



Development Control
Gloucester City Council
PO Box 3252, Gloucester, GL1 9FW
01452 396396
development.control@gloucester.gov.uk
www.gloucester.gov.uk/planning

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)	Northing (y)
<input type="text" value="387302"/>	<input type="text" value="216866"/>

Description

Applicant Details

Name/Company

Title

Mr & Mrs

First name

Steve

Surname

Watkin

Company Name

Address

Address line 1

9, Appleton Way

Address line 2

Hucclecote

Address line 3

Town/City

Gloucester

Country

Postcode

GL3 3RP

Are you an agent acting on behalf of the applicant?

☒ Yes

☐ No

Contact Details

Primary number

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

Two-storey front / side extension. Single-storey rear extension.

Has the work already been started without consent?

☐ Yes

☒ No

Materials

Does the proposed development require any materials to be used externally?

☒ Yes

☐ No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Roof

Existing materials and finishes:

Concrete interlocking tiles. Glass to conservatory

Proposed materials and finishes:

Concrete interlocking tiles

Type:

Windows

Existing materials and finishes:

White PVCu

Proposed materials and finishes:

White PVCu

Type:

Walls

Existing materials and finishes:

Facing brick

Proposed materials and finishes:

Facing brick

Type:

Doors

Existing materials and finishes:

White PVCu. Blue front door

Proposed materials and finishes:

White PVCu. Blue front door

Type:

Other

Other (please specify):

Rainwater goods

Existing materials and finishes:

Black PVCu

Proposed materials and finishes:

Black PVCu

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes

☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Notes on drawing no. A188P/162 - 05B.

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

☐ Yes

☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes

☒ No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes

☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes

☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes

☒ No

Parking

Will the proposed works affect existing car parking arrangements?

☒ Yes

☐ No

If Yes, please describe:

New double garage to replace existing. Revised driveway to maintain off-road parking.

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes

☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

☐ The agent

☒ The applicant

☐ Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes

☒ No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff**
- (b) an elected member**
- (c) related to a member of staff**
- (d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- ☐ Yes
- ☒ No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- ☒ Yes
- ☐ No

Is any of the land to which the application relates part of an Agricultural Holding?

- ☐ Yes
- ☒ No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

*** "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.**

**** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.**

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

First Name

Surname

Declaration Date

03/02/2022

☒ Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

Signed

Paul Karlsson

Date

04/02/2022

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Main contractor responsible for site safety.

NOTE:
Proposed Loft Room within extension omitted.
Drawing no. A188P/162 - 04
("Second Floor Layout As Proposed") therefore
cancelled, effective 18/10/21.

F	07/12/21	Planning revisions
E	18/10/21	Planning revisions
D	11/10/21	Planning revisions
C	27/05/21	Block Plans revised
B	27/05/21	Client revisions
A	25/05/21	Driveway revised
Rev.	Date	Revisions

PSK
architect

Your Home Extension Specialists

PSK Cheltenham Ltd,
41 Bath Road,
Cheltenham,
GL53 7HD

TITLE

Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

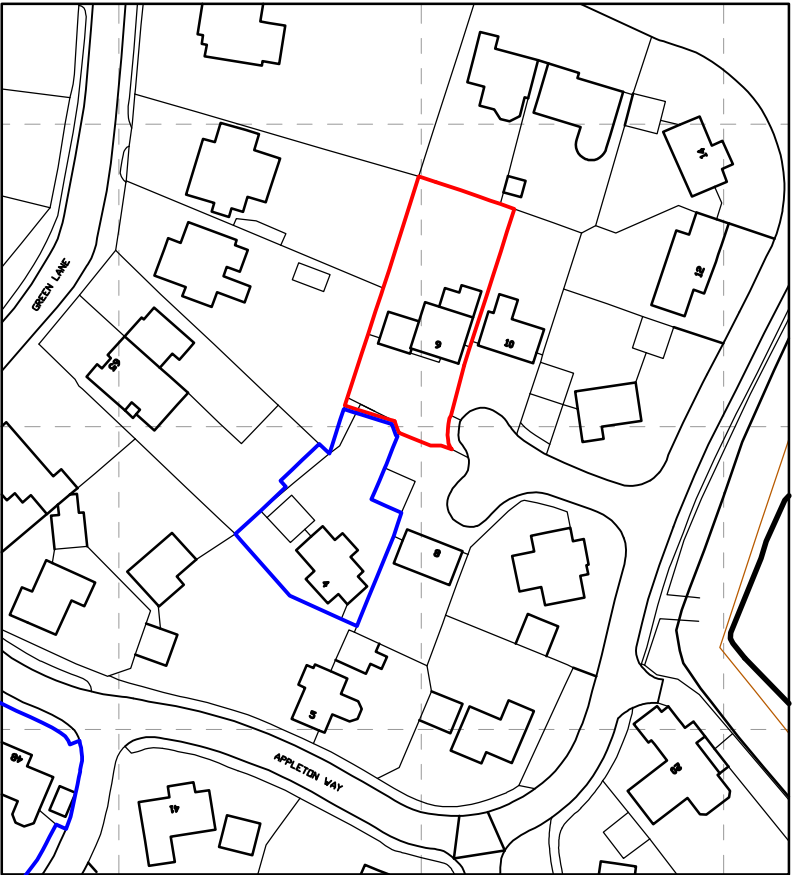
DESCRIPTION

Proposed Side & Rear
Extensions & Alterations

Site Location Plan
Existing & Proposed Block Plans

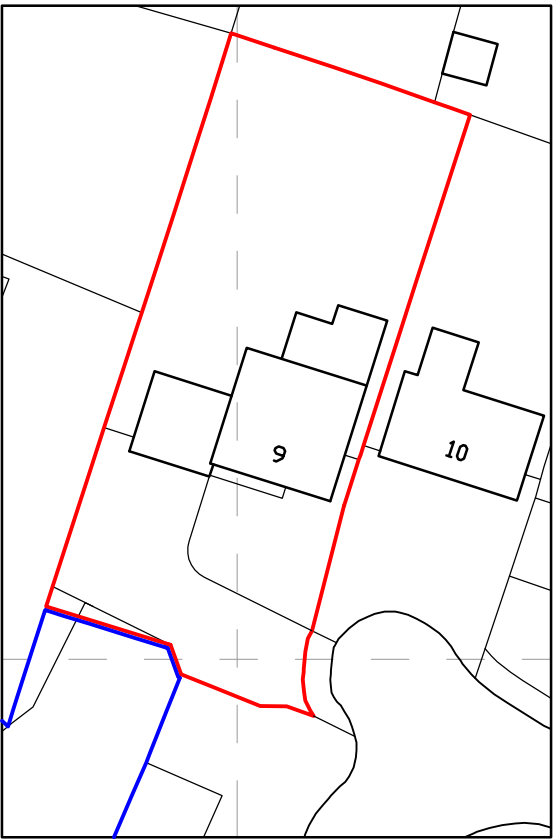
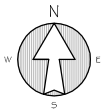
DATE May 2021	SCALE As noted @ A3
DRAWN MCH	CHECKED ---

A188P/162 - 06 Rev. F

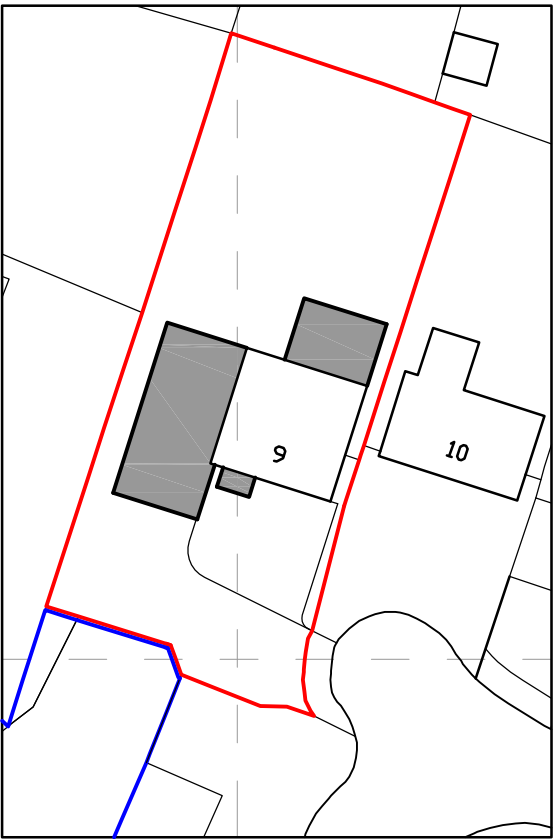
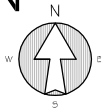


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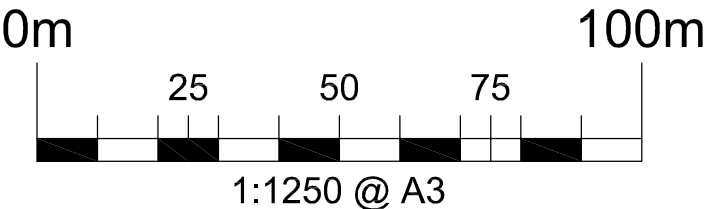
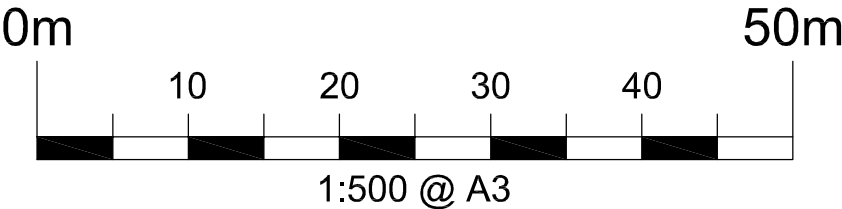
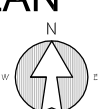
SITE LOCATION PLAN
Scale 1:1250 @ A3



EXISTING BLOCK PLAN
Scale 1:500 @ A3



PROPOSED BLOCK PLAN
Scale 1:500 @ A3



RIBA

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Development Control
Gloucester City Council
PO Box 3252
Gloucester
GL1 9FW

03/02/2021

RE: Householder planning application (Planning Portal Ref. PP-11012005) - Two-storey front and side extension. Single-storey rear extension - 9 Appleton Way Gloucester GL3 3RP – Revised plans, elevations and supporting information

Dear Sir/Madam,

The following application is a resubmission of householder planning application LPA Ref. 21/00689/FUL following advice received by Mr. David Millinship, the case officer reallocated to the application. This advice is set out in Appendix A.

The plans and documents submitted with the application show a revised proposal to that submitted under the original application LPA Ref. 21/00689/FUL.

Original vs revised proposals

Without altering the development description or future intended use, the proposed two-storey side extension has been reduced in overall size and scale. The loft room has been removed, reducing the overall number of proposed bedrooms from seven to six. The garages in the original proposal have been removed.

The overall depth of the two-storey side extension has been reduced from 19.0m to 13.19m, so that the extension projects 4.3m forward of the existing garage elevation. The proposal has reduced the overall GIA of the proposed extension to 125.00sqm over two storeys to accommodate the existing occupants and two sets of elderly parents to enable them to live semi-independently – See section below.

The overall heights of the two-storey side extension would remain as originally submitted; 7.13m to ridgeline and 5.19m to eaves and therefore subservient to the original dwelling.

A minimum distance of 1.6m to the boundary line would be retained, increasing to 2.0m at the widest point.

Whilst the footprint of the two-storey side extension would lead to the loss of some driveway, sufficient area remains within the site boundary is sufficient to accommodate three-parking spaces.

Premise of submission

The parents of both Mr. and Mrs. Watkin currently reside in two-storey dwellings in the immediate local area. The applicant has provided information on their deteriorating ability to live independently due to old age and various health conditions. For this purpose, internal layouts have been designed to foster accessible living. For this purpose, internal layouts have been designed to foster accessible living. Two members of the Watkin family are employed in the healthcare sector- See Appendix B.

The accommodation provided would be for the existing occupants, the parents of Mr. and Mrs. Watkin and visitors. Although not required at present, the proposed occupants may require part-time carers in the future and, as such, overnight accommodation could be provided.

Planning considerations

Section 70(2) of the Town and Country Planning Act 1990 and Section 38(6) of the Planning and Compulsory Act Purchase 2004 require that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise.

The documents that comprise the development plan are the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2011 - 2031 (Adopted 11 December 2017) (JCS) and the City of Gloucester Local Plan (Adopted 14 September 1983). The Pre-Submission version of the Gloucester City Plan (City Plan) was approved for publication and submission on 26 September 2019. On the basis of the stage of

preparation that the plan has reached, and the consistency of its policies with the NPPF, the emerging policies of the plan can be afforded limited to moderate weight in accordance with paragraph 48 of the NPPF

The development plan is supported by planning documents, e.g. Home Extension Guide, Interim Adoption Supplementary Planning Document (August 2008).

Policies in the local development plan, e.g. **Policy SD4** of the JCS, safeguard against poorly design and architecture that does not integrate with the surrounding environment. Specific relevance has been given to the Principals of Architectural Design (Table 4c) within the policy.

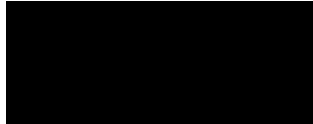
The footprint of the proposed development would be created on existing hard-standing. Though sizable, the majority of the massing of the extension would be obscured from public vantage points. Through retention of the existing rear and front garden areas the development would not affect the overall plot of the application site, which is proportionate to those in its vicinity. The proposal is effectively availing of its specific position at the end of a cul-de-sac within a suburban setting to provide development, which may not be appropriate in other surrounding locations.

The proposed development sets out a specific residential requirement. Development plan policies concerning future residential support a mix in type and tenure of residential accommodation, in addition to the provision of specialist accommodation where there is a demonstrable need (**JCS Policies SD10 and SD11**). Evidence has been submitted reflecting the overall situations regarding the Watkins' extended family. The proposal would provide for inter-generational living and accessible homes, as set out in **Policy A6** of the emerging Gloucester Plan. In addition to creating living accommodation desired by the applicant, the proposal reduces demand on local residential/care home facilities and increasing capacity for elderly people requiring such accommodation.

Concerns have been raised in neighbour consultation regarding the proposed future use of the property. The purpose of the proposal under this application has been made clear. The future occupants would be related and the existing use class, C3a, would remain. A change to any other part of C3 use class could be controlled by through the use of suitable planning conditions.

In summary, the revised proposal seeks a sizeable side and rear extension for a specific purpose. Provision exists within the local development plan in support of such accommodation. It is requested that the proposal is looked upon favourably and planning permission granted.

Yours sincerely,



Paul O'Sullivan *Licentiate Member of the RTPI*

Planning Consultant

PSK Cheltenham Ltd t/a PSK Architect



Appendix A

RE: 9 Appleton Way, Gloucester, GL3 3RP - 21/00689/FUL

- Extract Attachments

From • [David Millinship](#)

To • [Paul O'Sullivan](#)

Date 2022-02-02 11:54:22

Hi Paul,

We've just had an update on our IT situation. It's bad news, it's expected to take 5-6 months to get full system access and backups restored. As we now have a better idea of the timescales Planning Managers have made the decision that older applications that are undetermined have to now be placed on hold as we cannot confirm what representations have been received.

The only realistic option to enable a formal decision to be able to be made, is to withdraw the existing application and to resubmit it. It is no longer considered that a re-consultation on the current scheme is sufficient, particularly where we are aware that objections were made by a number of third-parties.

This will allow us to carry out a new, full round of public consultations and any previous representations (on the old application) will no longer be relevant. We have alternate procedures in place that are enabling us to progress new applications but without system access to old applications Managers have now decided we are unable to progress them.

This is going to cause delays as a high number of applications are likely to be resubmitted in the very near future. I would suggest the application for Appleton Way is withdrawn and resubmitted ASAP so that it can be registered and consultations sent before our backlog becomes much larger. It's the only way I can see the formal decision being able to be made without waiting the 5-6 months (or longer) for our system access to be restored.

I appreciate this is likely to be very frustrating news but, I hope you can accept that it is outside of my control.

Providing the application is resubmitted within 12 months of the original submission date there will be no fee for the new application.

I trust this information is of assistance to you and I look forward to your response.

Kind regards,

Dave

Senior Planning Officer
Gloucester City Council

Appendix B



Gloucestershire Hospitals
NHS Foundation Trust



Sharon Watkin

Mammographer
Thirlestaine
Breast Centre

GRH / CGH

Date of Issue: 23/06/2016

If found please return to Human Resources, GHNHSF TRUST, GL1 3NN



Retain
HEALTHCARE

Annabel Watkin

Carer

Retain Healthcare

www.retainhealthcare.co.uk



Gloucestershire Hospitals
NHS Foundation Trust

Annabel Watkin

Volunteer

Voluntary Services

Issued: 04/10/2019

If found please return to:

HRL, Gloucestershire Royal Hospital, GL1 3NN



The Society of Radiographers

14 Upper Wimpole Street London W1

This is to certify that

SHARON LOUISE DOREEN WRIGHT

has this 8TH *day of* SEPTEMBER *19* ⁸⁹

been admitted a member of

The Society of Radiographers

President

Secretary

Back

This Badge entitles the holder to the special local parking facilities available in the Member State concerned.

This Badge should be displayed at the front of the vehicle. It needs to be clearly visible so that it can be checked.

This Badge remains the property of the issuing local authority. If found or not needed anymore, it should be returned to your local authority.

This badge can only be used by the named badge holder, or by a person who has dropped off or is collecting the Badge holder from the place where the vehicle is parked. It is a criminal offence for anyone else to use this Badge in any other circumstances.

Expiry Date:

23/03/2022

Badge No:

Name:

Mr Vernon Watkin



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Front – Display This Way Up

Issued by:

Gloucestershire County Council

Valid From: 24/03/2019

Expiry
Date:

