

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

## Description of Proposed Works

Please describe the proposed works

Replacement of existing concrete Marley type garage with asbestos corrugated roof with single skinned brick garage with EPDM roof in exact same location and size.,

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

<p><b>Type:</b> Walls</p> <p><b>Existing materials and finishes:</b> Concrete sections.</p> <p><b>Proposed materials and finishes:</b> Standard house brick, colour and size to match existing house</p>
<p><b>Type:</b> Roof</p> <p><b>Existing materials and finishes:</b> Corrugated asbestos roofing sheets.</p> <p><b>Proposed materials and finishes:</b> OSB underboard and EPDM rubber roofing membrane (black)</p>
<p><b>Type:</b> Doors</p> <p><b>Existing materials and finishes:</b> Up and over metal garage door.</p> <p><b>Proposed materials and finishes:</b> Crocodile type garage door (electric) powder coat aluminium (white)</p>

Are you supplying additional information on submitted plans, drawings or a design and access statement?

- Yes
- No

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes
- No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes
- No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes
- No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
- No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes
- No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes
- No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
- No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
- The applicant
- Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

**If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):**

Officer name:

Title

\*\*\*\*\* REDACTED \*\*\*\*\*

First Name

\*\*\*\*\* REDACTED \*\*\*\*\*

Surname

\*\*\*\*\* REDACTED \*\*\*\*\*

Reference

21/01000/PREAPP

Date (must be pre-application submission)

15/08/2021

Details of the pre-application advice received

Answer received as below on 7/12/2021:

Dear Mr Wilshaw,

I have looked at you pre app submission for a new garage and can confirm that on the basis of the information provided there would be no issues from a planning perspective. The garage would replace an existing structure and would improve the appearance of the property. Given that the proposal would replace an existing structure it is considered that there would be no adverse impact on the neighbours. As such I can confirm that if you were to apply for planning permission it would be granted.

## Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

**(a) a member of staff**

**(b) an elected member**

**(c) related to a member of staff**

**(d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

# Ownership Certificates and Agricultural Land Declaration

## Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes  
 No

### Certificate Of Ownership - Certificate A

**I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\***

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person Role

- The Applicant  
 The Agent

Title

Mr

First Name

Andrew

Surname

Wilshaw

Declaration Date

02/02/2022

Declaration made

### Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Andrew Wilshaw

Date

02/02/2022

50, Brionne Way, Gloucester, Gloucestershire, GL2 0TN



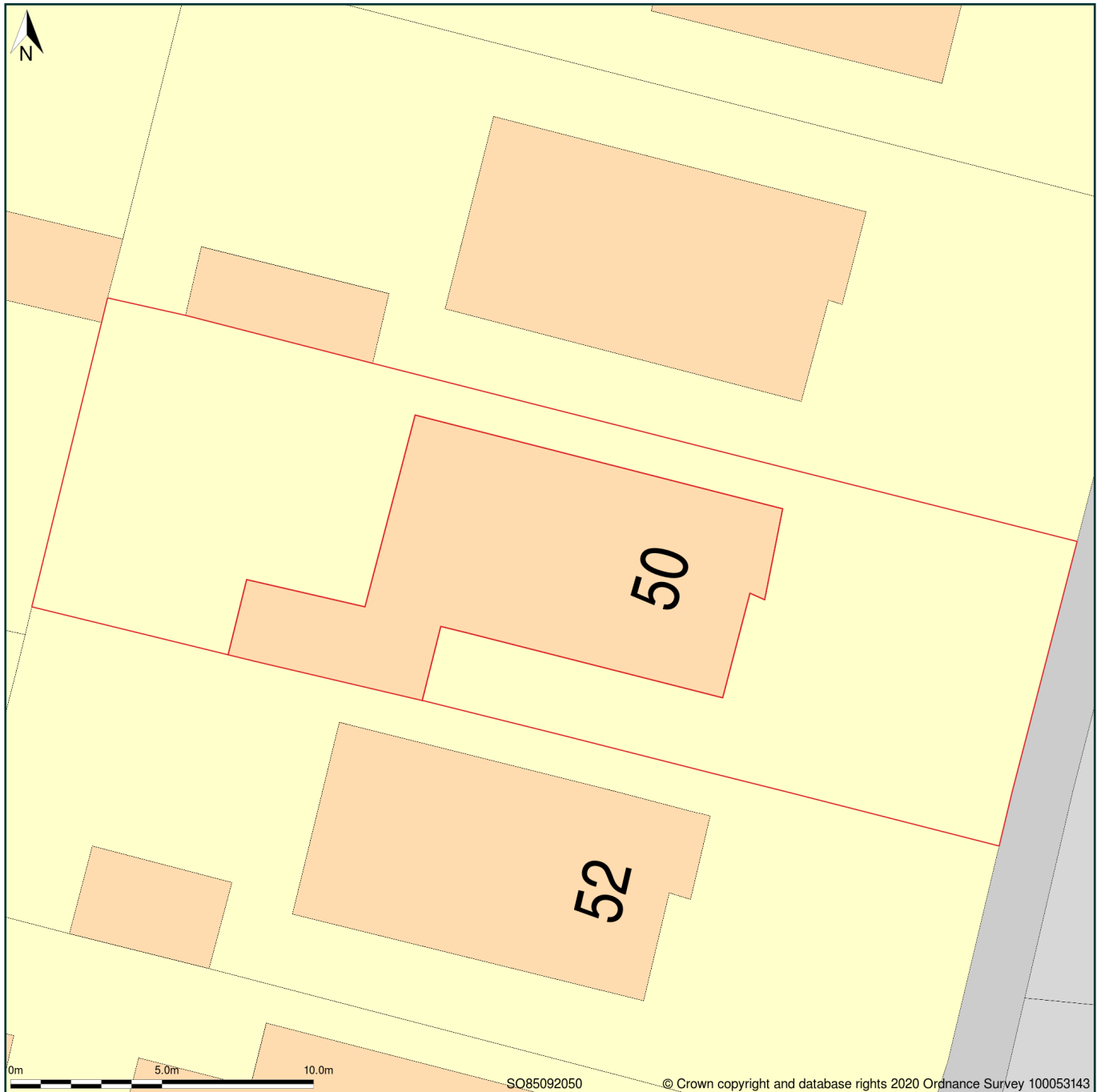
Site Plan shows area bounded by: 385023.33, 220437.4 385164.75, 220578.82 (at a scale of 1:1250), OSGridRef: SO85092050. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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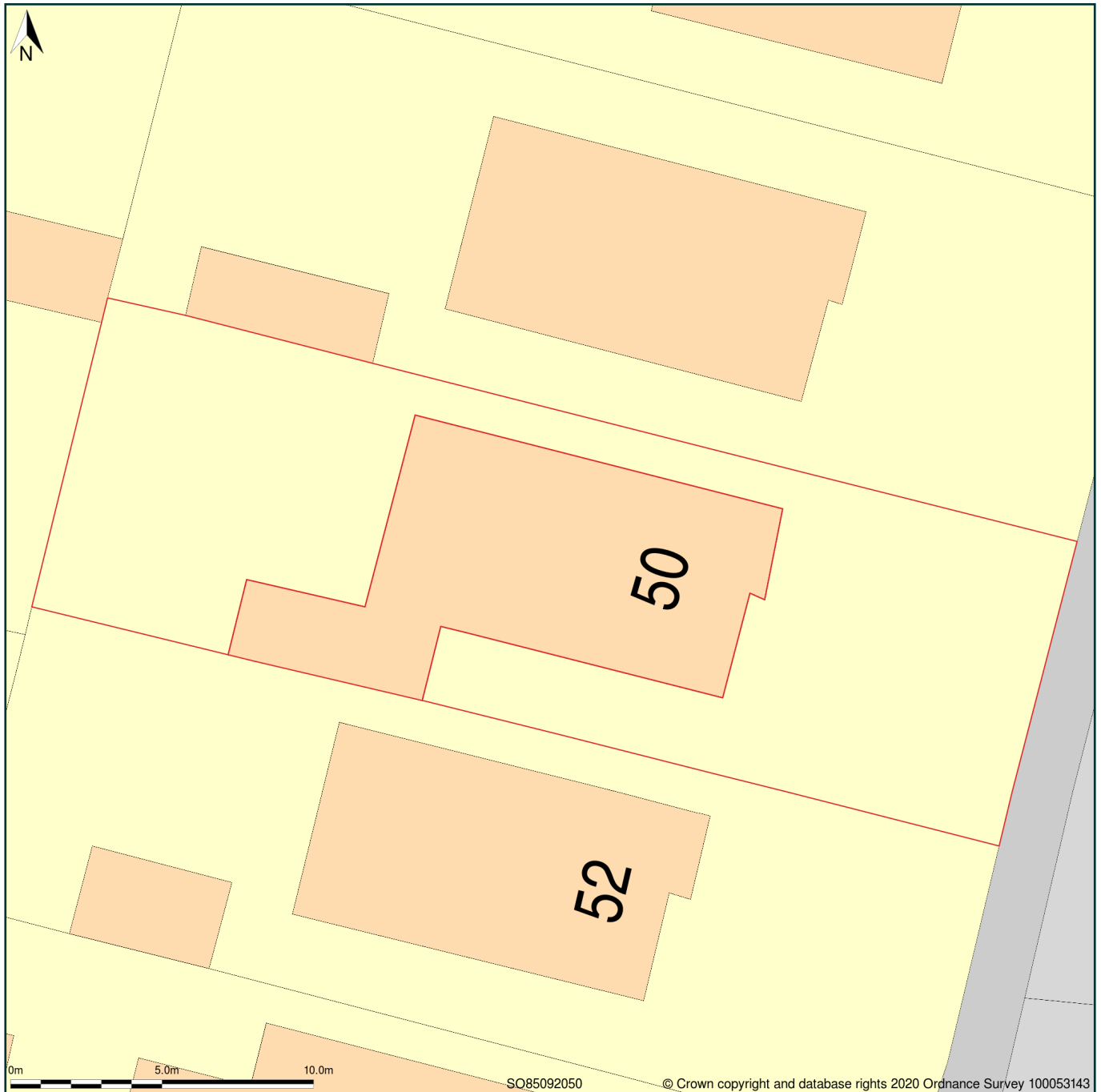


