

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

SINGLE STOREY SIDE EXTENSION

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

| |
|--|
| <p>Type: Walls</p> <p>Existing materials and finishes: FACING BRICK</p> <p>Proposed materials and finishes: FACING BRICK</p> |
| <p>Type: Roof</p> <p>Existing materials and finishes: CONCRETE INTERLOCKING TILES</p> <p>Proposed materials and finishes: CONCRETE INTERLOCKING TILES</p> |
| <p>Type: Windows</p> <p>Existing materials and finishes: WHITE UPVC</p> <p>Proposed materials and finishes: WHITE UPVC</p> |

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

CF001

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes

No

Parking

Will the proposed works affect existing car parking arrangements?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
 No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
 The Agent

Title

First Name

Surname

Declaration Date

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

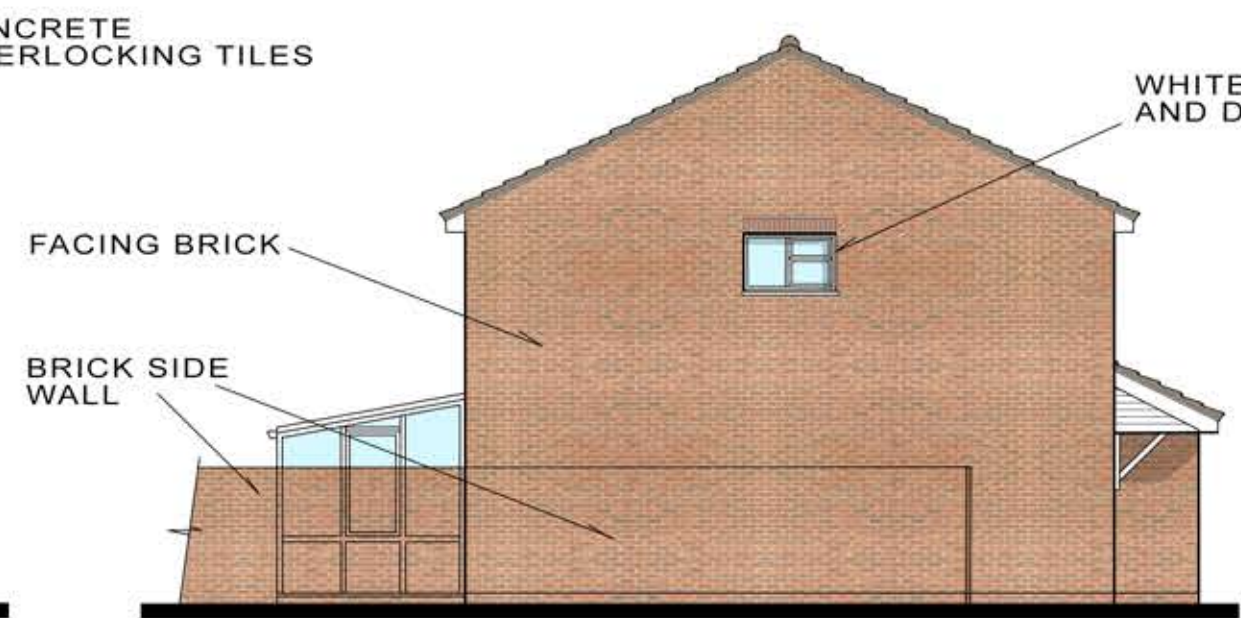
I / We agree to the outlined declaration

