

Application for Planning Permission

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

MS

First name

CHRISTY

Surname

RUSH

Company Name

AFFINITY DENTAL CARE

Address

Address line 1

22 Cheltenham Road

Address line 2

Address line 3

Town/City

Gloucester

County

Gloucestershire

Country

Postcode

GL2 0LS

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

***** REDACTED *****

Site Area

What is the measurement of the site area? (numeric characters only).

612.00

Unit

Sq. metres

Description of the Proposal

Please note in regard to:

- **Fire Statements** - From 1 August 2021, planning applications for buildings of over 18 metres (or 7 stories) tall containing more than one dwelling will require a 'Fire Statement' for the application to be considered valid. There are some exemptions. [View government planning guidance on fire statements](#) or [access the fire statement template and guidance](#).
- **Permission In Principle** - If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.
- **Public Service Infrastructure** - From 1 August 2021, applications for certain public service infrastructure developments will be eligible for faster determination timeframes. See help for further details or [view government planning guidance on determination periods](#).

Description

Please describe details of the proposed development or works including any change of use

PROPOSED EXTERNAL LIFT, TWO STOREY REAR EXTENSION AND PART LOFT CONVERSION

Has the work or change of use already started?

Yes

No

Existing Use

Please describe the current use of the site

DENTAL PRACTICE

Is the site currently vacant?

Yes

No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

Yes

No

Land where contamination is suspected for all or part of the site

Yes

No

A proposed use that would be particularly vulnerable to the presence of contamination

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

TRADITIONAL BRICK

Proposed materials and finishes:

TRADITIONAL BRICK

Type:

Roof

Existing materials and finishes:

TILED ROOF AND PART FLAT ROOF

Proposed materials and finishes:

TILED ROOF AND PART FLAT ROOF

Type:

Windows

Existing materials and finishes:

UPVC DOUBLE GLAZED

Proposed materials and finishes:

UPVC DOUBLE GLAZED

Type:

Doors

Existing materials and finishes:

UPVC DOUBLE GLAZED

Proposed materials and finishes:

UPVC DOUBLE GLAZED

Type:

Boundary treatments (e.g. fences, walls)

Existing materials and finishes:

FENCE AND WALLS

Proposed materials and finishes:

NO CHANGE

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

DRAWINGS:

AD-22CR-G-001

AD-22CR-G-002

AD-22CR-G-003

AD-22CR-G-004A

AD-22CR-G-005A

DESIGN STATEMENT

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

- Yes
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes
 No

Are there any new public roads to be provided within the site?

- Yes
 No

Are there any new public rights of way to be provided within or adjacent to the site?

- Yes
 No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

- Yes
 No

Vehicle Parking

Does the site have any existing vehicle/cycle parking spaces or will the proposed development add/remove any parking spaces?

- Yes
 No

Trees and Hedges

Are there trees or hedges on the proposed development site?

- Yes
 No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

- Yes
 No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of the local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside the application. The local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

Assessment of Flood Risk

Is the site within an area at risk of flooding? (Check the location on the Government's [Flood map for planning](#). You should also refer to national [standing advice](#) and your local planning authority requirements for information as necessary.)

- Yes
 No

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

- Yes
 No

Will the proposal increase the flood risk elsewhere?

- Yes
 No

How will surface water be disposed of?

- Sustainable drainage system
 Existing water course
 Soakaway
 Main sewer
 Pond/lake

Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

Supporting information requirements

Where a development proposal is likely to affect features of biodiversity or geological conservation interest, you will need to submit, with the application, sufficient information and assessments to allow the local planning authority to determine the proposal.

Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the local planning authority has been submitted.

Your local planning authority will be able to advise on the content of any assessments that may be required.

Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer
- Septic tank
- Package treatment plant
- Cess pit
- Other
- Unknown

Are you proposing to connect to the existing drainage system?

- Yes
- No
- Unknown

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

- Yes
- No

Have arrangements been made for the separate storage and collection of recyclable waste?

- Yes
- No

Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

- Yes
- No

Residential/Dwelling Units

Does your proposal include the gain, loss or change of use of residential units?

- Yes
- No

All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Note that 'non-residential' in this context covers all uses except Use Class C3 Dwellinghouses.

- Yes
- No

Please add details of the Use Classes and floorspace.

Following changes to Use Classes on 1 September 2020: The list includes the now revoked Use Classes A1-5, B1, and D1-2 that should not be used in most cases. Also, the list does not include the newly introduced Use Classes E and F1-2. To provide details in relation to these or any 'Sui Generis' use, select 'Other' and specify the use where prompted. Multiple 'Other' options can be added to cover each individual use. [View further information on Use Classes.](#)

Use Class: Other (Please specify)
Other (Please specify): E(e)
Existing gross internal floorspace (square metres): 177.5
Gross internal floorspace to be lost by change of use or demolition (square metres): 0
Total gross new internal floorspace proposed (including changes of use) (square metres): 223.3
Net additional gross internal floorspace following development (square metres): 45.8

Totals	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
	177.5	0	223.3	45.80000000000001

Loss or gain of rooms

For hotels, residential institutions and hostels please additionally indicate the loss or gain of rooms:

Employment

Are there any existing employees on the site or will the proposed development increase or decrease the number of employees?

- Yes
 No

Existing Employees

Please complete the following information regarding existing employees:

Full-time

Part-time

Total full-time equivalent

Proposed Employees

If known, please complete the following information regarding proposed employees:

Full-time

4

Part-time

6

Total full-time equivalent

3.00

Hours of Opening

Are Hours of Opening relevant to this proposal?

- Yes
 No

Industrial or Commercial Processes and Machinery

Does this proposal involve the carrying out of industrial or commercial activities and processes?

- Yes
 No

Is the proposal for a waste management development?

- Yes
 No

Hazardous Substances

Does the proposal involve the use or storage of Hazardous Substances?

- Yes
 No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

MR

First Name

Glenn

Surname

Church

Declaration Date

12/12/2022

Declaration made

Declaration

I / We hereby apply for Full planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Glenn Church

Date

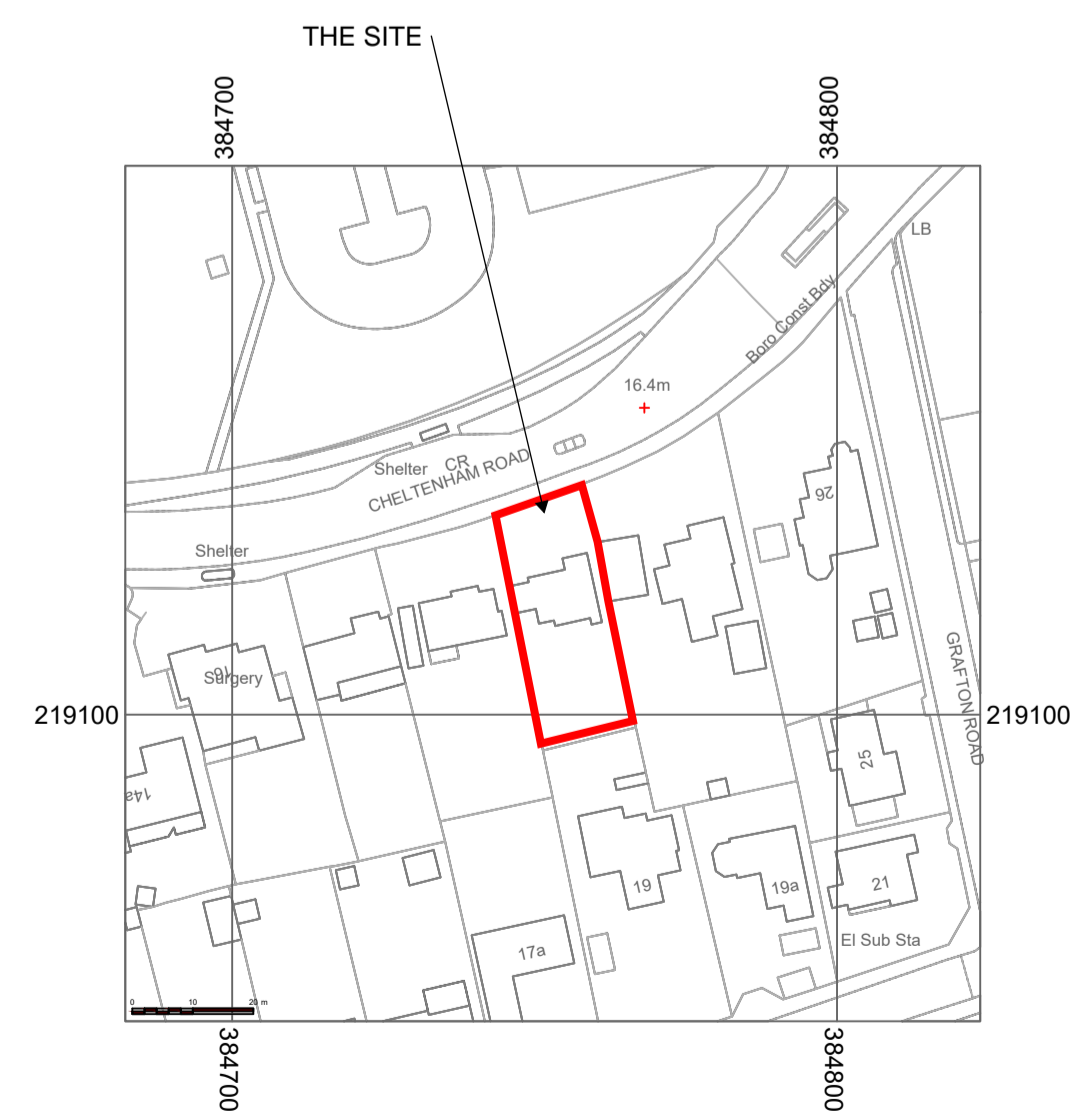
12/12/2022



BLOCK PLAN AS EXISTING 1:500




BLOCK PLAN AS PROPOSED 1:500




SITE LOCATION PLAN 1:1250

FOR PLANNING ONLY



HOMEPLAN
DRAFTING SERVICES

ARCHITECTURE PLANNING DESIGN



CLIENT/PROJECT:
AFFINITY DENTAL CARE & IMPLANT CENTRE
PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
SITE LOCATION PLAN AND BLOCK PLANS

SCALE:
1:1250 & 1:1250 @ A1

DATE:
SEPTEMBER 2022

AD-22CR-G-003

Homeplan Drafting Services

Planning and Architectural Services

28 Jasmine Close, Abbeydale, Gloucester GL4 5FJ

www.homeplanservices.co.uk,

Proposed External Lift to Rear of Property Loft Conversion and Associated Works To Affinity Dental 22 Cheltenham Road Gloucester GL2 0LS

Design, Access Statement

To assist with the validation of the application please see details relating to the site as detailed below.

To be read in conjunction with plans:

AD-22CR-G-001, As Existing Ground, First Floor and Loft Plans

AD-22CR-G-002, As Existing Elevations

AD-22CR-G-003, Site Location Plan, As Existing and As proposed Block Plans

AD-22CR-G-004A, As Proposed Ground, First Floor and Loft Plans

AD-22CR-G-005A, As Proposed Elevations



1) Proposal.

The application relates the installation of an external (internally accessed) lift. A small ground and first floor rear extension and part conversion of rear area of loft space.

2) Design.

The proposal will be almost entirely screened from the public road with the majority of work being to the rear of property.

The only element of work which is visible from the front elevation as drawn would be a small raise in roof ridge to the right hand side of the property and part of a side dormer to the left, both of these elements will generally be non visible again from the street scene of Cheltenham Road.

3) Requirement.

The requirement is to provide additional surgery space whilst providing enhancements to the building to improve DDA Access.

Currently all patient access has to be made via the front of the building, this is despite most parking spaces being to the rear of the building.

This is due to the existing ground floor layout with a dual aspect staircase which makes accessibility through the ground floor space extremely limited.

Part of the proposal will permit dedicated disabled parking to the front of the building and enhanced access to all surgeries via a rear external installed (internally accessed) lift.

An additional benefit to the new layout would allow patients to access the building from both the front and rear, this will allow for re-location of an external compressor housing and for clinical waste bins to both be positioned to the side of the property with a safe gated access.

4) Impact to Host Property and Surrounding Area.

We believe the proposal and will have minimal visual impact to the building in general with the majority of works being confined to the rear of the building.

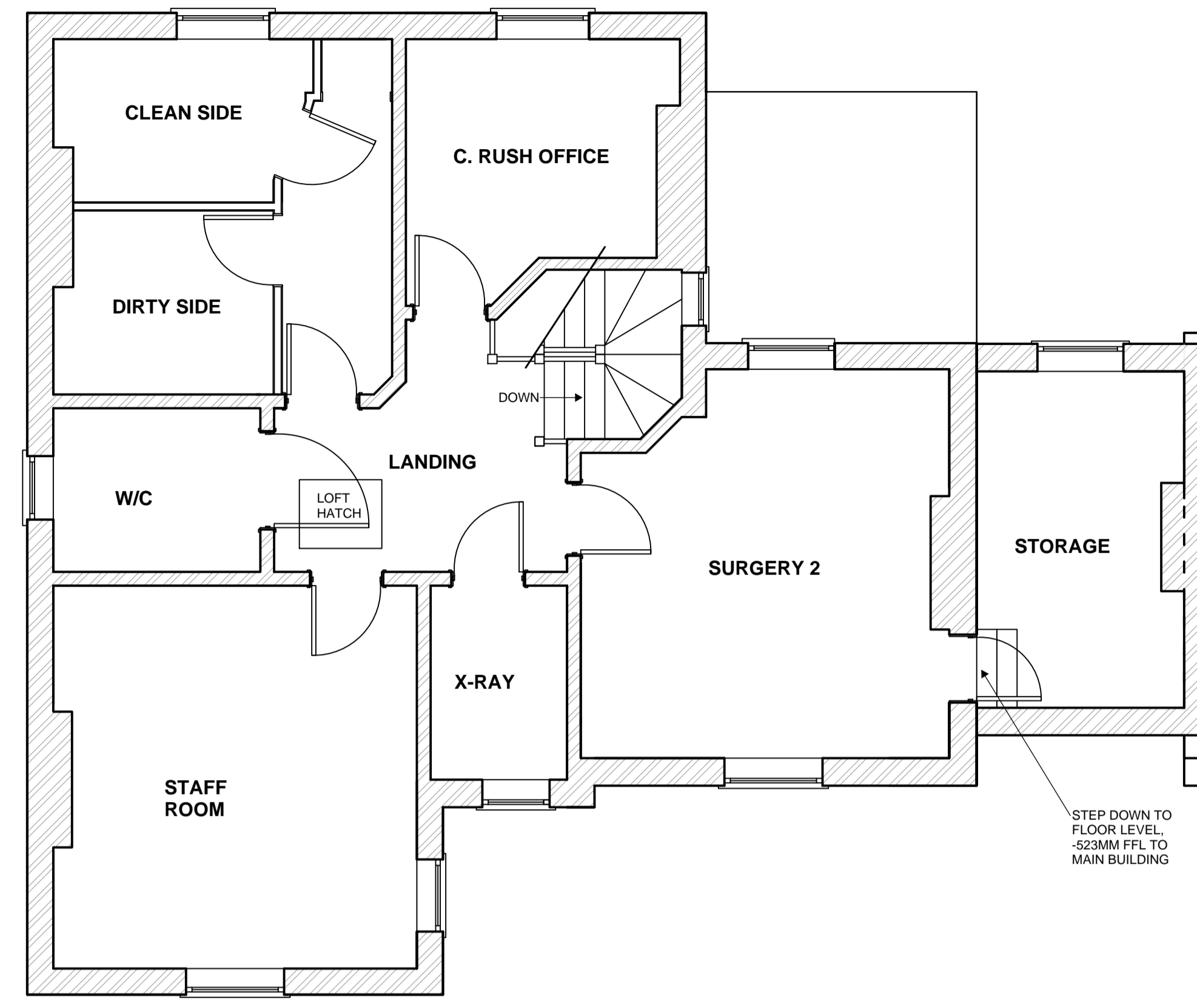
There will be no impact to the front elevation of the building and it is considered there will be no impact on the appearance of the wider area.

It is considered that the proposal in terms of site, sizing and design is appropriate to this location and that no material harm will be made to the local natural landscape, visual impact will be minimal and use of proposed materials appropriate.

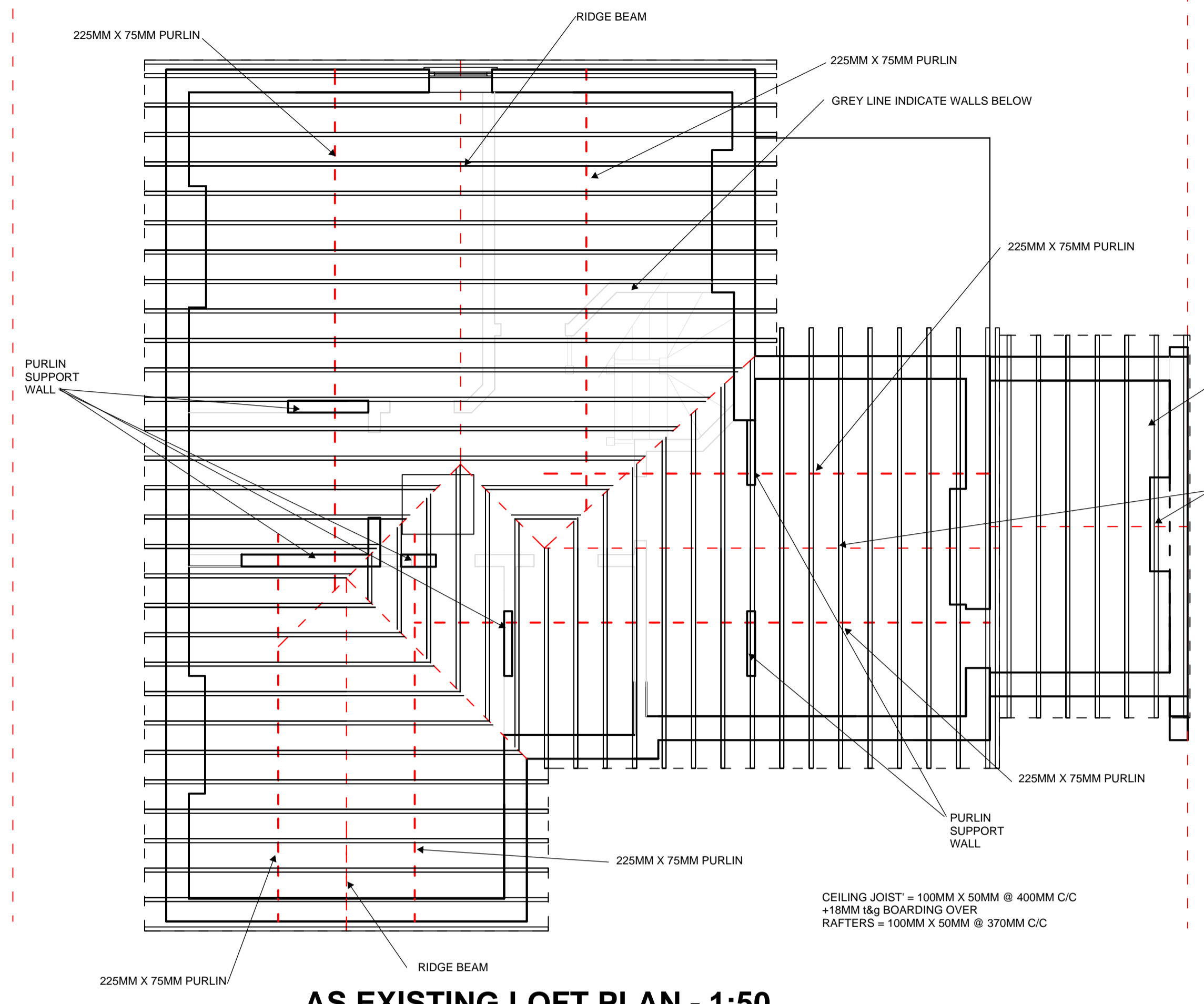
The benefit of the alteration and proposals will be a considerable improvement in terms of full accessibility to the property for all persons and abilities.

Regards

G A Church
Homeplan Drafting Services
For and on behalf of Affinity Dental.

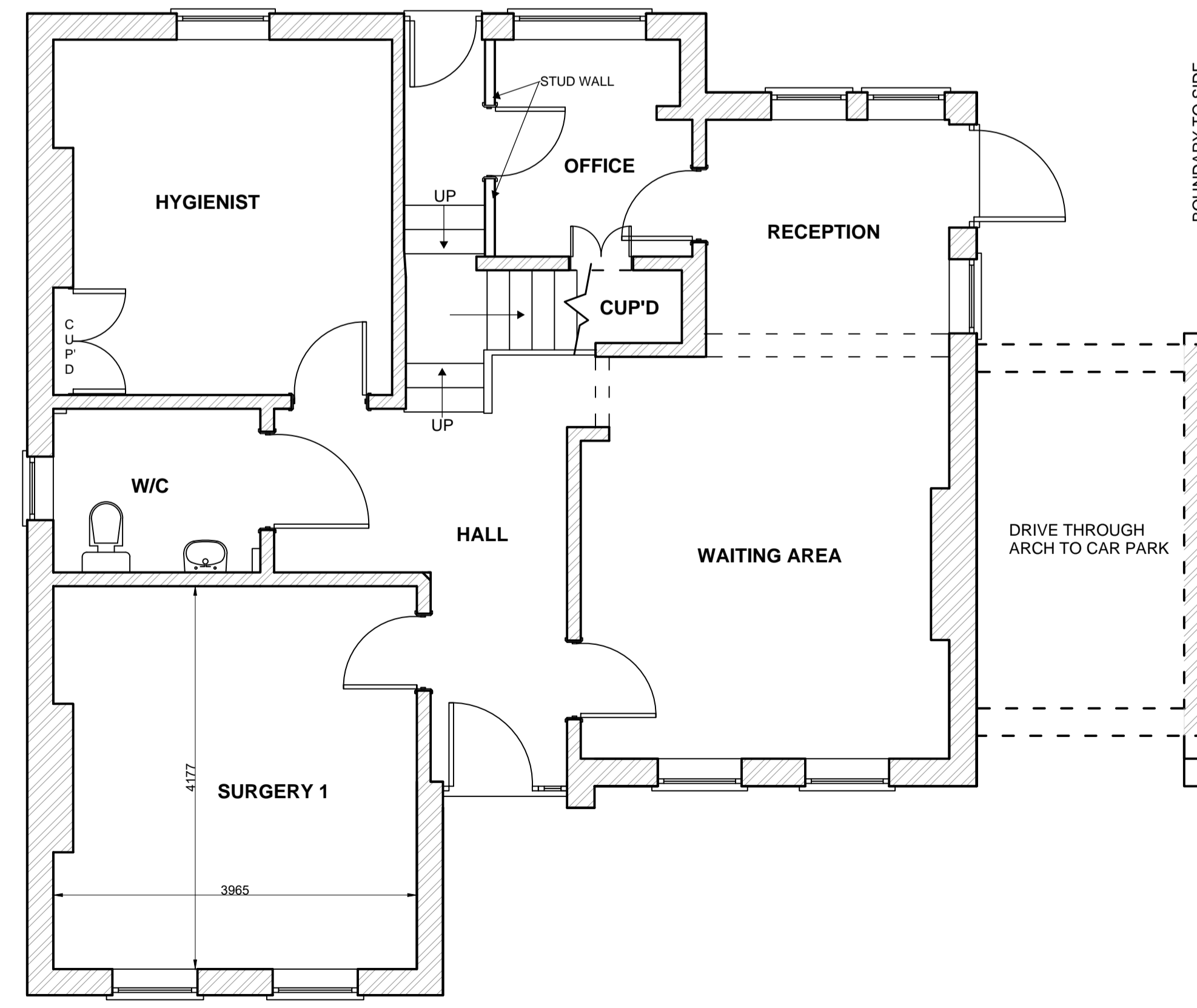


AS EXISTING FIRST FLOOR PLAN - 1:50

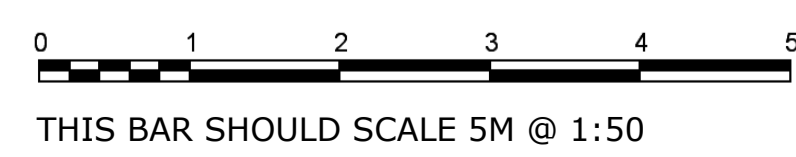


AS EXISTING LOFT PLAN - 1:50


- NOTES
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
 - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
 - 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
 - 4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE
ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS. THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.




AS EXISTING GROUND FLOOR PLAN - 1:50



FOR PLANNING ONLY



HOMEPLAN
DRAFTING SERVICES
ARCHITECTURE PLANNING DESIGN



CLIENT/PROJECT:
AFFINITY DENTAL CARE & IMPLANT CENTRE
PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
AS EXISTING GROUND, FIRST FLOOR AND LOFT PLAN

SCALE:
1:50 @ A1

DATE:
AUGUST 2022

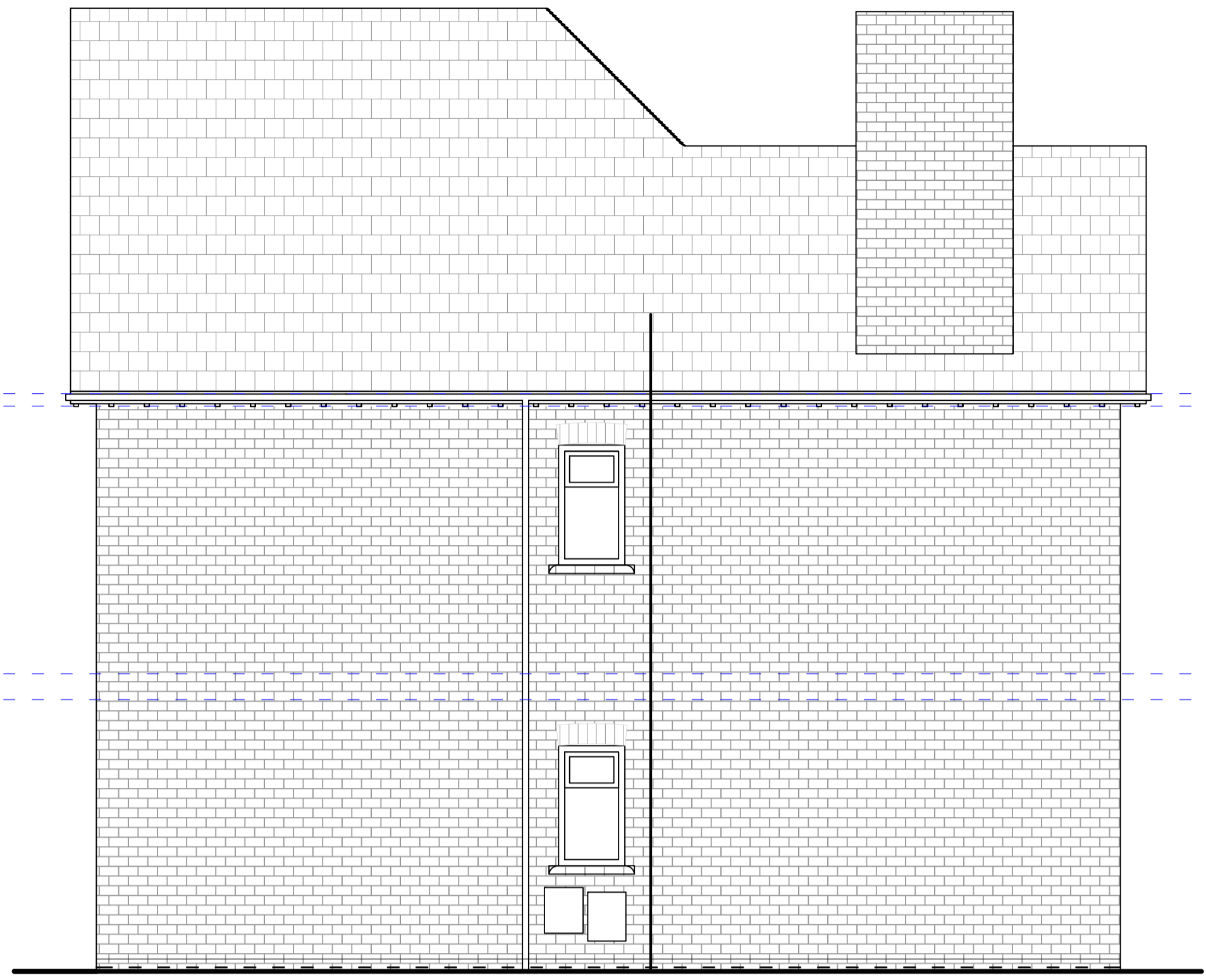
AD-22CR-G-001

NOTES
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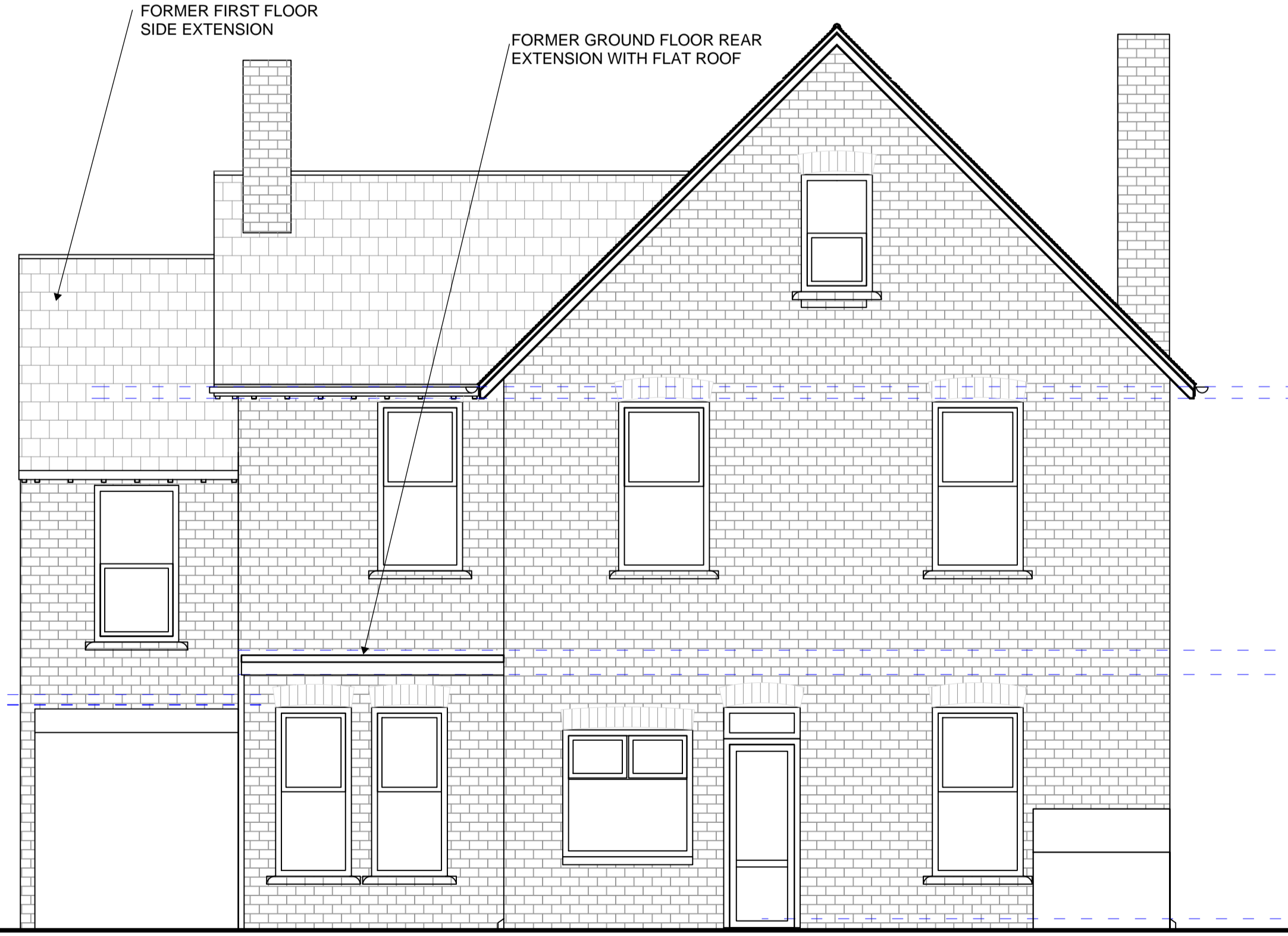
FOR PLANNING ONLY



FRONT ELEVATION - 1:50



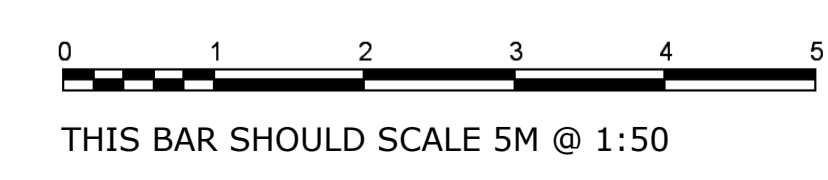
ELEVATION ON A - 1:50



REAR ELEVATION - 1:50



ELEVATION ON B - 1:50



HOMEPLAN
 DRAFTING SERVICES

ARCHITECTURE PLANNING DESIGN

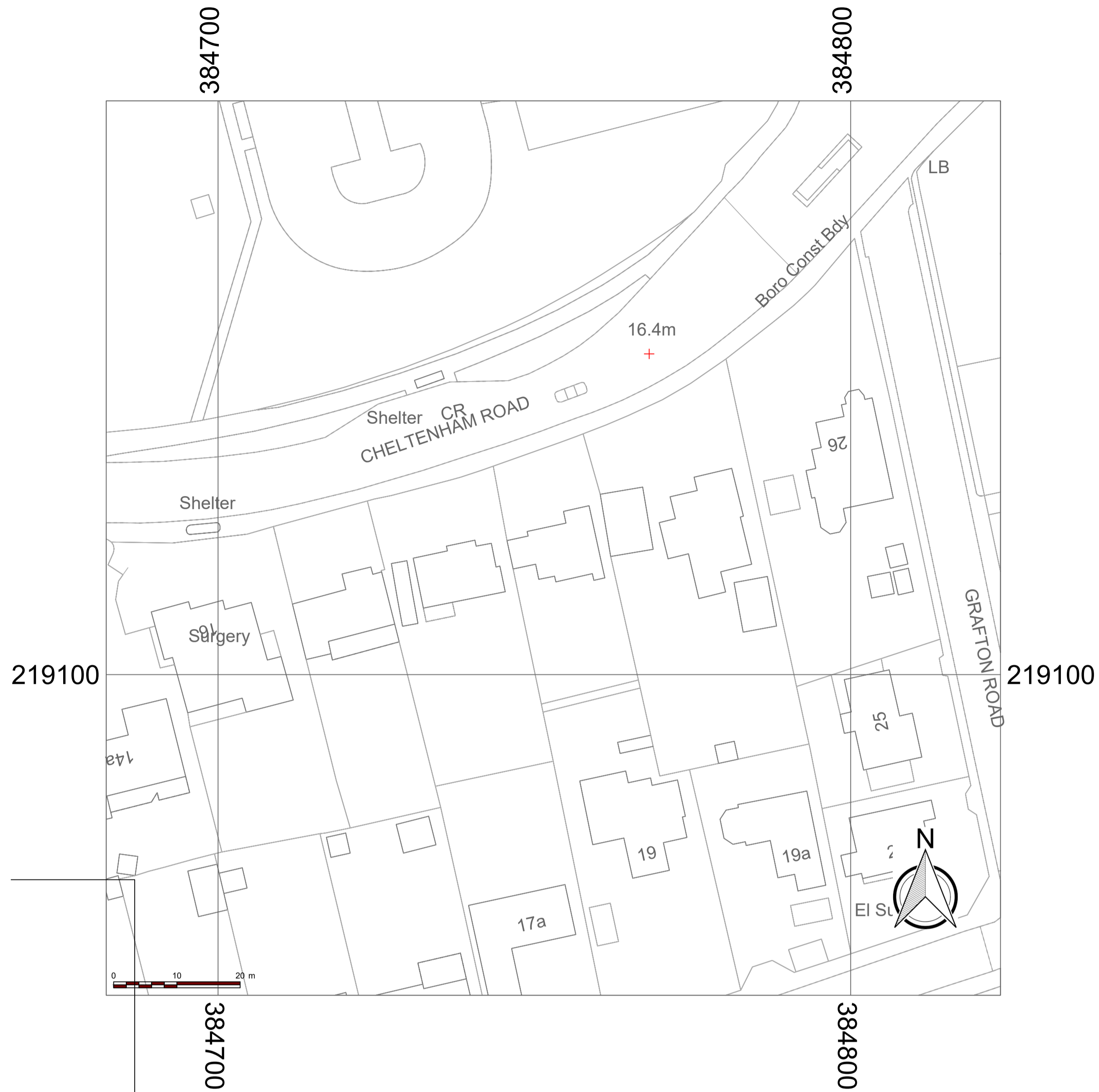
CLIENT/PROJECT:
 AFFINITY DENTAL CARE & IMPLANT CENTRE
 PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
 22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
 AS EXISTING ELEVATIONS

SCALE:
 1:50 @ A1

DATE:
 SEPTEMBER 2022

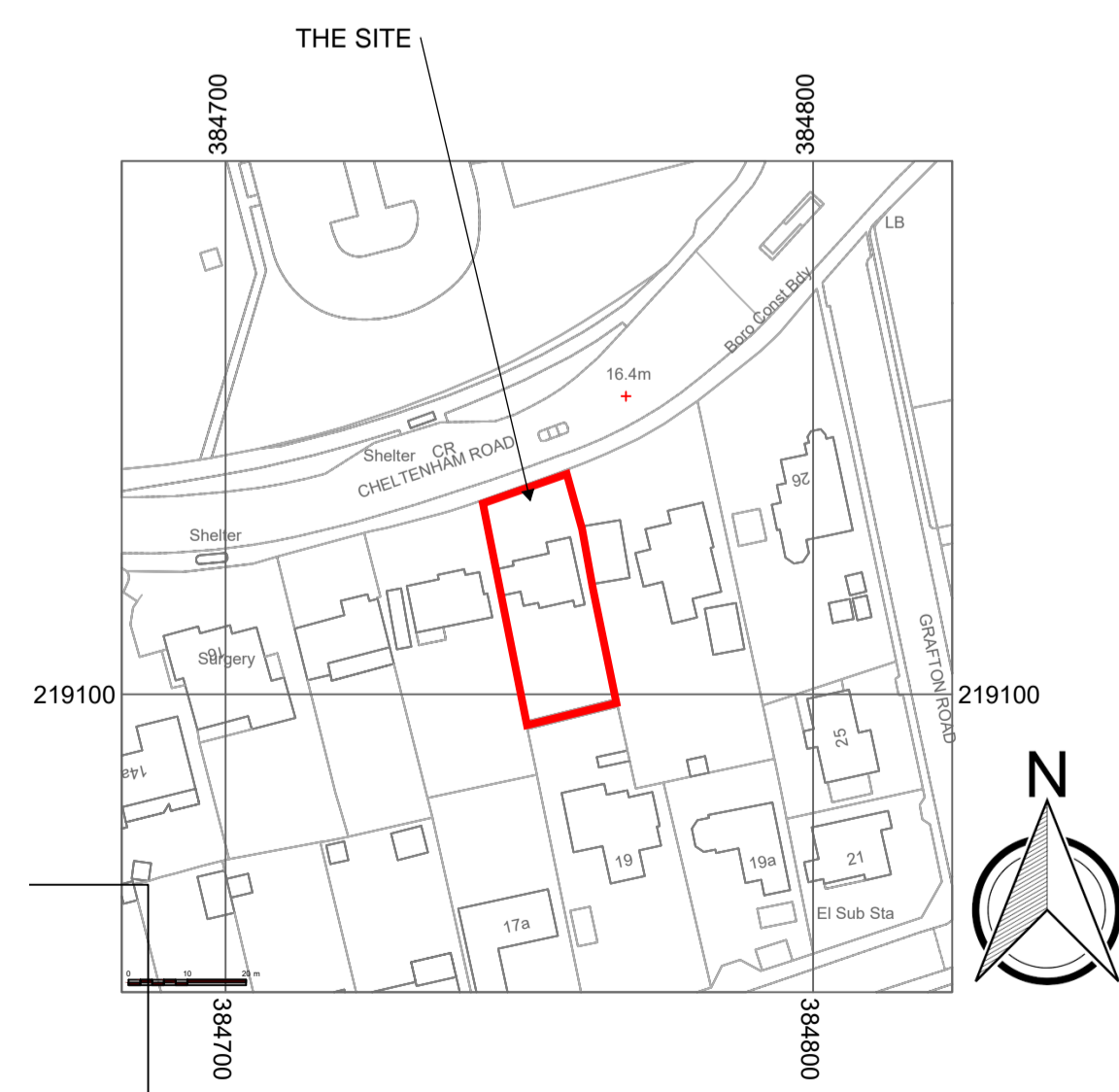
AD-22CR-G-002



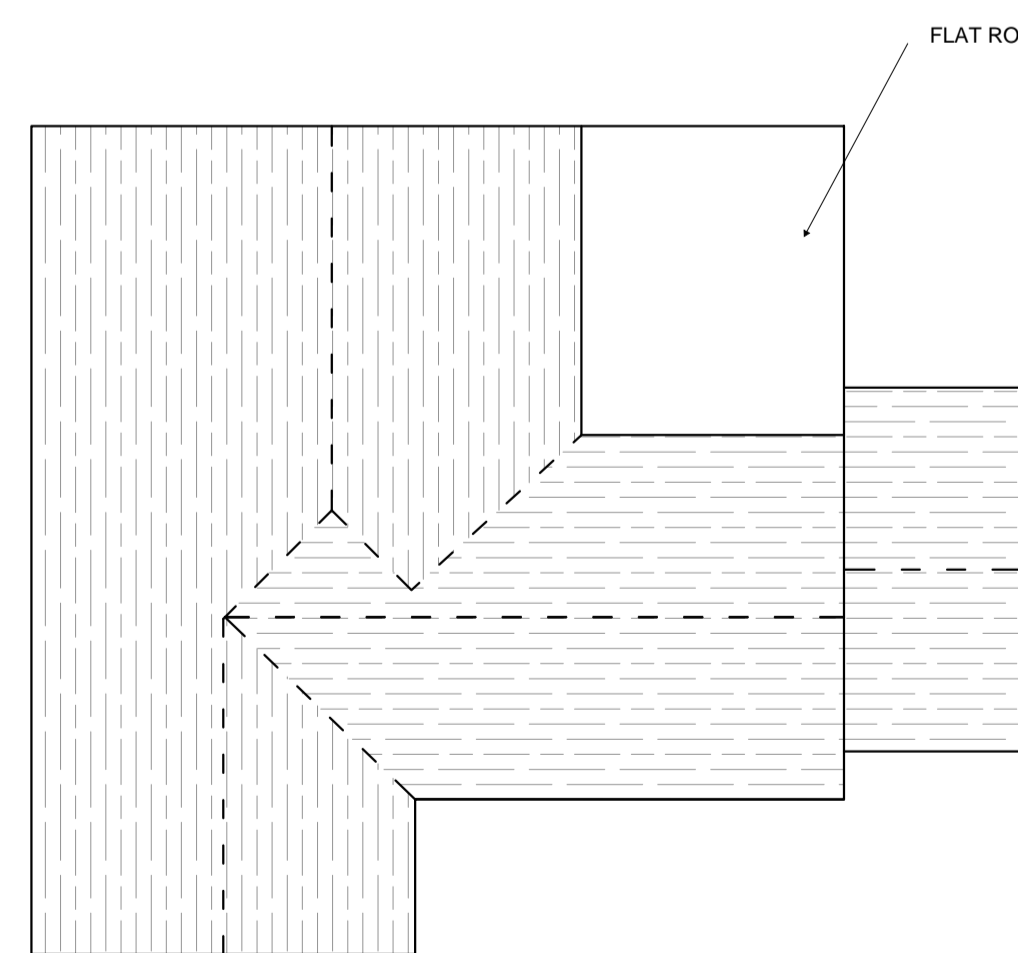
BLOCK PLAN AS EXISTING 1:500



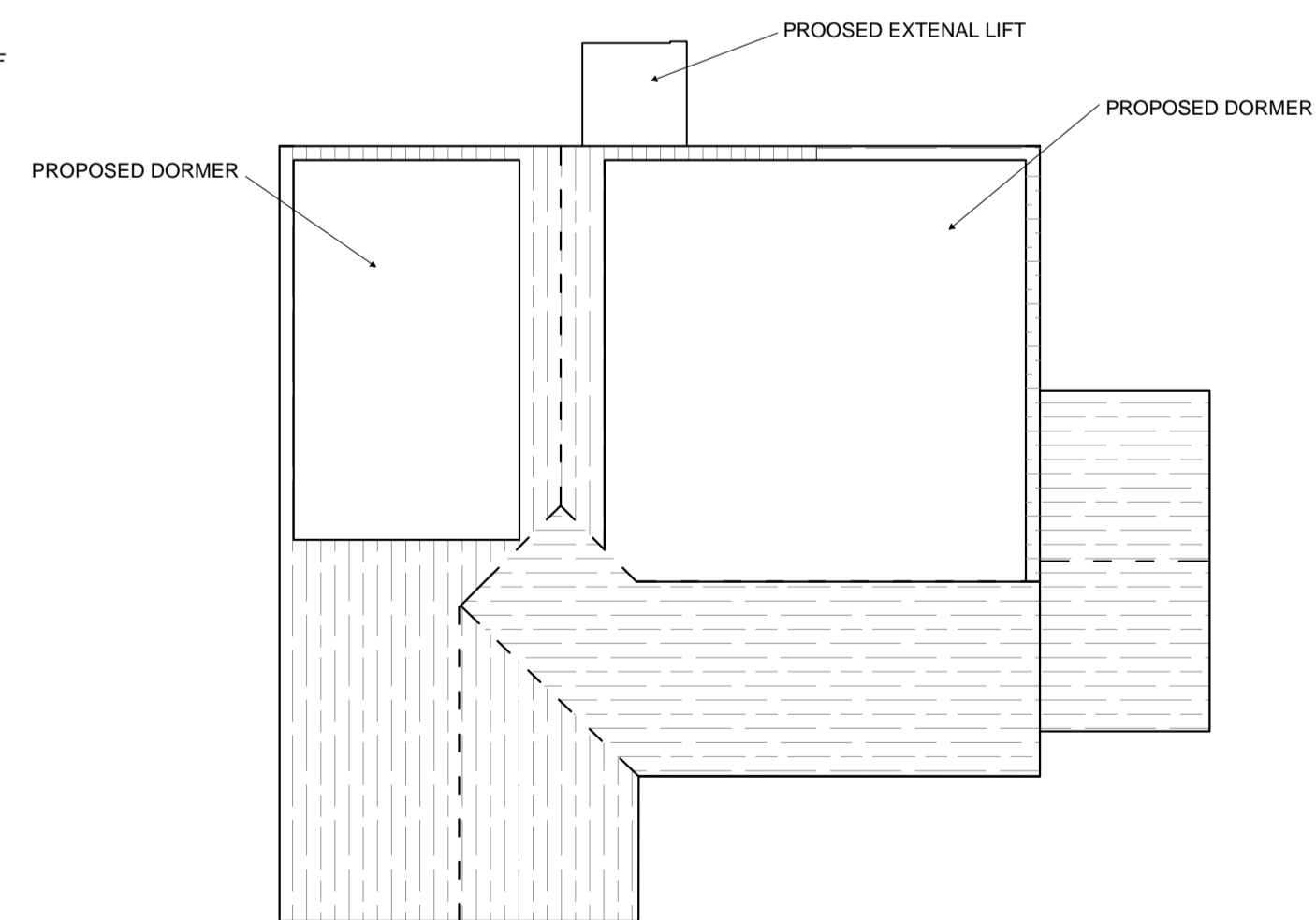
BLOCK PLAN AS PROPOSED 1:500



SITE LOCATION PLAN 1:1250



ROOF PLAN EXISTING 1:100



ROOF PLAN PROPOSED 1:100

REV A: JAN 2023 AS EXISTING AND PROPOSED ROOF PLANS ADDED

HOMEPLAN
DRAFTING SERVICES

ARCHITECTURE PLANNING DESIGN

07950283576 07584802621 brony@homeplanservices.co.uk glen@homeplanservices.co.uk

CLIENT/PROJECT:
AFFINITY DENTAL CARE & IMPLANT CENTRE

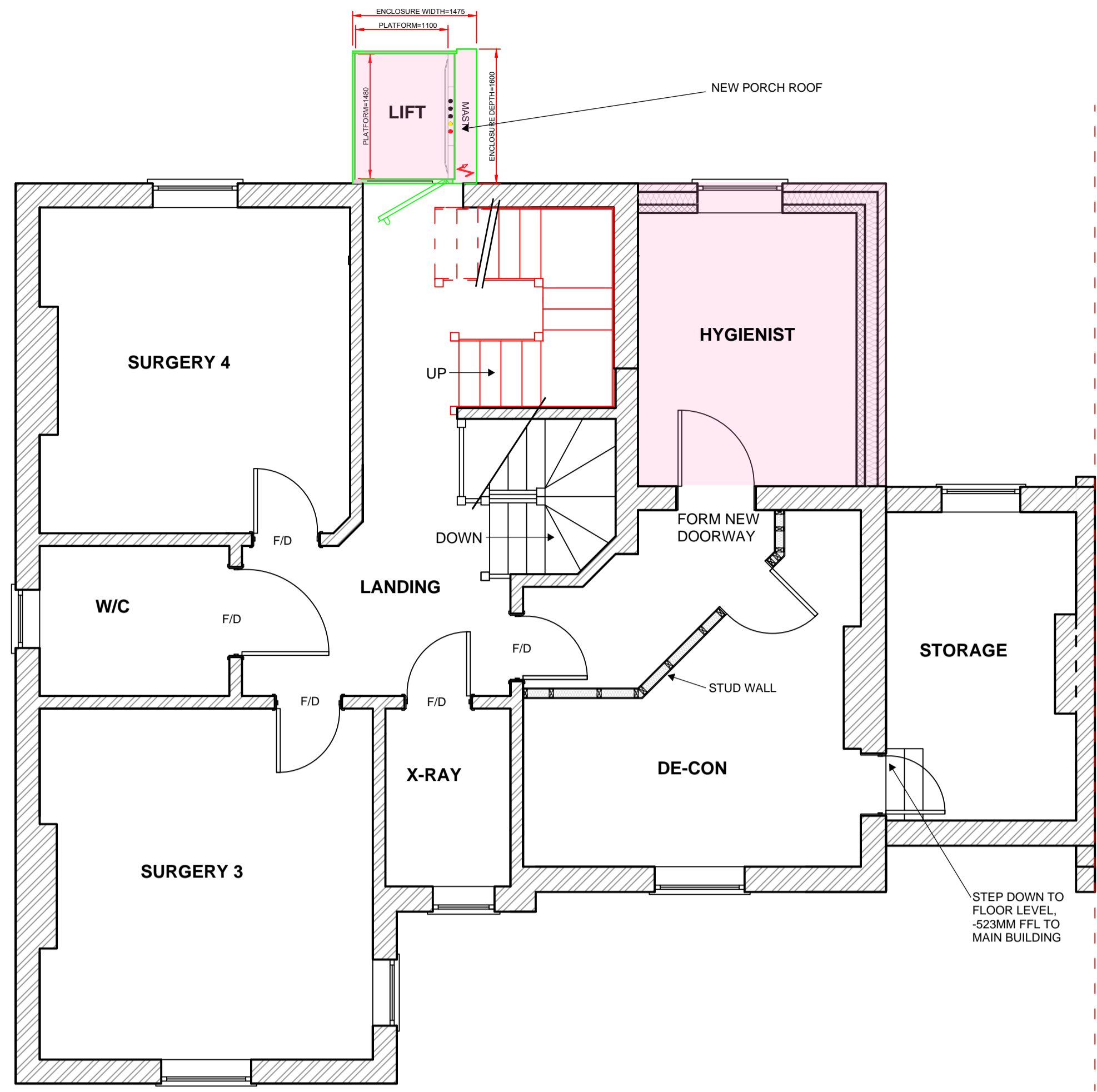
PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
SITE LOCATION PLAN AND BLOCK PLANS
AS EXISTING AND PROPOSED ROOF PLANS

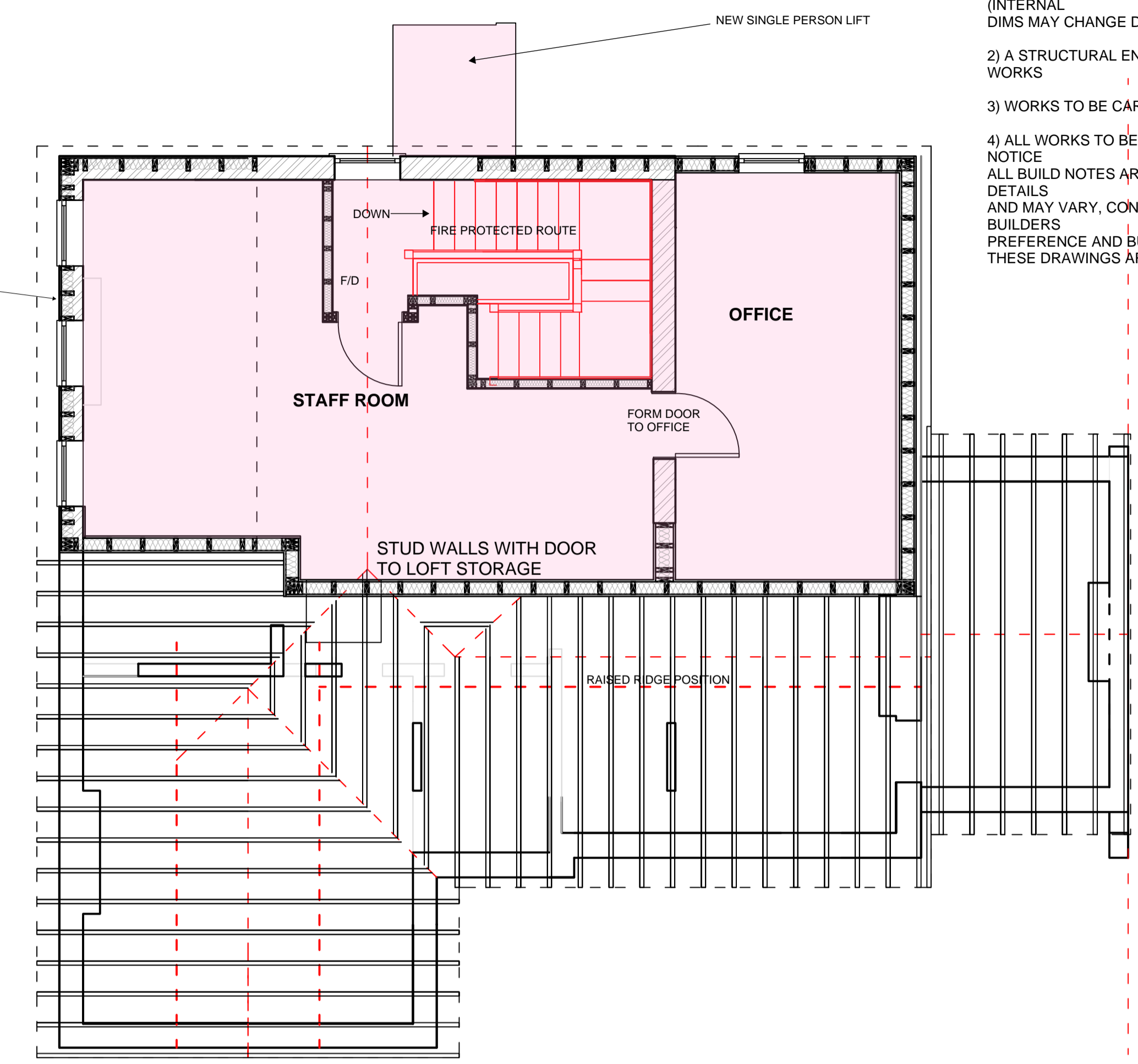
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DATE:
SEPTEMBER 2022

AD-22CR-G-003A

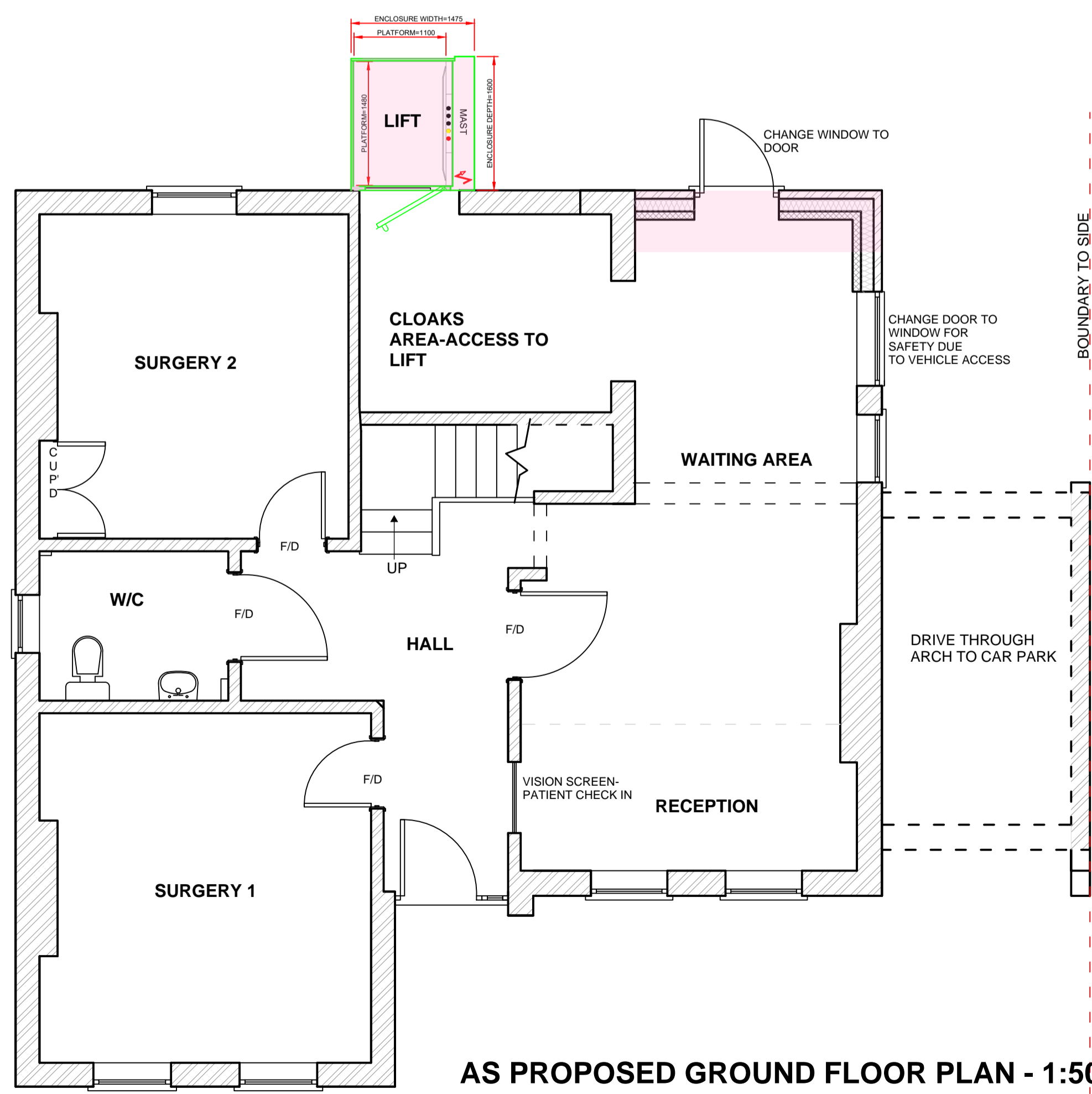


AS PROPOSED FIRST FLOOR PLAN - 1:50

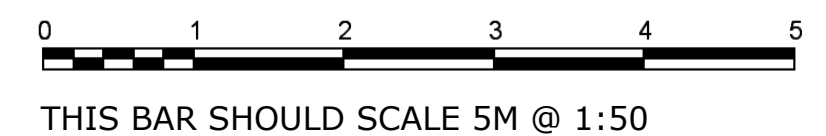


AS PROPOSED LOFT PLAN - 1:50

- NOTES
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AS PROPOSED GROUND FLOOR PLAN - 1:50



INDICATES EXTENSION AREA/
NEW FORMED SPACE

FOR PLANNING ONLY

REV A: DESIGN REVISED FOR EXTERNAL LIFT HOUSING, NOV-2022

CLIENT/PROJECT:
AFFINITY DENTAL CARE & IMPLANT CENTRE
PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
AS PROPOSED GROUND, FIRST FLOOR AND LOFT PLAN

SCALE:
1:50 & 1:100 @ A1

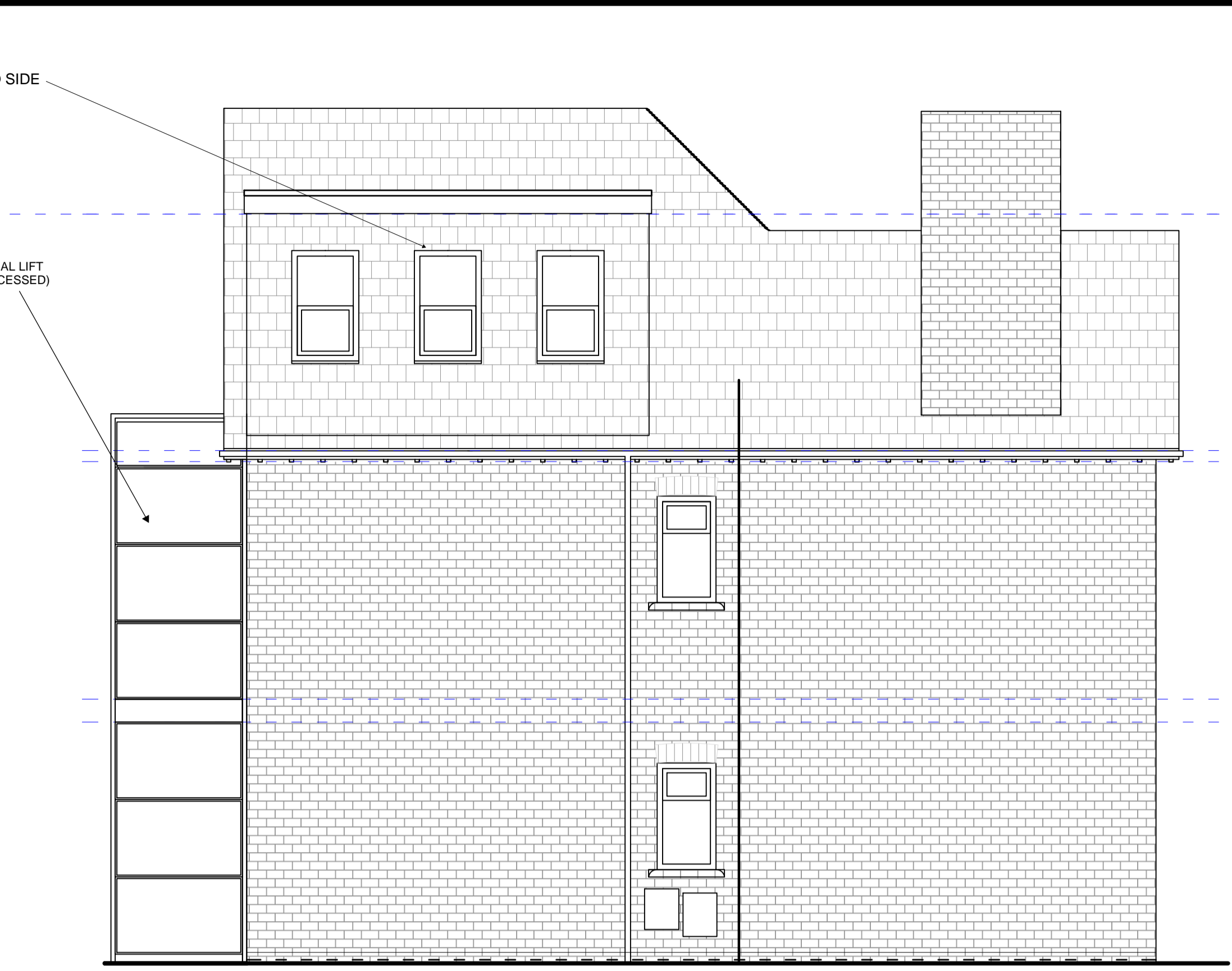
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OCTOBER 2022