23/03/2022

**Parking Card
for Disabled People**

Carte de stationnement

Parkausweis

Contrassegno di parcheggio

Tarjeta de estacionamiento

Parkeerkaart

Κάρτα στάθμευσης

Karta parkingowa

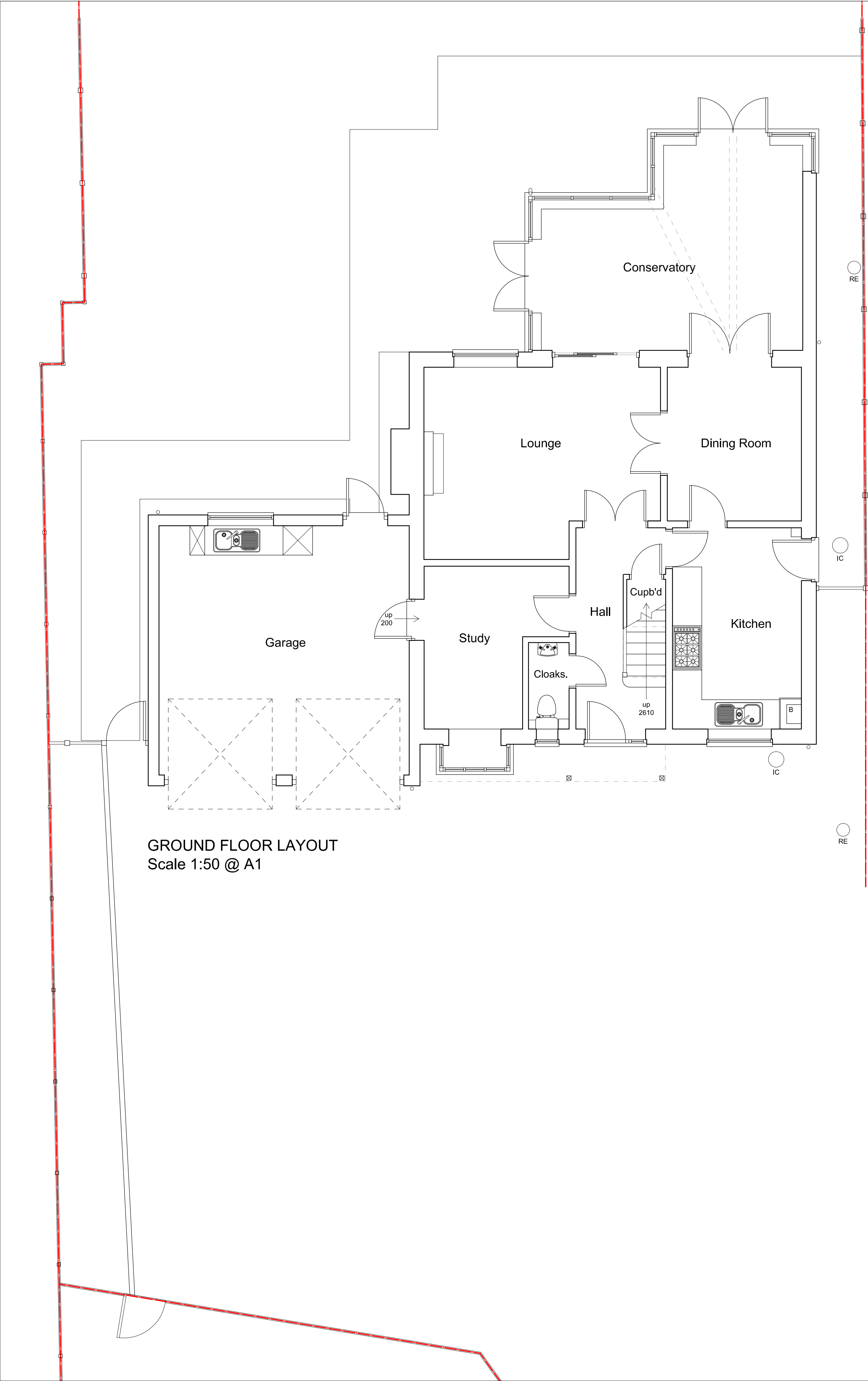
Cartão de estacionamento

Card de parcare

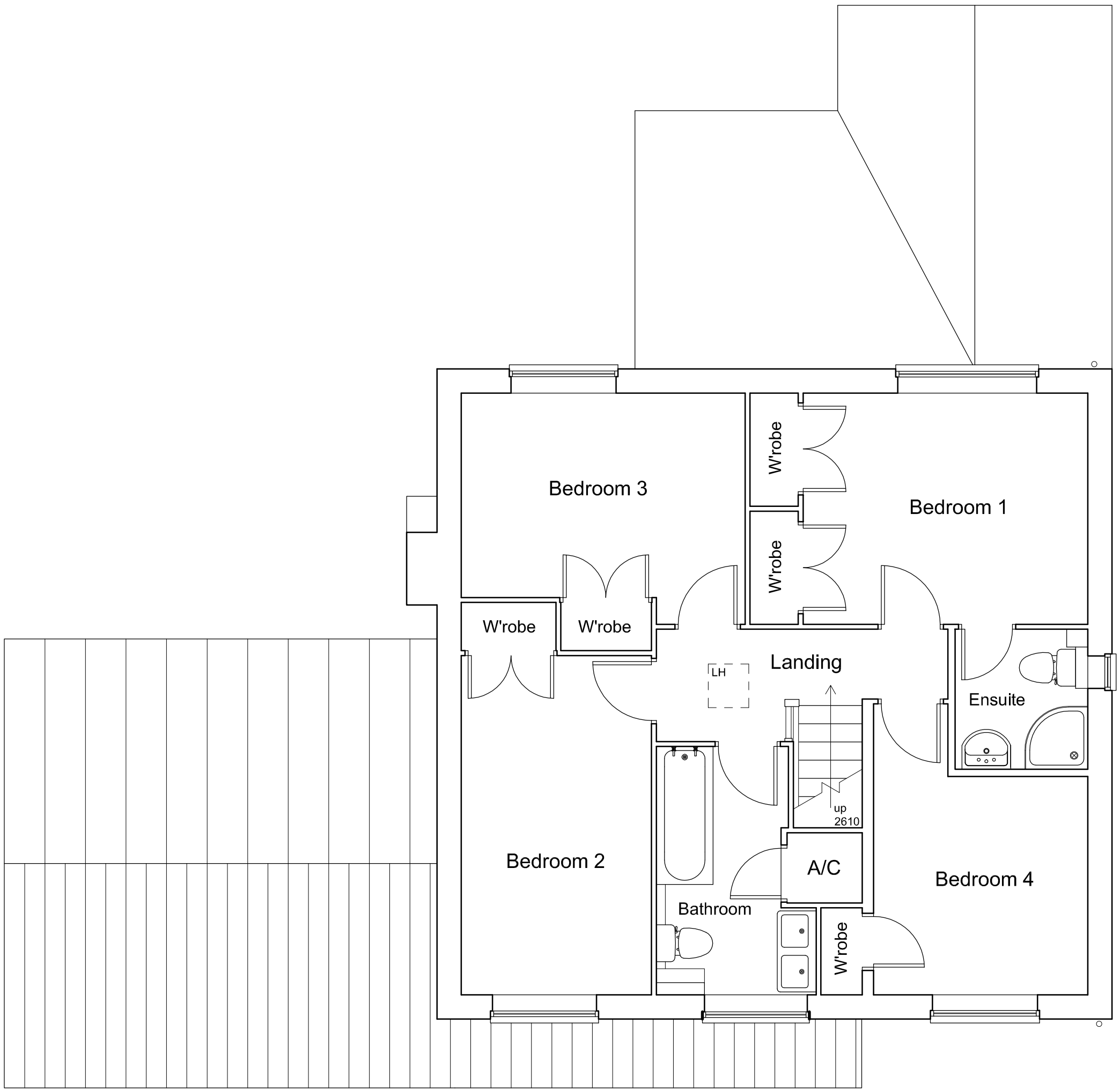


EUROPEAN COMMUNITIES MODEL

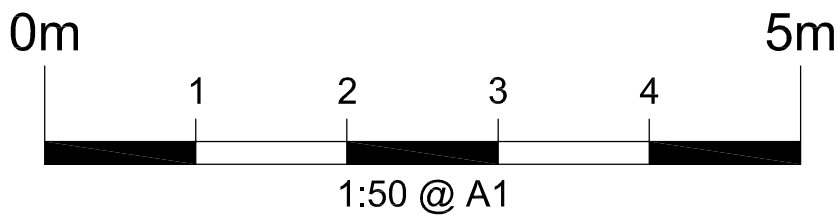
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Main contractor responsible for site safety.



GROUND FLOOR LAYOUT
Scale 1:50 @ A1



FIRST FLOOR LAYOUT
Scale 1:50 @ A1