Signed

Date



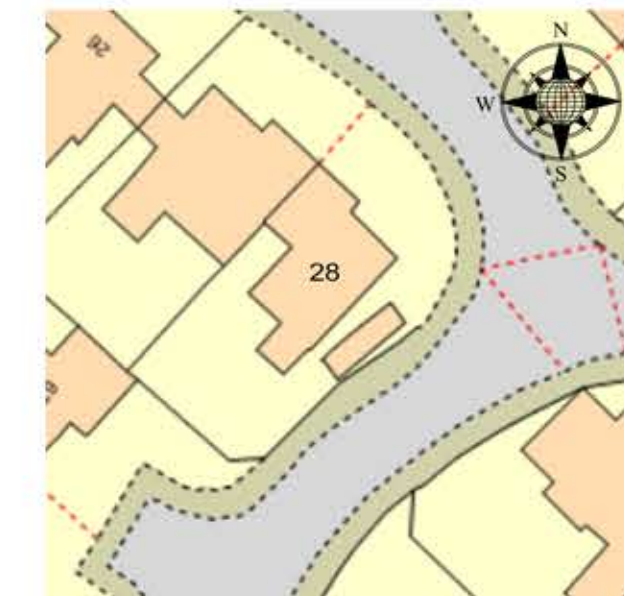
EXISTING FRONT ELEVATION
NORTHEAST 1:100



EXISTING SIDE ELEVATION
SOUTHEAST 1:100



EXISTING REAR ELEVATION
SOUTHWEST 1:100



EXISTING BLOCK
PLAN 1:500



PROPOSED BLOCK
PLAN 1:500



SITE PLAN 1:1250



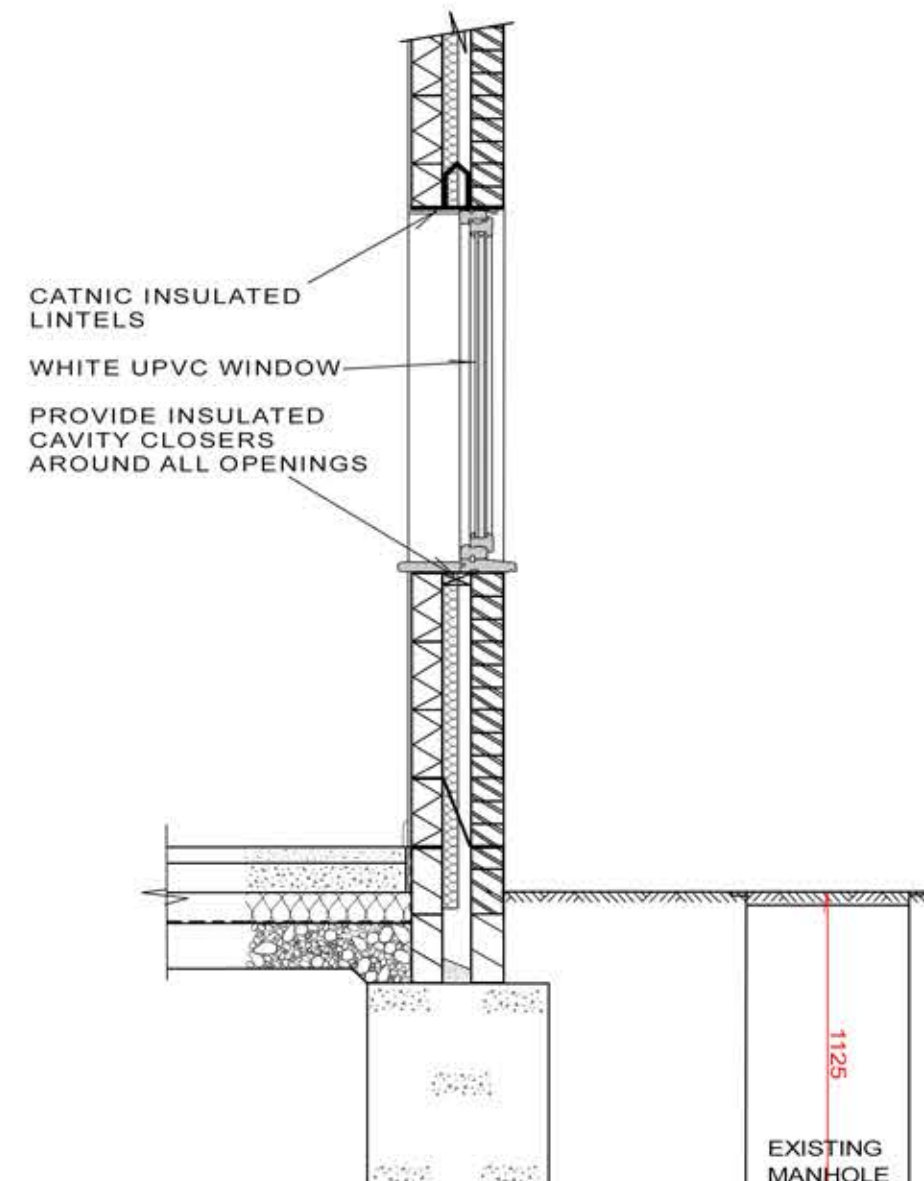
PROPOSED FRONT ELEVATION
NORTHEAST 1:100



PROPOSED SIDE ELEVATION
SOUTHEAST 1:100



PROPOSED REAR ELEVATION
SOUTHWEST 1:100



SECTION B-B

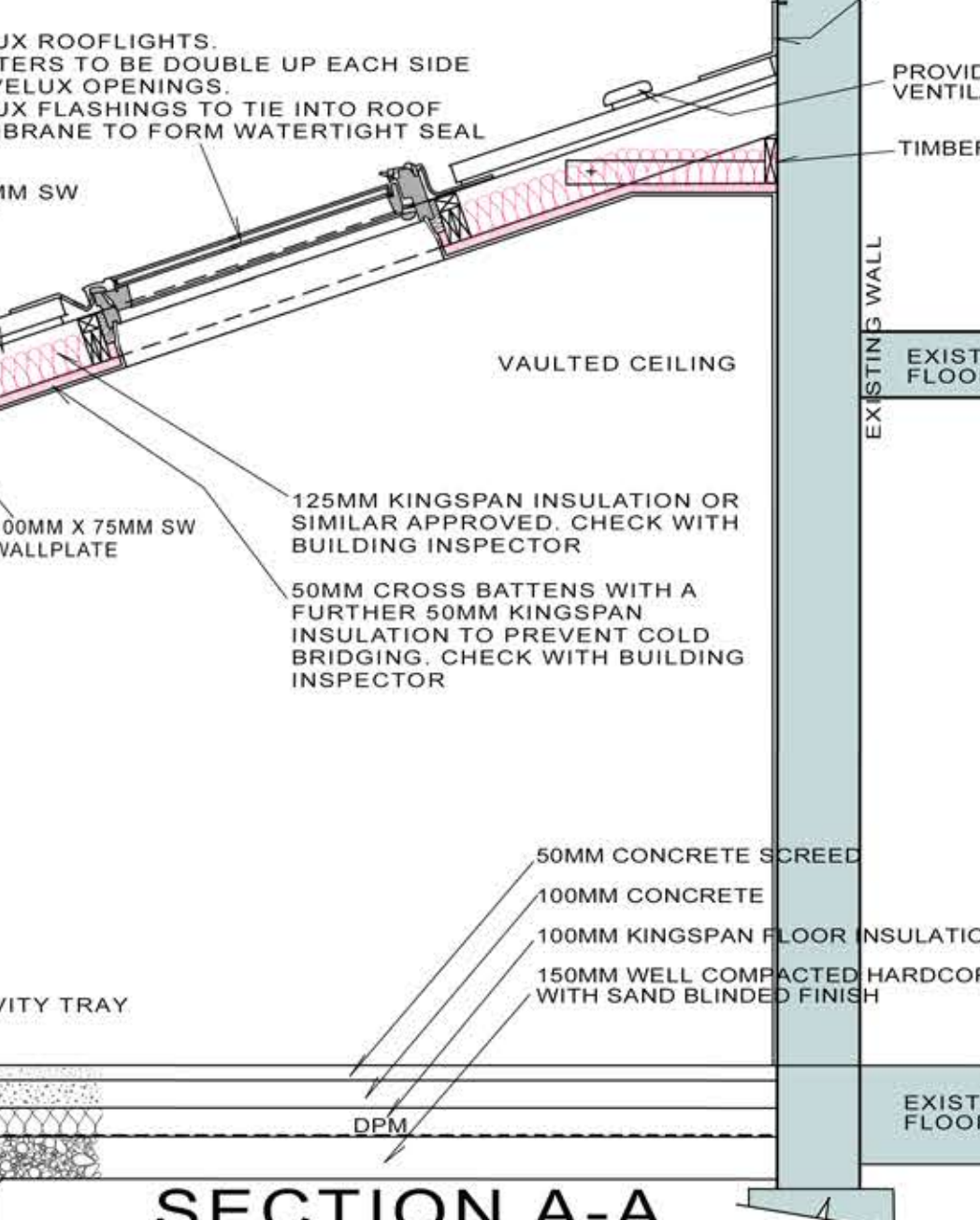
ROOF CONSTRUCTION
TRADITIONAL ROOF CONSTRUCTION BUILT ON SITE. CONCRETE INTERLOCKING TILES TO MATCH EXISTING HOUSE ON 25X38MM TREATED SW BATTENS ON KINGSPAN NILENT MEMBRANE ON 175MM X 50MM SW RAFTERS AT 400MM C/C SUPPORTED AT EAVES BY 100MM X 75MM WALLPLATE AND BY TIMBER BEARER AT RIDGE. TO BE STRAPPED DOWN 100MM TO BLOCKWORK WITH 50X50MM GALVANISED STRIPS. ALLOW FOR LATERAL RESTRAINT AT RAFTER LEVEL AT 200MM CENTRES WITH NOGGINGS AND BLOCKS SECURED TO 30 NO. RAFTERS TO GABLE WALLS. 100 X 25MM TIMBER DIAGONAL BRACING TO BE USED. INSULATION IN VAULTED CEILING TO BE 125MM KINGSPAN INSULATION BETWEEN THE RAFTERS AND CEILING JOISTS WITH 50MM CROSS BATTENS AND A FURTHER 50MM KINGSPAN INSULATION BETWEEN BATTENS. UNDERDRAWN WITH 12.5MM PLASTERBOARD AND 50MM ALL ROOF VENTILATION TO COMPLY WITH BUILDING REGULATIONS DOCUMENT F2