AD-22CR-G-004A

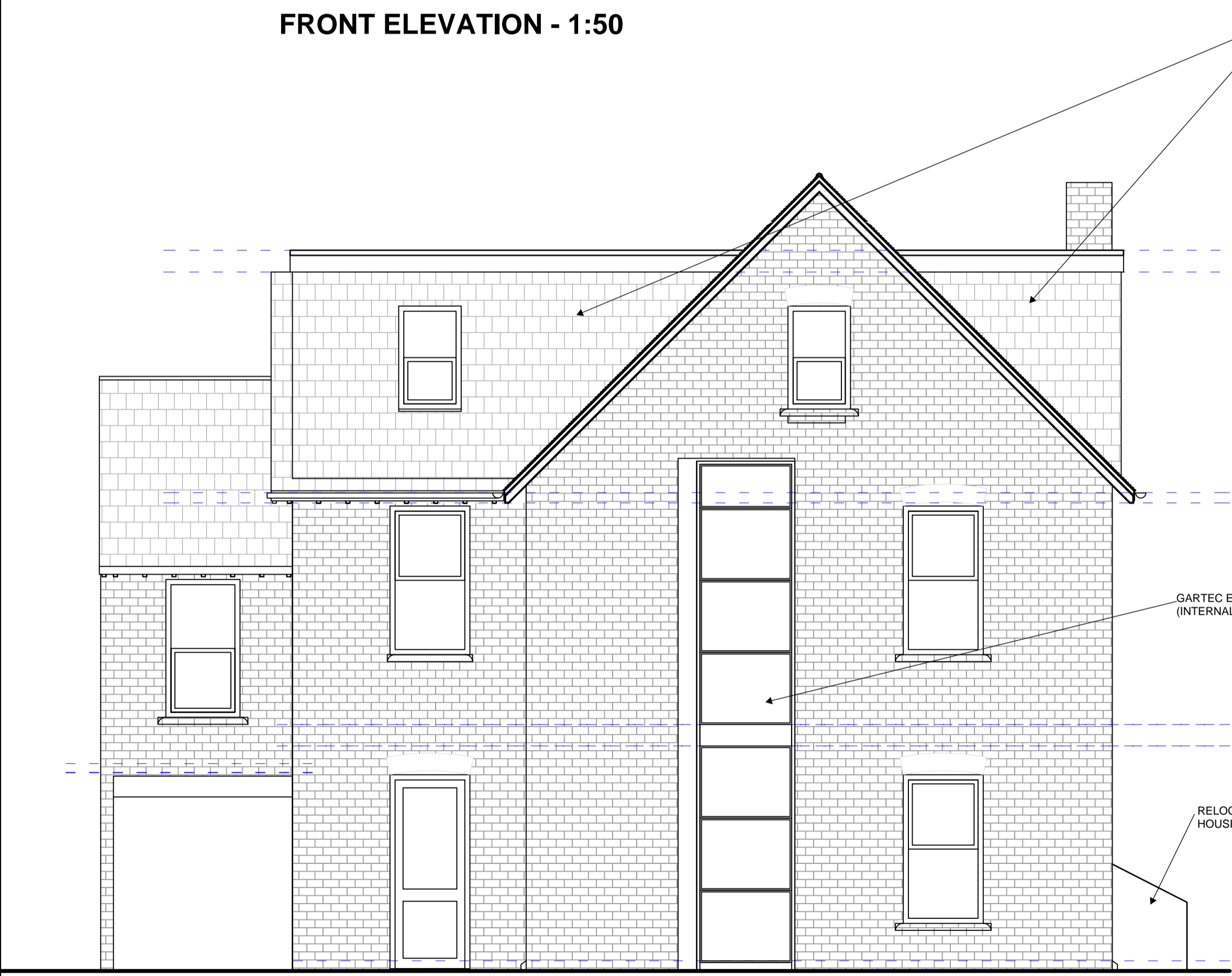
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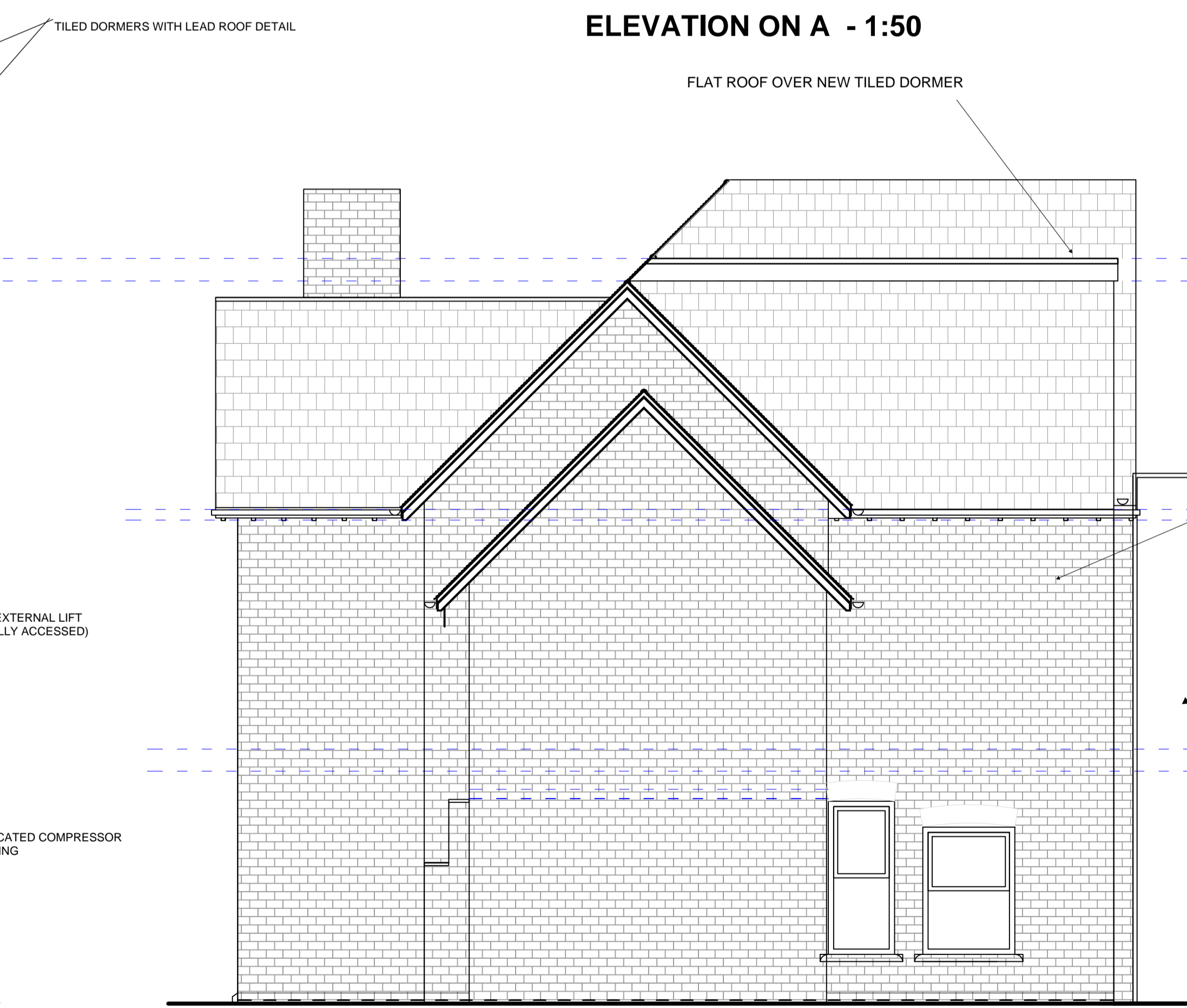
FRONT ELEVATION - 1:50



ELEVATION ON A - 1:50



REAR ELEVATION - 1:50



ELEVATION ON B - 1:50



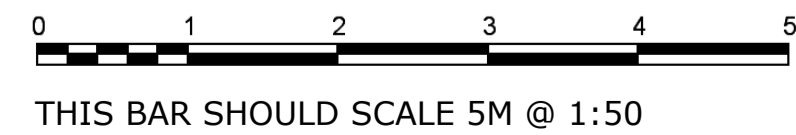
INDICATION OF PROPOSED LEAD ROOF DETAIL TO NEW DORMERS



INDICATION OF EXTERNAL LIFT DESIGN (INTERNALLY ACCESSIBLE)

EXISTING EXTENSION PARTIALLY DEMOLISHED AND RE-CONSTRUCTED TWO STOREY TRADITIONAL BUILD BRICK EXTENSION WITH TILED DORMER OVER WITH FLATROOF WITH LEADED DETAIL

GARTEC EXTERNAL LIFT (INTERNALLY ACCESSED)



REV A: REVISED WITH EXTERNAL LIFT DESIGN, NOVEMBER 2022

CLIENT/PROJECT:
 AFFINITY DENTAL CARE & IMPLANT CENTRE
 PROPOSED EXTENSION & ALTERATIONS TO PROPERTY
 22 CHELTENHAM ROAD, GLOUCESTER, GL2 0LS

TITLE:
 AS PROPOSED ELEVATIONS

SCALE:
 1:50 @ A1

DATE:
 OCTOBER 2022

AD-22CR-G-005A

FOR PLANNING ONLY