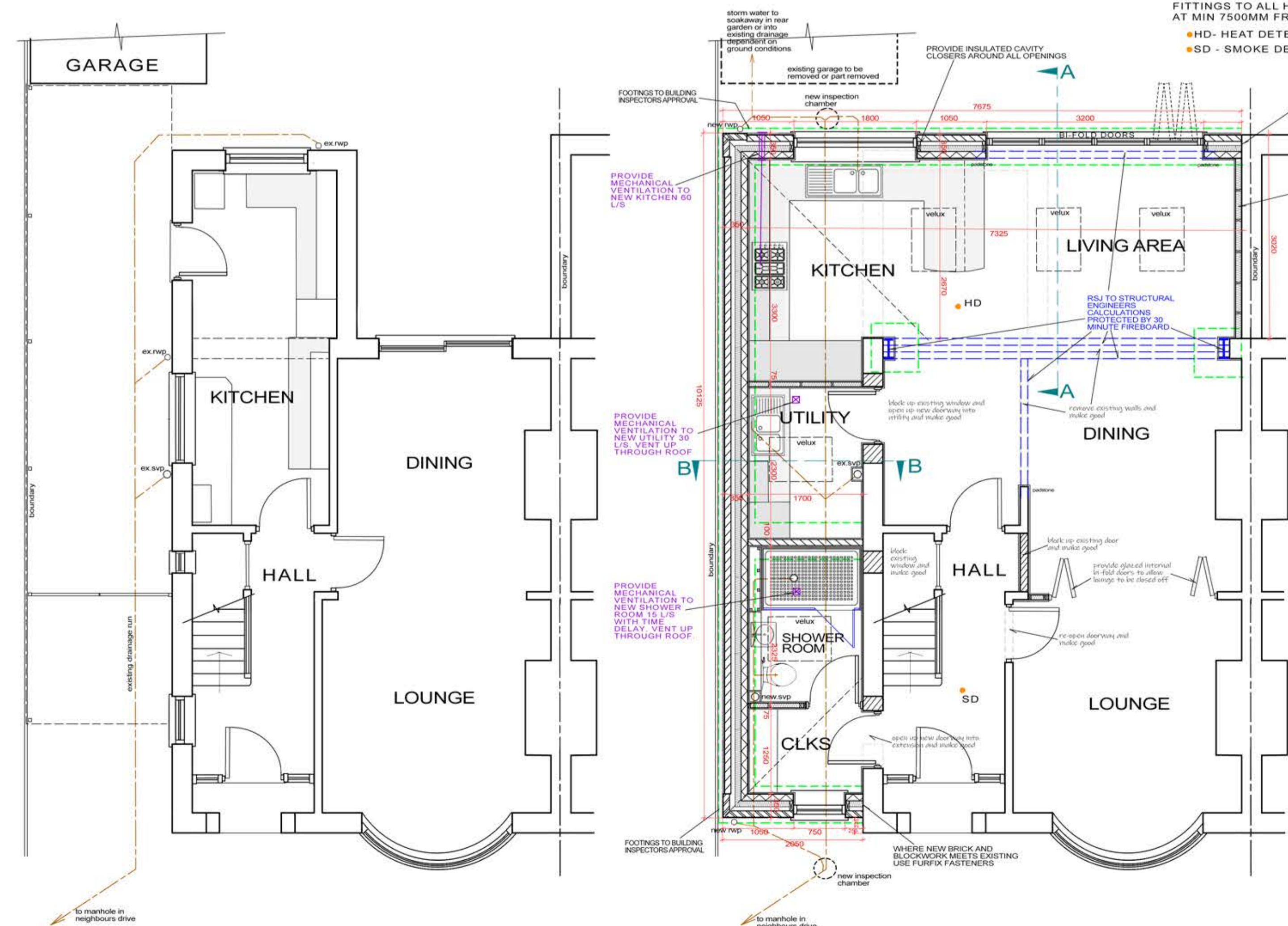
SECTION A-A

SECTION B-B

SMOKE ALARMS

MAINS OPERATED SMOKE ALARMS WITH SECONDARY POWER SUPPLY (BATTERY) TO BS 546. INSTALL MIN. 300MM FROM LIGHT FITTINGS TO ALL HABITABLE WALKWAYS AT MIN 7500MM FROM THE DOOR.
● HD - HEAT DETECTOR
● SD - SMOKE DETECTOR

	Client	JUDE AND ANDREW WILCOX	Draw Title	EXISTING AND PROPOSED PLANS AND ELEVATIONS SITE AND BLOCK PLAN SECTION AND DETAILS
	Job Title	SINGLE STOREY SIDE/REAR EXTENSION N TO NO 29 GRASMERE ROAD, LONGLEVENS, GLOUCESTER	Scale	1:50 1:100 1:1250 1:500 1:25
	Date		Draw No.	JAW001



EXISTING GROUND FLOOR 1:50

PROPOSED GROUND FLOOR 1:50

GROUND FLOOR -

50MM SAND AND CEMENT SCREED ON 100MM CONCRETE BASE. LAYER OF BUILDING PAPER ON KINGSPAN TF70 100MM THERMAFLOOR INSULATION ON 1200 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARDCORE FILL (ALLOW FOR COMPACTED SAND ON HARDWARE TO AVOID TEARS IN D.P.M.). PROVIDE 25MM UP STAND OF INSULATION AROUND PERIMETER OF FLOORS

DRAINAGE

ALLOW FOR LONG RADIUS BENDS. 40MM WASTE FROM BATHS & BASINS. 50MM FROM SINKS & SHOWERS ALL WITH 75MM SEALS. 100MM WASTE FROM W.C. WITH 50MM SEAL. WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENGAGE IN MIN. 150MM PEA GRAVEL AND LINTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. ANTI-SYMPHONIC TRAPS TO BE USED FOR ALL BATHROOM APPLIANCES. DRAINPIPES 100MM SUPERSLEVE LAID AT MIN. 1 IN 60 FALL TO CONNECT UP TO EXISTING DRAINAGE RUN or into soakaway in rear garden dependent on ground conditions

STORMDRAINS: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALLOONS AT GUTTER JUNCTIONS. GUTTERS 100MM TRUE HALF ROUND LAID TO FALL. FROM GULLIES 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO SOAKAWAY IN REAR GARDEN DEPENDING ON GROUND CONDITIONS. SOAKAWAY TO BRITISH STANDARDS

SUBSTRUCTURE WALLS

INNER SKIN TO BE 100MM 7N/mm2 CONCRETE BLOCK BELOW D.P.C. LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UPTO D.P.C. BUILD IN FULL WIDTH D.P.C. AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL UO TO 225MM

FOOTINGS

CONCRETE STRIP FOUNDATIONS TO MIN. 1000MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL