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Please complete this form in block capitals using black ink to facilitate scanning.

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Application to determine if prior approval is required for a proposed: Larger Home Extension

Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 1, Class A

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Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

Local Planning Authority details:



Development Control Gloucester City Council PO Box 3252, Gloucester, GL1 9FW 01452 396396 development.control@gloucester.gov.uk www.gloucester.gov.uk/planning

Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website. Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information. If you require any further clarification, please contact the Local Planning Authority directly.

1. Applicant Name and Address					2. Agent Name and Address			
Title:	Mrs	First name: Fatin	na		Title:	Mr	First name: Lloy	d
Last name:	Jaffer				Last name:	Gordon		
Company (optional):					Company (optional):	House Of Designs By Lloyd		
Unit:	1	Number: 18	Suffix:		Unit:	1	Number: 72	Suffix:
Building name:					Building name:			
Address 1:	Howard Street				Address 1:	Avening Road		
Address 2:					Address 2:			
Address 3:					Address 3:			
Town:	Gloucester				Town:	Gloucester		
County:	Gloucestershire				County:	Gloucestershire		
Country:	UK				Country:	UK		
Postcode:	GL1 4U	R			Postcode:	GL4 6	UJ	

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Building name: Address 1: 18 Howard street Address 2: Gloucester Address 3: Gloucestershire Address 4: Postcode: GL1 4UR 4. Eligibility Important - Please note that: This application is specifically for a larger' single storey rear extension to a house, and the questions below are particular to determining the eligibility of proposals for this extension type. Other kinds of home extensions do not use this prior approval process and should not be applied for using this type of application. There are additional permitted development conditions that apply to all home extensions which are not covered in the questions below they can be reviewed in the common projects section on the Planning Portal at https://www.planningportal.co.uk/extension (if your proposals do not meet these conditions, it is advisable not to continue with this application. Will the extension be: - A single storey, and - No more than 4 metres in height (measured externally from the natural ground level); \(\overline{\text{V}} \text{ Yes} \text{ No} \) If you have answered no above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action. Will the extension: - Where the house is detached, extend beyond the rear wall of the original dwellinghouse by over 4 but no more than 8 metres; or - Where the house is not detached, extend beyond the rear wall of the original dwellinghouse by over 3 but no more than 6 metres; Note that this should be measured externally. Where the proposed extension will be joined to an existing extension, the measurement must be in respect to the total enlargement (i.e. both the existing and proposed extensions) to the original dwellinghouse by over 4 but no more than 6 metres; Note that this should be measured externally. Where the proposed extension would not extend, as detailed above, by over 3 metres for over 4 metres for a detached house) - The size						
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	Yes	X No				
	with					

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Please describe the proposed single-storey rear extension:		
Demolish existing rear Conservatory and construct single storey rear extension		
		_
	4.5	1
How far will the extension extend beyond the rear wall of the original dwellinghouse:		metres
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Note that this should be measured externally. Where the proposed extension will be joined to an existing extension, the measurement must be in respect	to the total enlargem	
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Please provid	ng premises e the full addresses of all adjoining premises to the house you are proposing to extend: clude any premises to the side/front/rear, even if they are not physically 'attached'.
	16 Howard street, Gloucester, GL1 4UR
Address 1:	
	20, Howard Street, Gloucester,
Address 2:	20, Howard Circuit, Glodocator,
	22, howard street, Gloucester, GL1 4US
Address 3:	
	2, Furlong Road, Gloucester, GL1 4UR
Address 4:	
Address 5:	
Address 6:	
Address 7:	
Address 8:	

Please provide details of any additional adjoining premises on a separate sheet if necessary.

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7. Checklist Please read the following checklist to make sure you provide all the required information in support of your proposal. The information provided should include all the details necessary for the Local Planning Authority to determine if the proposal complies with permitted development legislation, and if its prior approval will be required. If sufficient information is not provided the Local Authority can either request it, or refuse the application. All sections of this application completed in full, dated A plan indicating the site and showing the proposed development. and signed. A plan drawn to an identified scale will assist the authority in assessing The correct fee your development proposal. Plans can be bought from one of the Planning Portal's accredited suppliers: https://www.planningportal.co.uk/buyaplanningmap 8. Declaration I/we hereby apply for a determination as to whether prior approval will be required as described in this form and the accompanying plans/ drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. Signed - Applicant: Or signed - Agent: Date (DD/MM/YYYY): (date cannot be 15/03/2022 pre-application) 9. Applicant Contact Details 10. Agent Contact Details Telephone numbers Telephone numbers Country code: Country code: National number: Extension: National number: Extension: Country code: Mobile number (optional): Country code: Mobile number (optional):

Country code:

Email address:

Country code:

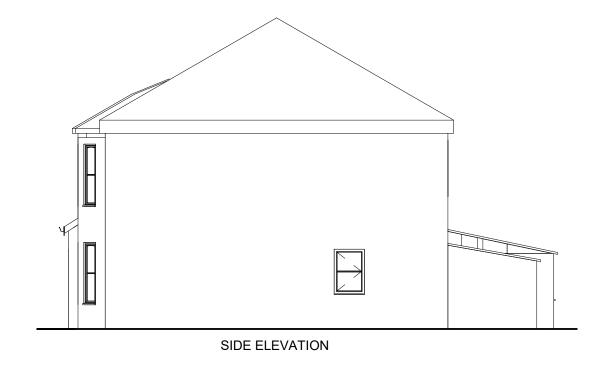
Email address:

Fax number (optional):

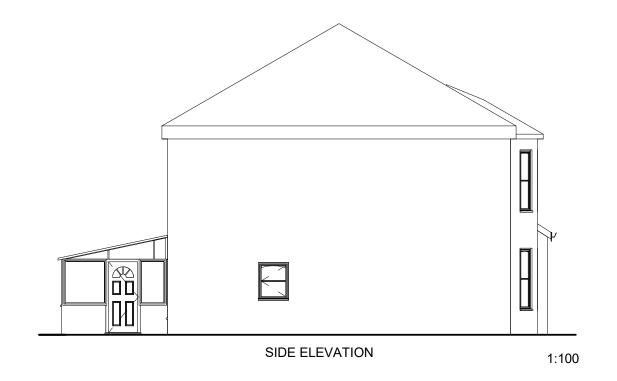
Page 5 of 5 Version ECAB 2021

Fax number (optional):





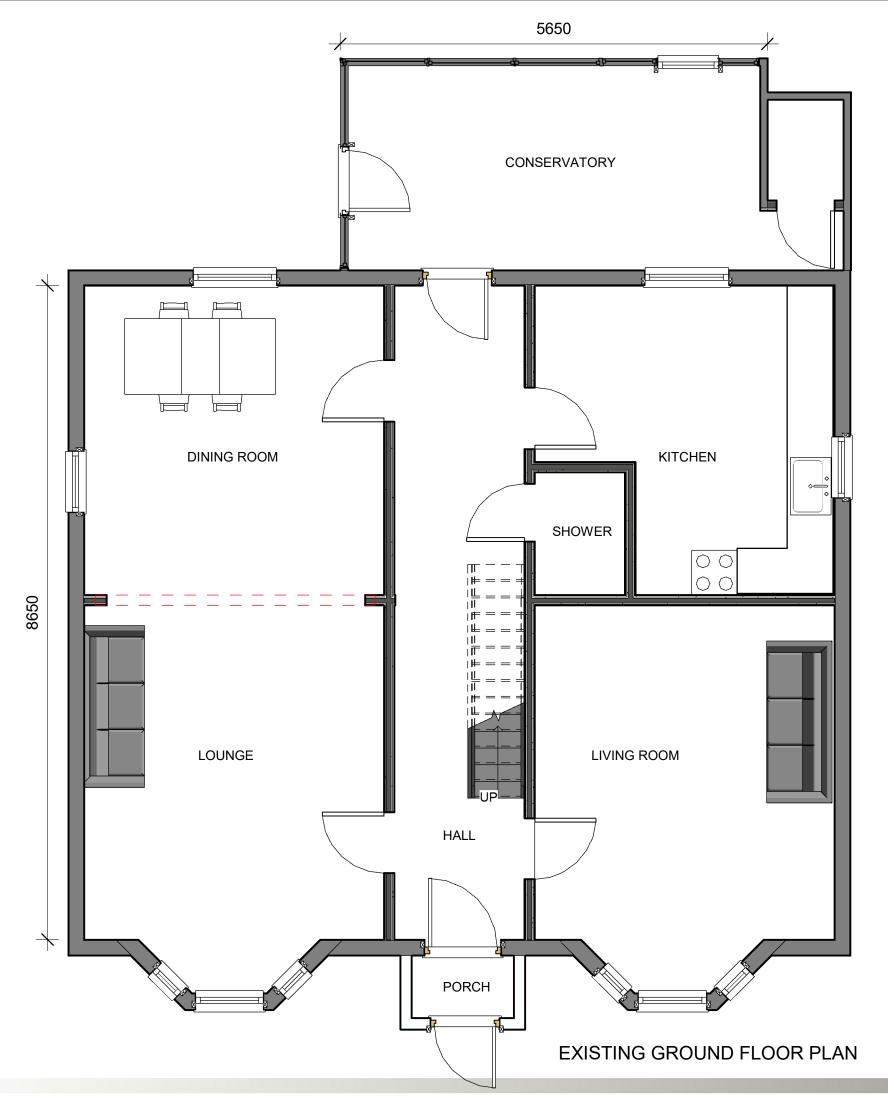








Project: 18 Howard Street Client: Mrs Fatima Jaffer Drawing: Existing Elevation Drawn By Lloyd Gordon Date: 05/03/2022 Scale: 1:100@A3 Revision: 0

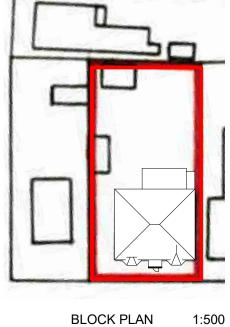






Project: 18 Howard Street
Client: Mrs Fatima Jaffer
Drawing: Existing Ground Floor Plan
Drawn By Lloyd Gordon
Date: 05/03/2022
Scale: 1:50@A3
Revision: 0







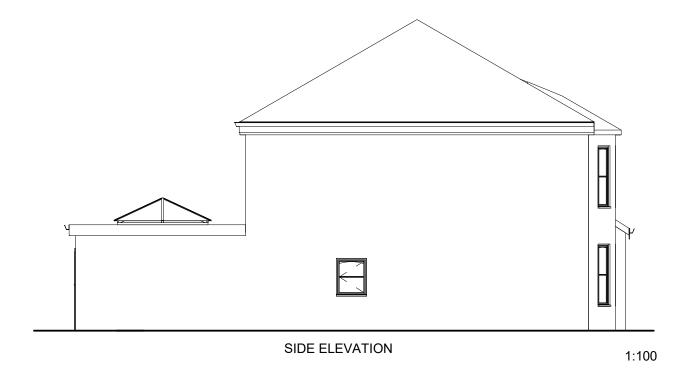


Project: 18 Howard Street Client: Mrs Fatima Jaffer Drawing: Existing Site/Block Plan Drawn By Lloyd Gordon Date: 05/03/2022 Scale: 1:1250, 1:500@A3 Revision: 0