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Rev.	Date	Revisions
A	27/05/21	Minor revisions

PSK
architect
Your Home Extension Specialists
PSK Cheltenham Ltd,
Unit B4, Staverton Connection,
Gloucester Road, Cheltenham,
GL51 6SE

TITLE
[Redacted]
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION

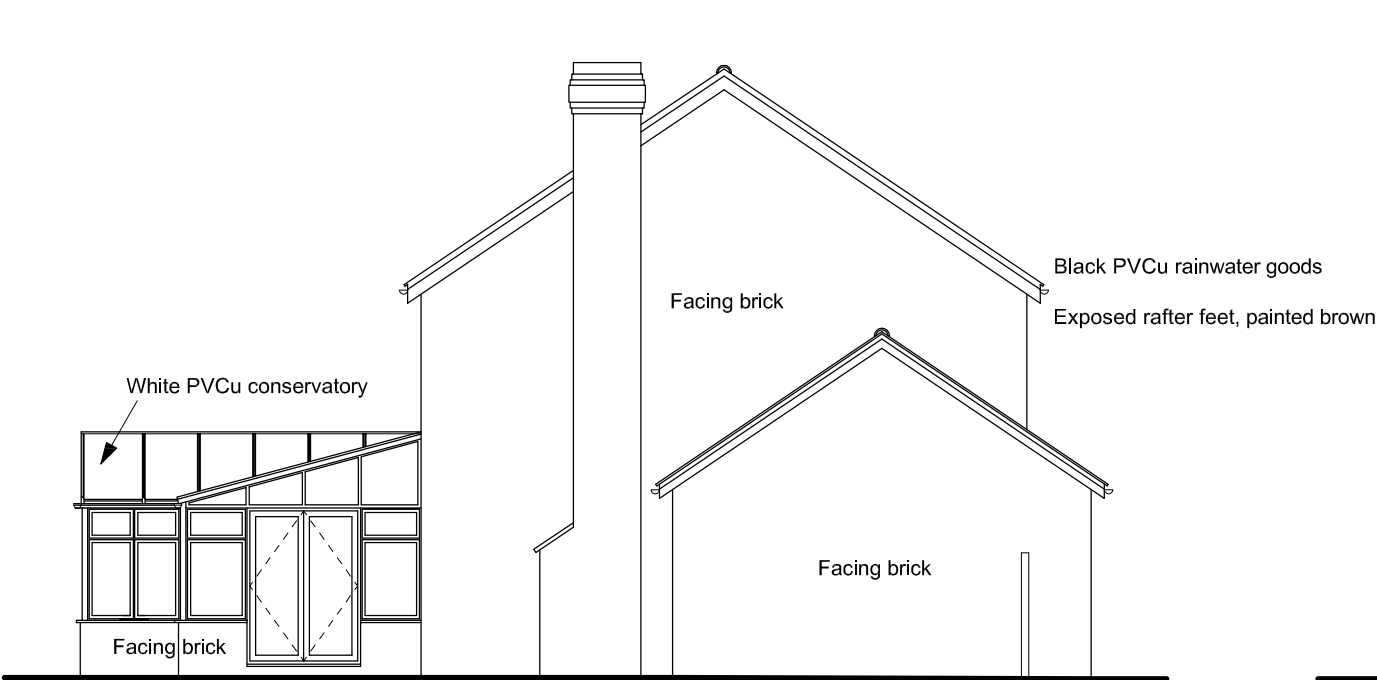
Proposed Side & Rear
Extensions & Alterations

Layouts As Existing

DATE Mar. 2021	SCALE As noted @ A1
DRAWN MCH	CHECKED ---

A188P/162 - 01 Rev. A

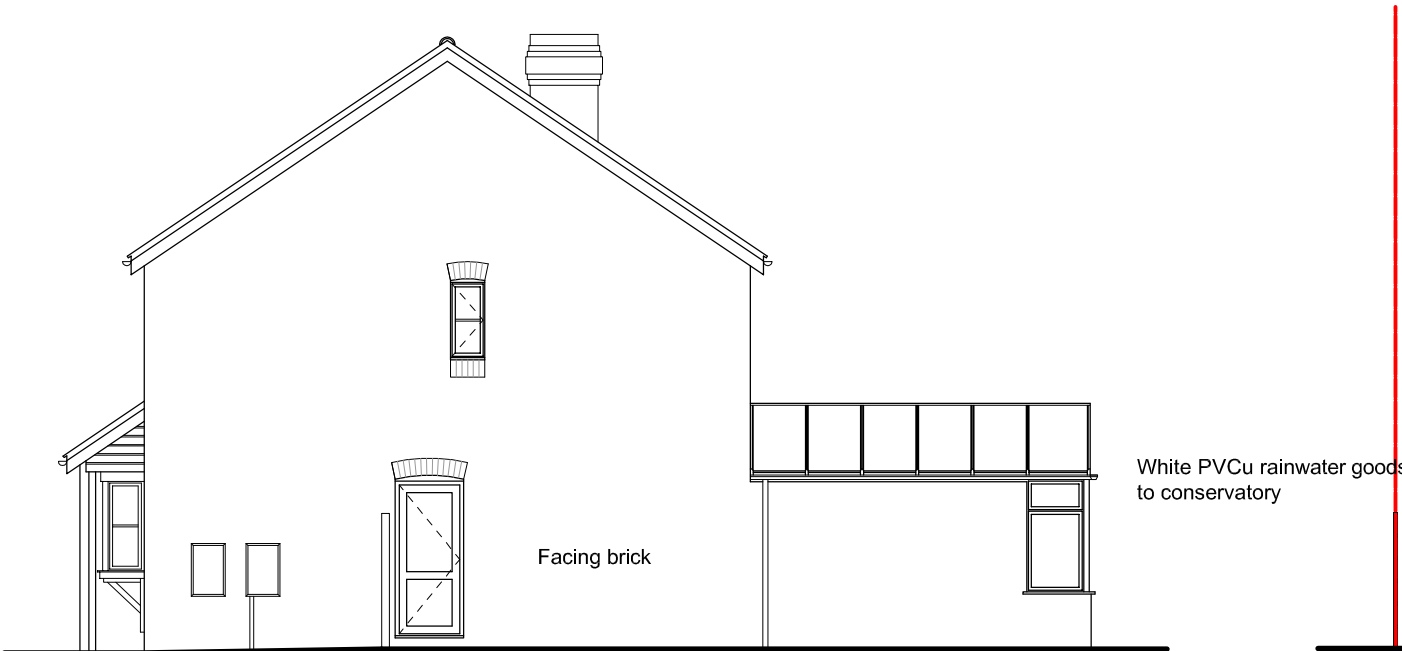
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SIDE (WEST) ELEVATION
Scale 1:100 @ A2



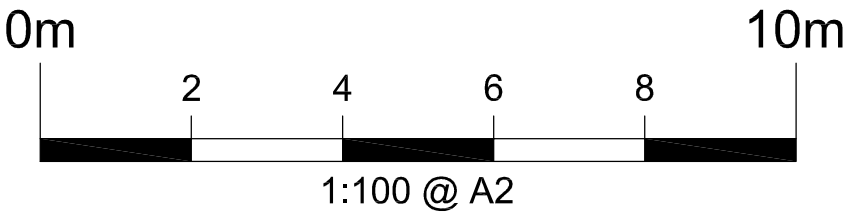
FRONT (SOUTH) ELEVATION
Scale 1:100 @ A2



SIDE (EAST) ELEVATION
Scale 1:100 @ A2



REAR (NORTH) ELEVATION
Scale 1:100 @ A2



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Rev.	Date	Revisions
A	25/05/21	Minor revisions

PSK
architect
Your Home Extension Specialists

PSK Cheltenham Ltd,
Unit B4, Staverton Connection,
Gloucester Road, Cheltenham,
GL51 0TF.

TITLE

9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

DESCRIPTION

Proposed Side & Rear
Extensions & Alterations

Elevations As Existing

DATE Mar. 2021	SCALE 1:100 @ A2
DRAWN MCH	CHECKED ---

A188P/162 - 02 Rev. A

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NOTE:
Proposed Loft Room within extension omitted.
Drawing no. A188P/162 - 04
("Second Floor Layout As Proposed") therefore
cancelled, effective 18/10/21.

F	07/12/21	Planning revisions
E	18/10/21	Planning revisions
D	11/10/21	Planning revisions
C	27/05/21	Minor revisions
B	25/05/21	Client revisions
A	12/05/21	Client revisions
Rev.	Date	Revisions

PSK
architect
Your Home Extension Specialists
PSK Cheltenham Ltd,
41 Bath Road,
Cheltenham,
GL53 7JQ

TITLE

Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

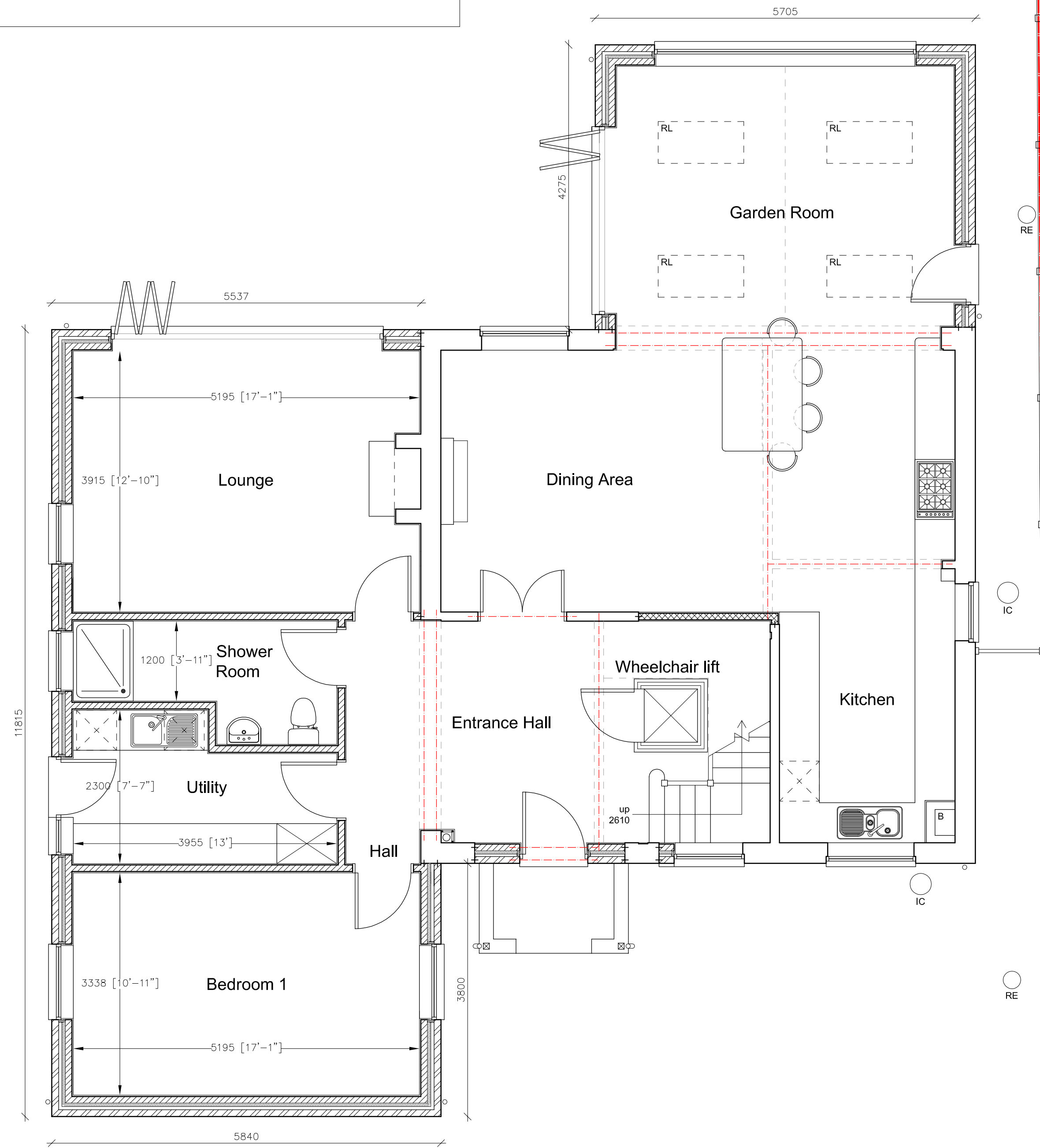
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Proposed Side & Rear
Extensions & Alterations

Ground & First Floor
Layouts As Proposed

DATE	Apr. 2021	SCALE	1:50 @ A1
DRAWN	MCH	CHECKED	---

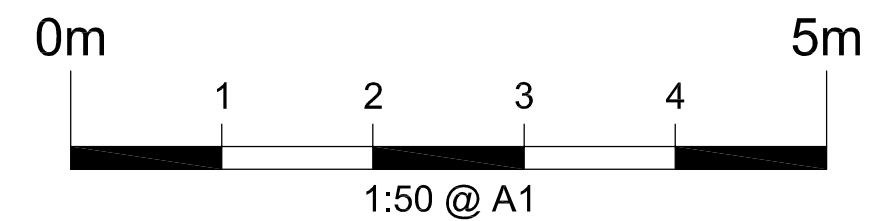
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GROUND FLOOR LAYOUT
Scale 1:50 @ A1



FIRST FLOOR LAYOUT
Scale 1:50 @ A1



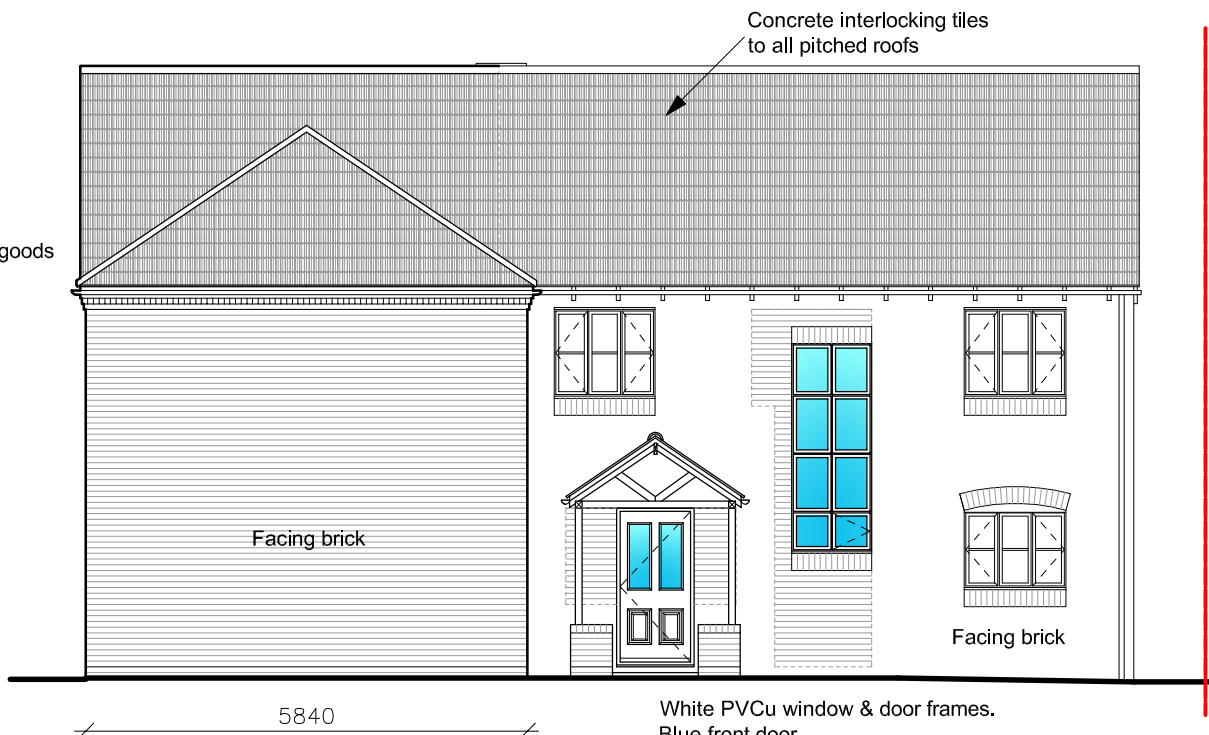
RIBA

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SIDE (WEST) ELEVATION
Scale 1:100 @ A2



FRONT (SOUTH) ELEVATION
Scale 1:100 @ A2

NOTE:
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Rev.	Date	Revisions

PSK
architect
Your Home Extension Specialists

PSK Cheltenham Ltd,
41 Bath Road,
Cheltenham,
GL53 7HQ

TITLE

Mr. & Mrs. S. Watkin,
9 Appleton Way,
Hucclecote,
Gloucester,
GL3 3RP.