Block Plan shows area bounded by: 385075.97, 220490.02 385111.97, 220526.02 (at a scale of 1:200), OSGridRef: SO85092050. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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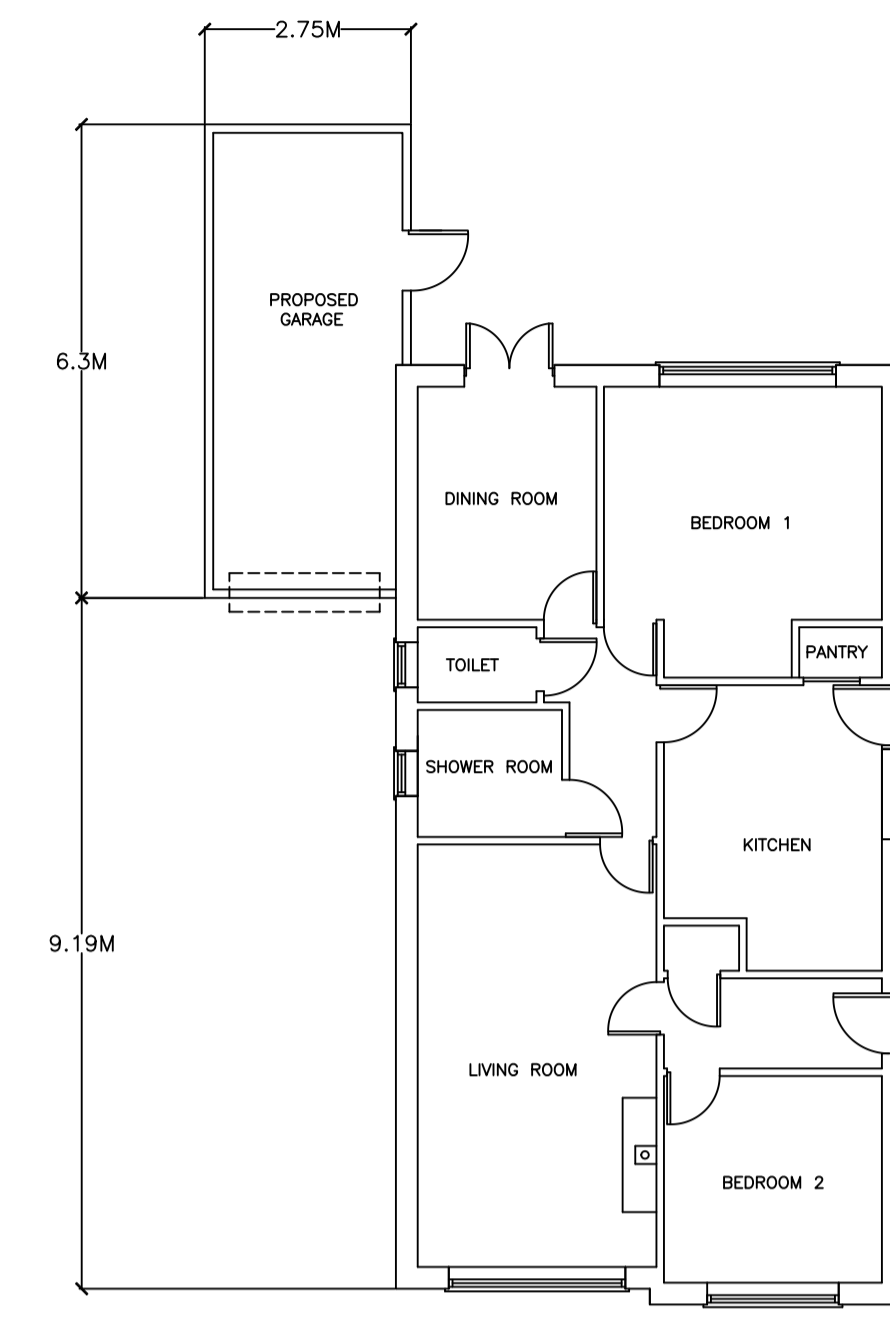
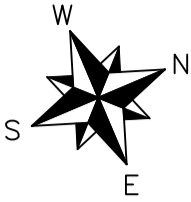
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### Design and Access Statement.

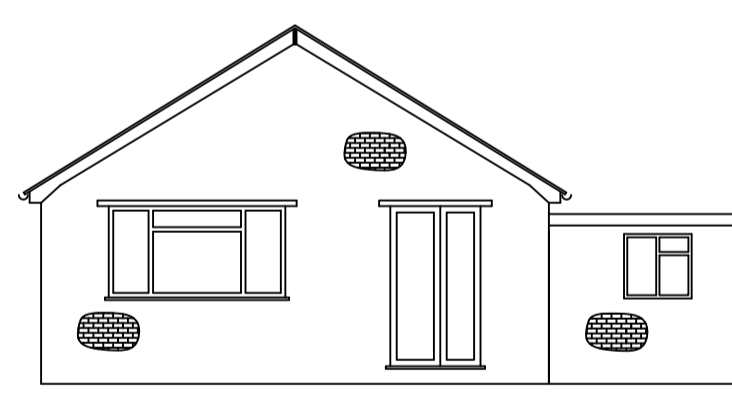
The site is a domestic bungalow with attached concrete Marley type garage. The garage is old and in a poor state with water ingress especially from the corrugated asbestos roof and is not really fit for purpose as the owner is an 86 year old widower. The garage is used mainly for housing a chest freezer and tumble dryer plus storage.

The owner wishes to replace the garage with a dry and safe garage to the same external dimensions and position. The new garage would be a single skin brick construction to match bungalow brick work with an EPDM membrane roof. Existing rain water down pipes would be in the same location.

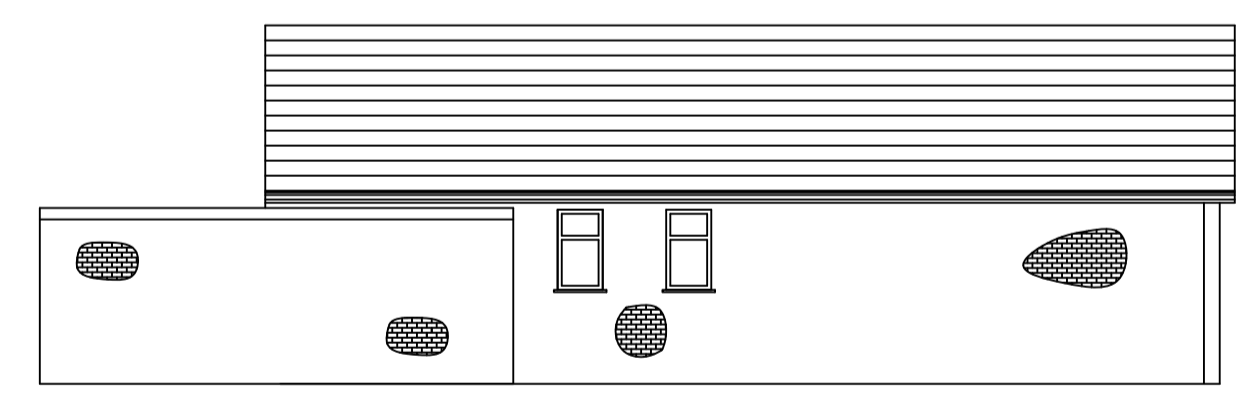
Access to and from the garage will remain unchanged.



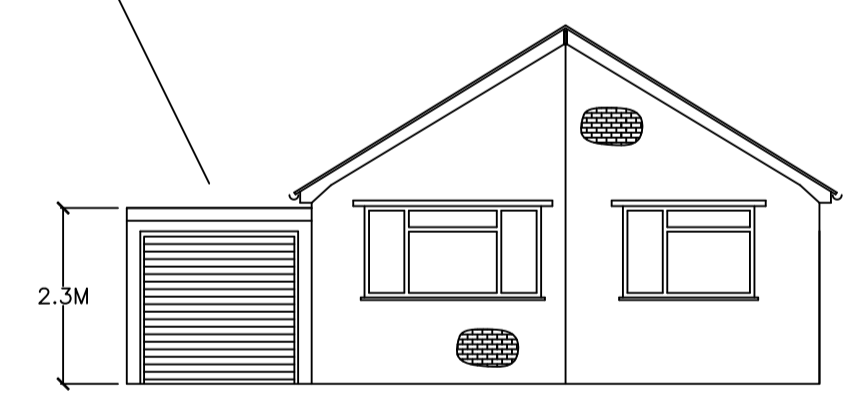
PROPOSED GARAGE  
 SINGLE SKIN BRICK WALLS  
 WITH SUPPORT PIERS AS REQUIRED. EPDM  
 RUBBER ROOF BONDED ONTO 18MM TK  
 OSB/PLYWOOD SUPPORT BOARD. ROLLER TYPE  
 ELECTRIC GARAGE DOOR.  
 GARAGE FOOTPRINT AND HEIGHT TO EXACTLY  
 MATCH EXISTING GARAGE.



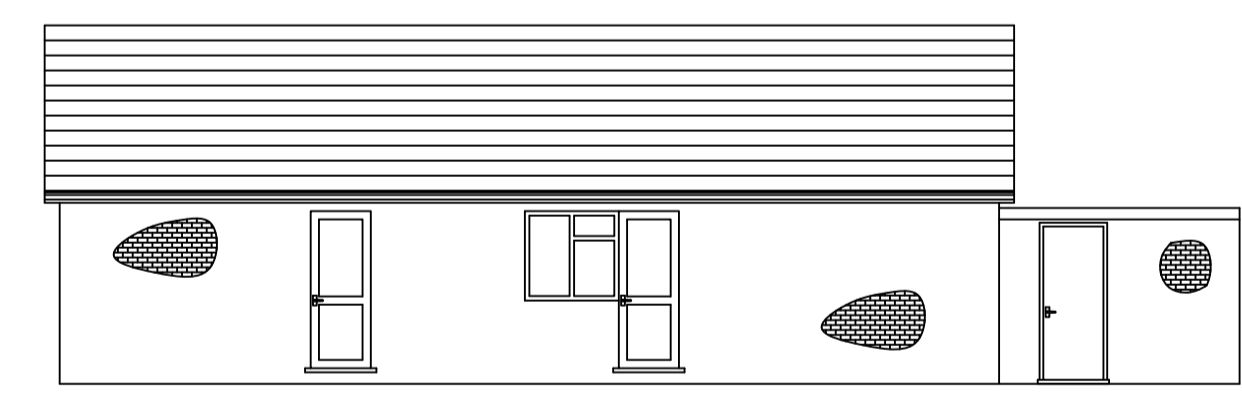
WEST NORTH WEST ELEVATION (BACK)



SOUTH SOUTH WEST ELEVATION

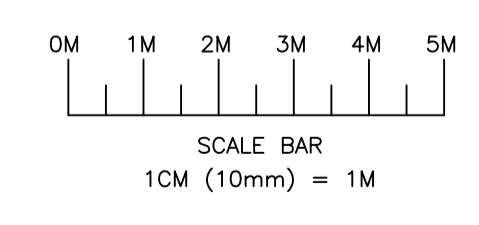


EAST SOUTH EAST ELEVATION (FRONT)



NORTH NORTH EAST ELEVATION

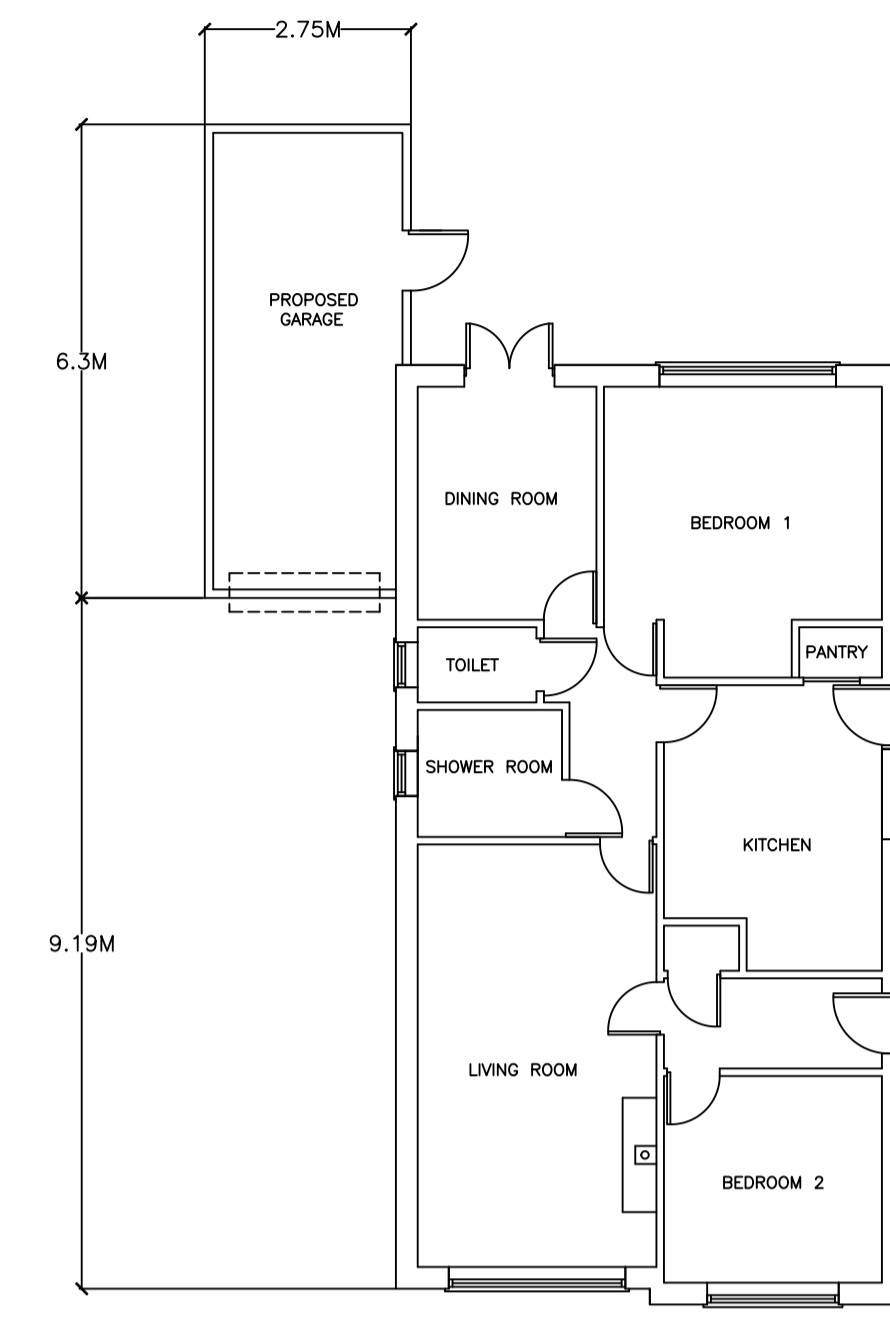
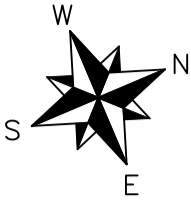
SCALE 1:100 @ A1



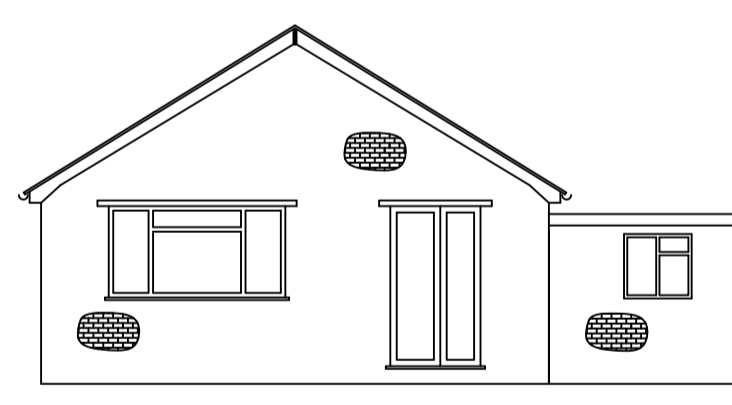
EXISTING LAYOUT: - 50 BRIONNE WAY, LONGLEVENS, GLOS. GL2 0TN

DRAWN: - ASW 15/06/21  
 SHEET 1 OF 1  
 DRG 14/6/21/01 REV A

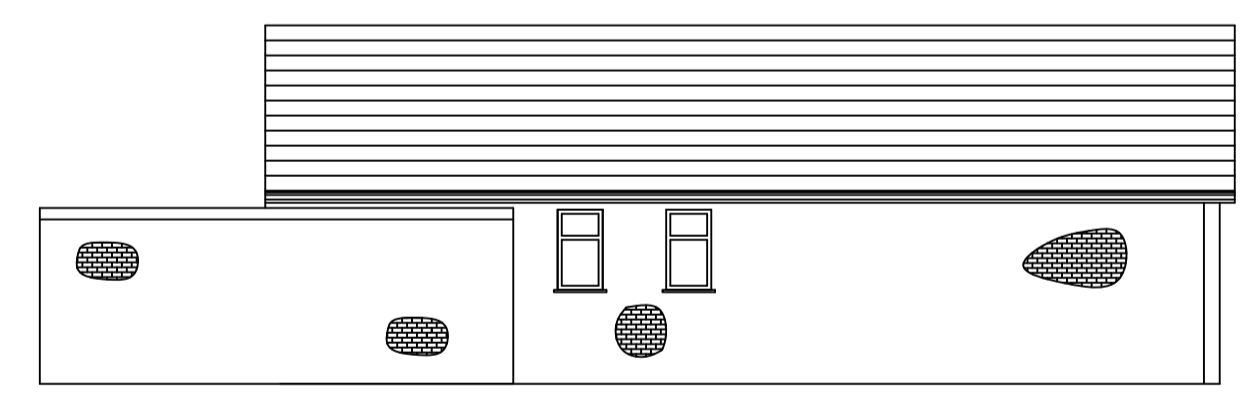
A.S.WILSHAW  
 FIRST ART AND DESIGN  
 ANDOVERSFORD  
 CHELTENHAM  
 GLOUCESTERSHIRE.