VENTILATION
WINDOW VENTILATION OPENINGS MIN. 1/20TH FLOOR AREA OF HABITABLE ROOMS. ALL WINDOWS TO HAVE TRICKLE VENTS. PROVIDE MECHANICAL VENTILATION TO KITCHEN 60LS, UTILITY 30US AND SHOWER ROOM 15LS.


ELECTRICS
ALL SWITCHES AND SOCKETS TO BE LOCATED SO THEY ARE EASILY REACHABLE. BETWEEN 450MM AND 1200MM FROM FLOOR LEVEL. ALL WIRING AND ELECTRICAL WORKS WILL BE DESIGNED, INSTALLED, INSPECTED AND TESTED IN ACCORDANCE WITH REQUIREMENTS OF BS 7671. SEE 18TH EDITION WIRING GUIDANCE AND BUILDING REGULATIONS PART P (COMPETENT PERSON MEANS MEMBER OF THE O.D.P.M. COMPETENT PERSONS SCHEME). THE COMPETENT PERSON IS TO SEND TO THE LOCAL AUTHORITY A 'SELF CERTIFICATION CERTIFICATE' WITHIN 30 DAYS OF THE ELECTRICAL WORKS COMPLETION. THE CLIENT MUST RECEIVE BOTH A COPY OF THE 'SELF CERTIFICATION CERTIFICATE' AND A BS 7671 ELECTRICAL INSTALLATION CERTIFICATE. ENSURE 75 PERCENT OF ALL NEW LIGHT FITTINGS ARE EFFICIENT FITTINGS.

PLUMBING
HEATING TO NEW ROOMS FROM HOT WATER RADIATOR LINKED INTO EXISTING COMBI BOILER. ALL NEW RADIATORS TO BE FITTED WITH TRVs. ALL WORK TO BE INSTALLED AND COMMISSIONED BY A QUALIFIED TRADESMAN IN ACCORDANCE WITH THE DOMESTIC HEATING GUIDE 2010.