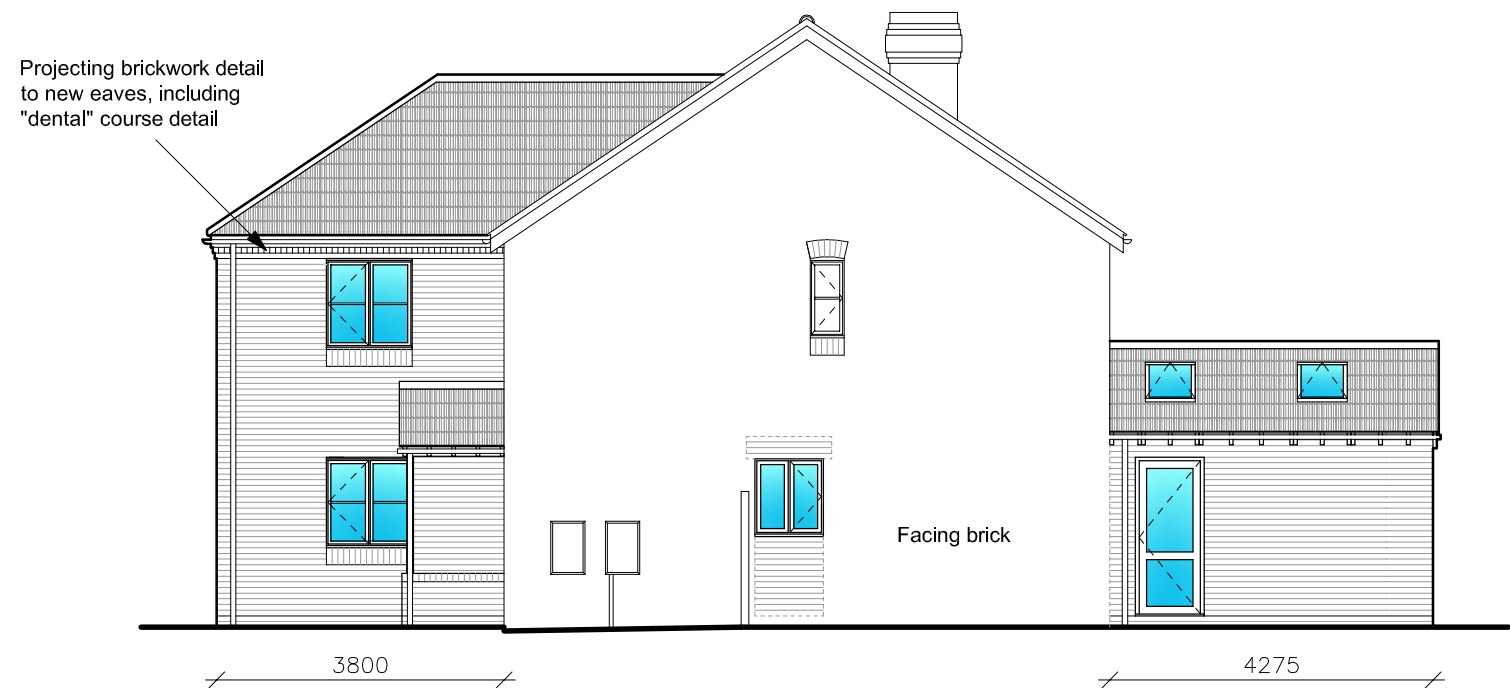
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Proposed Side & Rear
Extensions & Alterations

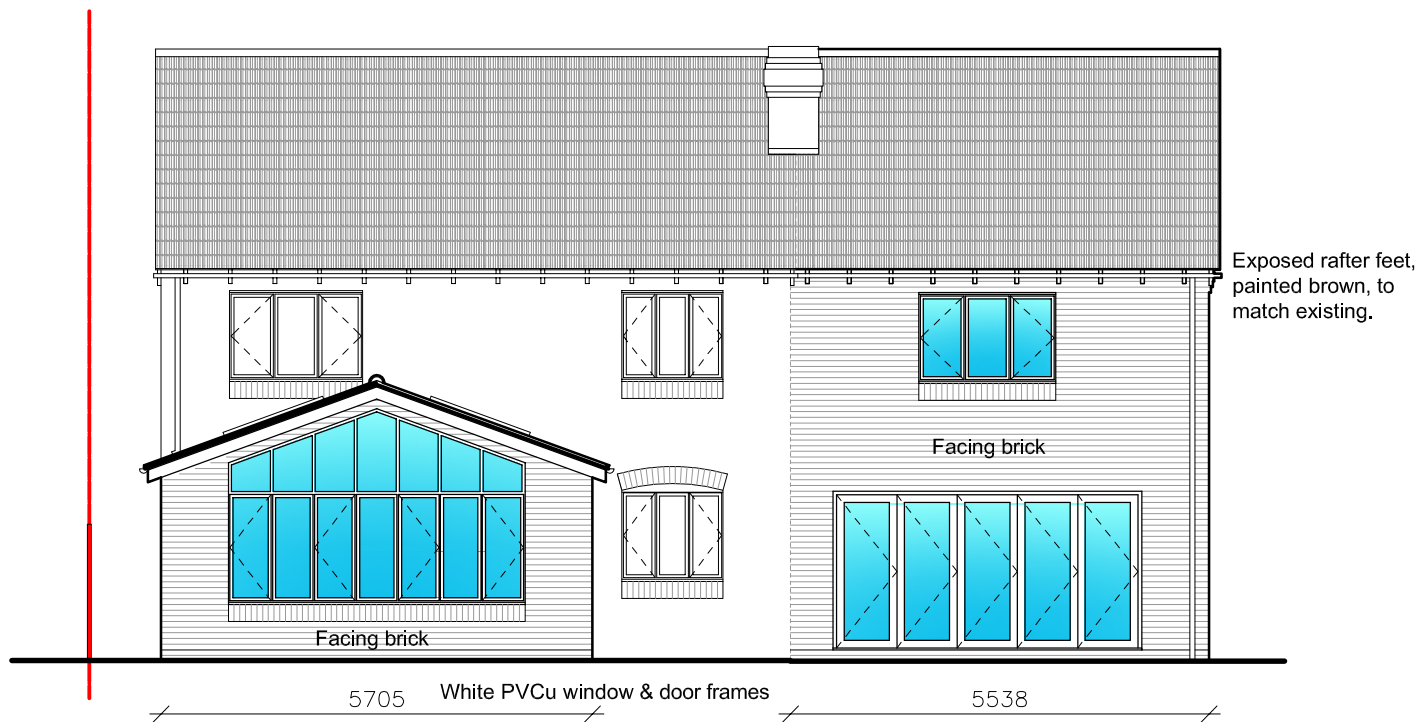
Elevations As Proposed

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DRAWN MCH	CHECKED ---

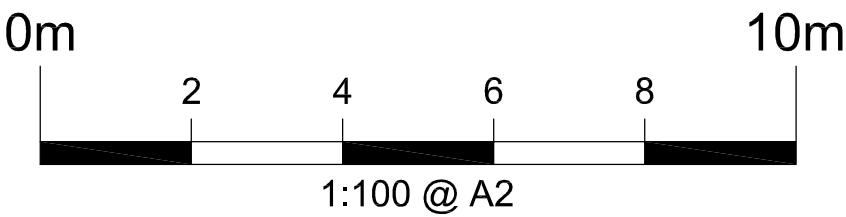
A188P/162 - 05 Rev. F



SIDE (EAST) ELEVATION
Scale 1:100 @ A2



REAR (NORTH) ELEVATION
Scale 1:100 @ A2



RIBA

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