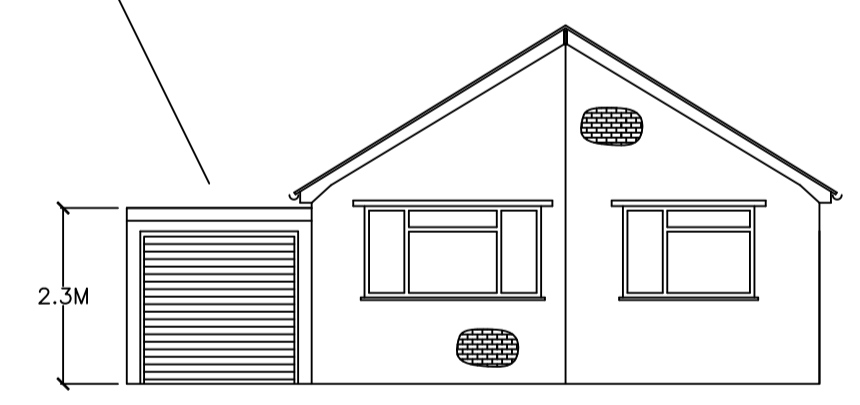
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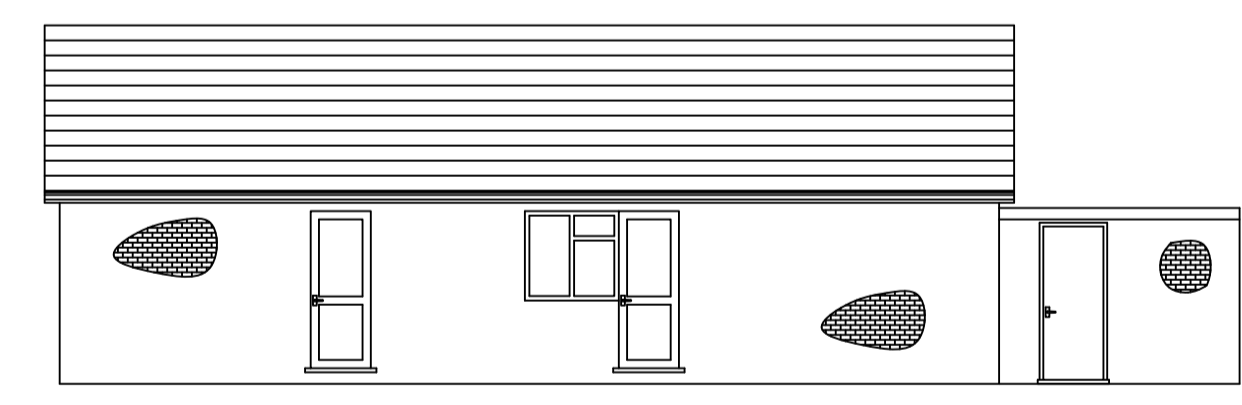
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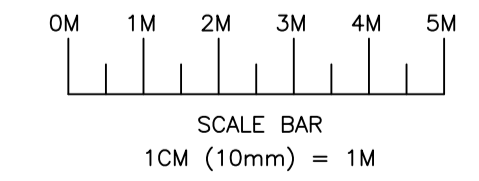


EAST SOUTH EAST ELEVATION (FRONT)



NORTH NORTH EAST ELEVATION

SCALE 1:100 @ A1



PROPOSED LAYOUT: - 50 BRIONNE WAY, LONGLEVENS, GLOS. GL2 0TN

DRAWN: - ASW 15/06/21  
 SHEET 1 OF 1  
 DRG 14/6/21/02 REV A

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 FIRST ART AND DESIGN  
 ANDOVERSFORD  
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