WINDOWS
WHITE UPVC DOUBLE GLAZED BI-FOLD DOORS WITH DOUBLE GLAZED UNITS MIN 24MM COMPRISING 4MM Pilkington K GLASS. ALL GLASS WINDOWS UP TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL AND OR WITHIN 300MM FROM A DOOR AND ALL DOORS UP TO A HEIGHT OF 1500MM ABOVE FLOOR LEVEL TO BE TOUGHENED OR LAMINATED TO BS 6206. WINDOWS TO HAVE MAX U VALUE OF 1.6 W/M2K. WINDOWS TO PROVIDE DAYLIGHT EQUIVALENT TO 1/10TH FLOOR AREA AND OPENABLE VENTILATION 1/20TH FLOOR AREA. ALL HABITABLE ROOMS TO HAVE FIRE ESCAPE WINDOWS WITH MIN 500MM WIDE AND 450MM HIGH OPENING AND MIN AREA OF 0.75 M2.



SECTION A-A



Client
DAVE TAYLOR-POCKETT

Job Title
SINGLE STOREY SIDE EXTENSION TO NO.28 HAWK CLOSE, ABBEYDALE, GLOS

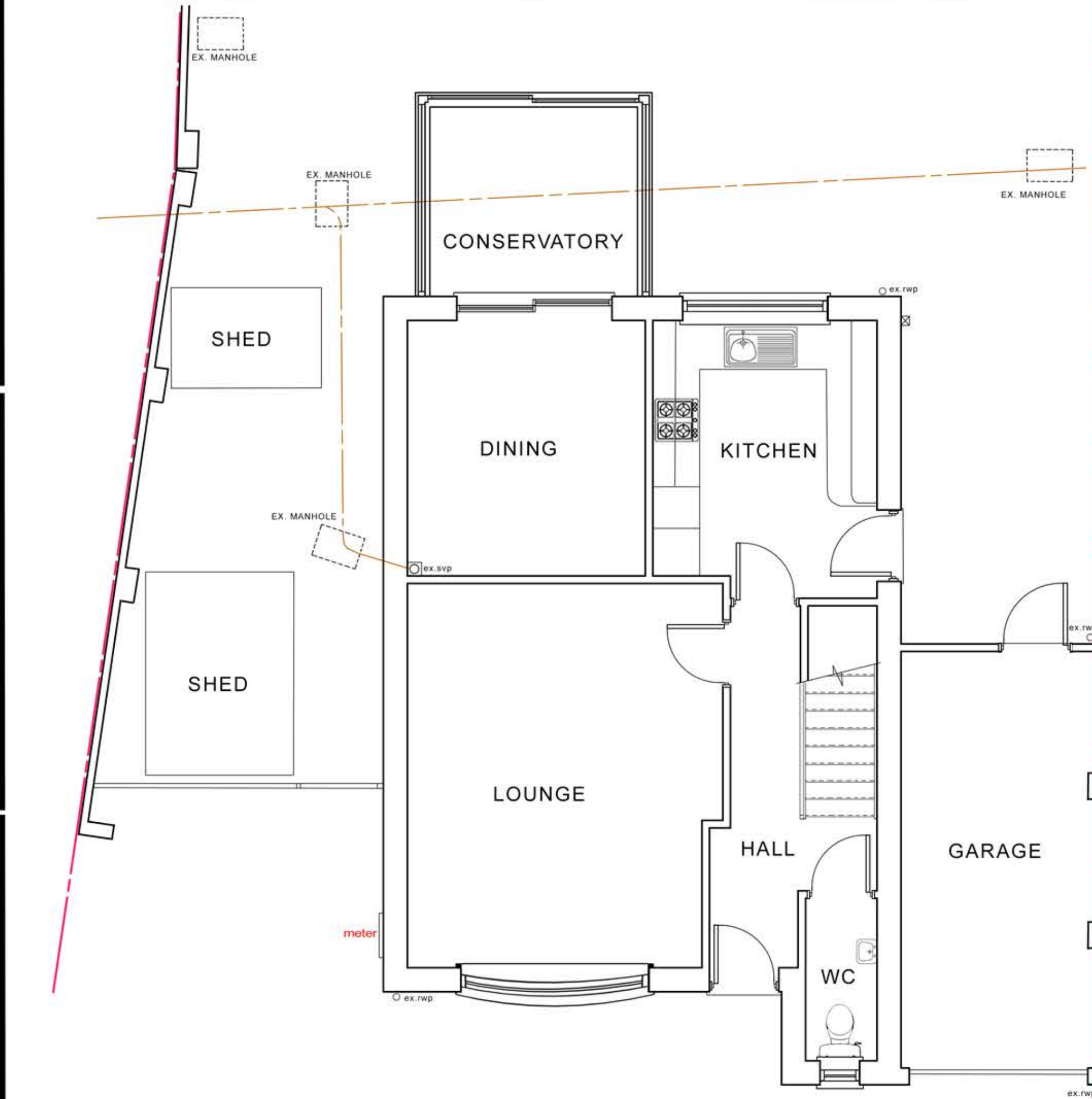
Dwg Title
EXISTING AND PROPOSED PLANS AND ELEVATIONS, SITE AND BLOCK PLAN, SECTION AND DETAILS

Scale
1:50 1:100 1:1250 1:200 1:25

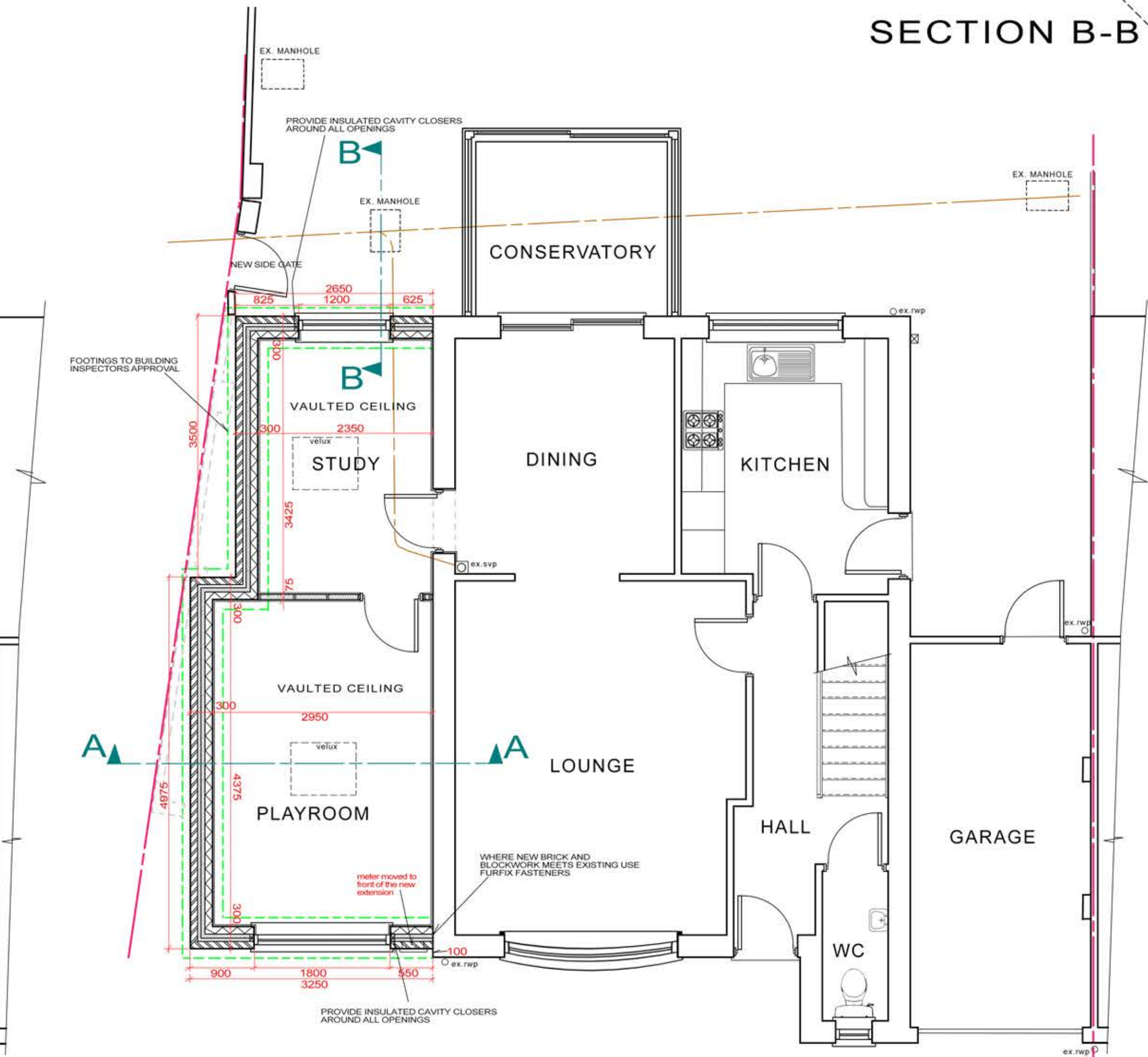
Date
Date:

Dwg No.
CF001

NOTE
THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS. THE CONTRACTOR IS TO COMPLY IN ALL ASPECTS WITH CURRENT BUILDING LEGISLATION - BRITISH STANDARDS SPECIFICATIONS, BUILDING REGULATIONS ETC. WHETHER OR NOT SPECIALLY STATED ON THIS DRAWING. THIS DRAWING MUST BE READ WITH AND CHECKED AGAINST ANY STRUCTURAL, GEOTECHNICAL OR OTHER SPECIALIST DOCUMENTATION. THIS DRAWING IS NOT INTENDED TO SHOW DETAILS OF FOUNDATIONS, GROUND CONDITIONS OR GROUND CONTAMINANTS. THE CONTRACTOR WILL INVESTIGATE THE BUILDING AREA AND A SUITABLE METHOD OF FOUNDATION FOR THE WHOLE BUILD SHOULD BE PROVIDED ALLOWING FOR EXISTING GROUND CONDITIONS. ANY SUSPECT GROUND CONDITIONS SHOULD BE FURTHER INVESTIGATED BY A SUITABLE EXPERT.



EXISTING GROUND FLOOR 1:50



PROPOSED GROUND FLOOR 1:50

EXTERNAL WALLS
FACING BRICK TO MATCH EXISTING HOUSE. 100MM CAVITY WITH 100MM FULL FILL INSULATION SEE CHART (ALSO CHECK WITH BUILDING INSPECTOR) 100MM THERMALITE (OR SIMILAR) INSULATING BLOCKWORK. DRY LINED WITH 12.5MM PLASTERBOARD & 50MM CONT. INSULATION IN CAVITIES TAKEN DOWN TO FINISH IN LINE WITH THE UNDERSIDE OF THE FLOOR INSULATION. WALL TIES AT 750MM CENTRES HORIZONTAL AND 450MM CENTRES VERTICALLY AROUND UNCOATED JAMBS WALL TIES TO BE 450MM HORIZONTALLY AND 225MM VERTICALLY. 120MM VERTICAL AROUND DOOR AND WINDOW OPENINGS AND INSULATED CAVITY CLOSERS AROUND OPENINGS TO ELIMINATE COLD BRIDGING. WALLS TO BE SEALED AT EAVES LEVEL WITH INSULATED CAVITY CLOSERS.

GROUND FLOOR
50MM SAND AND CEMENT SCREED ON 100MM CONCRETE BASE. LAYER OF BUILDING PAPER ON KINGSPAN T7 TO 100MM THERMALITE INSULATION ON 120 GAUGE POLY D.P.M. SHEETING ON 150MM WELL COMPACTED AND CONSOLIDATED HARD CORE FILL (ALL LOW FOR COMPACTED SAND OR HARD CORE TO AVOID TEARS IN D.P.M. PROVIDE 25MM UP STAND OF INSULATION AROUND PERIMETER OF FLOORS).

DRAINAGE
WHERE ANY DRAINS PASS UNDER FLOOR SLABS ENCASE IN MIN. 150MM PE4 GRAVEL AND LINTELS INSTALLED WHERE THEY PASS THROUGH WALLS WITH COMPRESSIBLE MATERIAL AROUND HOLE. STORMDRAINS: 63MM DOWNPIPES TO GULLIES WITH COPPER WIRE BALL LOCKS AT GUTTER JUNCTIONS. GUTTERS: 100MM TRUE HALF ROUND LAID TO FALL. FROM GULLIES: 100MM SUPERSLEVE DRAINS TO DRAIN AWAY INTO SOAKAWAY IN REAR GARDEN. DEPENDING ON GROUND CONDITIONS RUN INTO EXISTING DRAINAGE RUN SOAKAWAY TO BRITISH STANDARDS.

SUBSTRUCTURE WALLS
INNER SKIN TO BE 100MM 7N/m2 CONCRETE BLOCK BELOW D.P.C LEVEL. USE SAME TO EXTERNAL SKIN BELOW GROUND LEVEL AND FACING BRICK ABOVE GROUND LEVEL UP TO D.P.C. BUILD IN FULL WIDTH D.P.C. AT MINIMUM 150MM ABOVE GROUND LEVEL. LINK TO D.P.M. BUILD IN CAVITY TRAY IMMEDIATELY OVER D.P.C. TO FULL PERIMETER OF BUILDING. BUILD LINTELS WHERE SERVICES/DRAINS PASS THROUGH EXTERNAL WALLS. ENSURE MINIMUM 150MM CLEARANCE AROUND DRAINS WILL FLEXIBLE MATERIAL FILLING TO VOID SPACE. WEAK MIX CONCRETE CAVITY FILL TO BASE OF WALL UP TO 225MM.

FOOTINGS
CONCRETE STRIP FOUNDATIONS TO MIN. 100MM BELOW GROUND LEVEL TO LOCAL AUTHORITY APPROVAL. FOOTINGS TO BE CLEAR OF ROOTS AND DEBRIS PRIOR TO POURING CONCRETE. MASS FILL TO 3 COURSES BELOW LOWEST D.P.C. LEVEL.

NEW BUILDING REGS
Below are tables of examples of insulation products that can be used to achieve the new U-Values in Approved Document L as of June 2022.

This is based on a 'standard' cavity construction wall detail with a brick outer leaf and a block inner leaf. In most instances the cavity will now be greater than 100mm unless a suitable PIR cavity insulation board is used.

Please see key for ease - this includes some but not all products that can be used. Specialist advice from architects, energy assessors and manufacturers may be required.

| Table 1 U-Value now required 0.18W/m ² K | | | |
|---|---|--|--|
| Cavity width | Detail | Cavity insulation 0.021 W/m ² K | Cavity insulation 0.037 W/m ² K |
| 100mm | Brickwork, 100mm cavity full fill insulation with an insulation with a thermal conductivity of 0.021 W/m ² K. 100 blockwork inner leaf with a thermal conductivity of 0.15 W/m ² K. 12.5mm plasterboard finish. | Recticel Euro wall Celotex CVA4000 | Rockwool Cavity batts Other Dritherm products |
| 100mm | Brickwork, 100mm cavity full fill insulation with an insulation with a thermal conductivity of 0.032 W/m ² K. 100 mm blockwork with a thermal conductivity of 0.15 W/m ² K and a 52.2 insulated PIR plasterboard finish (40mm PIR + 12.5mm plasterboard). | Dritherm 32 Cavity Batts | Please note most other cavity wall insulations do not achieve the same value as Dritherm 32, even other Dritherm products like 34 etc. |