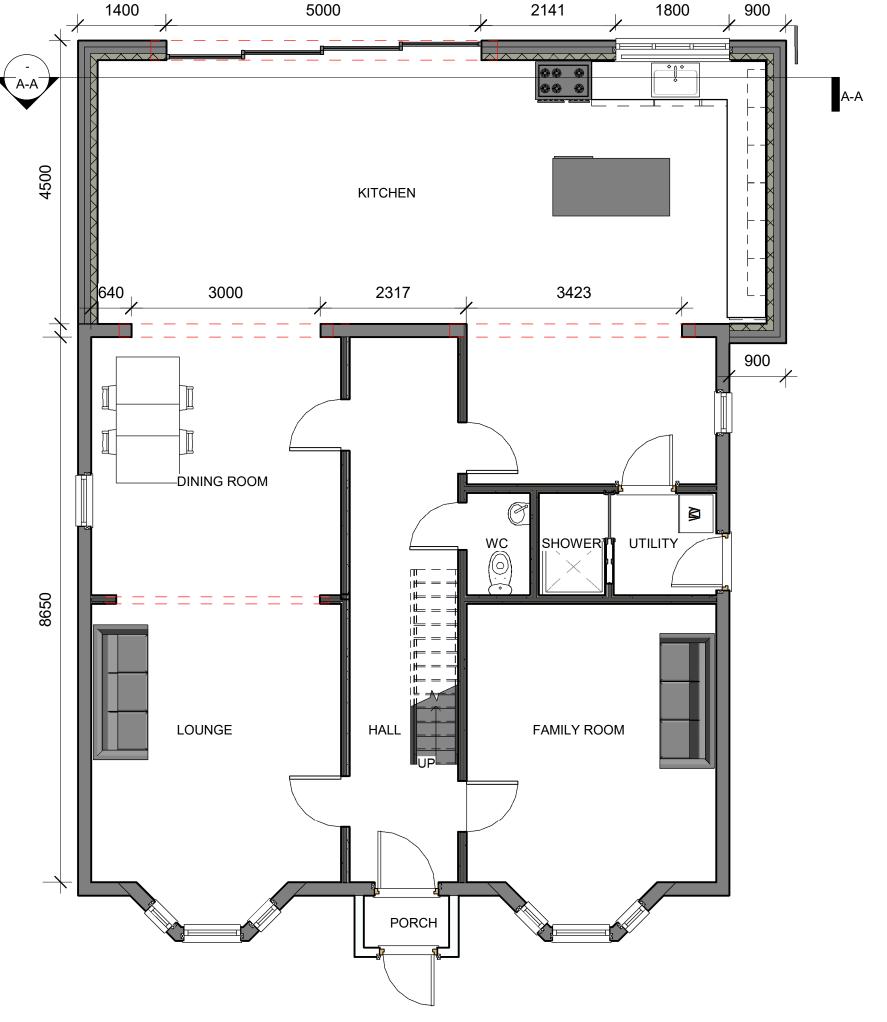








Project: 18 Howard Street Client: Mrs Fatima Jaffer Drawing: Proposed Elevation Drawn By Lloyd Gordon Date: 05/03/2022 Scale: 1:100@A3 Revision: 0



PROPOSED GROUND FLOOR PLAN

Notes:

Proposed Not to protrude the boundary

All Dimensions are to be checked on site

All proposed materials to match existing materials

Structural Engineers Calculations and Design Required For Steel Beams

Specification:

300mm wide cavity wall with 100mm cavity wall rock wool insulation Batts to BS 6676

Wall starter Ties fixed to existing external wall to BS EN10088-2

cavity wall ties positioned max 450mm vertical, 900mm horizontal to BS EN 845-1

Damp proof course laid level with existing floor level to BS EN 14909

Damp proof tray laid to BS 8215

Cavity wall closures positioned at windows and doors to BS EN ISO 9001

Ground floor spec-

- (1) 100mm Hardcore
- (2) 100mm compacted tight one stone
- (3) 20mm sand binding
- (4) Damp proof membrane BS EN 13967: 2012. (5) 100mm rigid insulation BS 5241-1:1994
- (6) separation layer
- (7) 100mm concrete floor
- (8) floor finish to be confirmed by client

Fascia/Soffit: 19mm Upvc with 25mm continuous ventilation

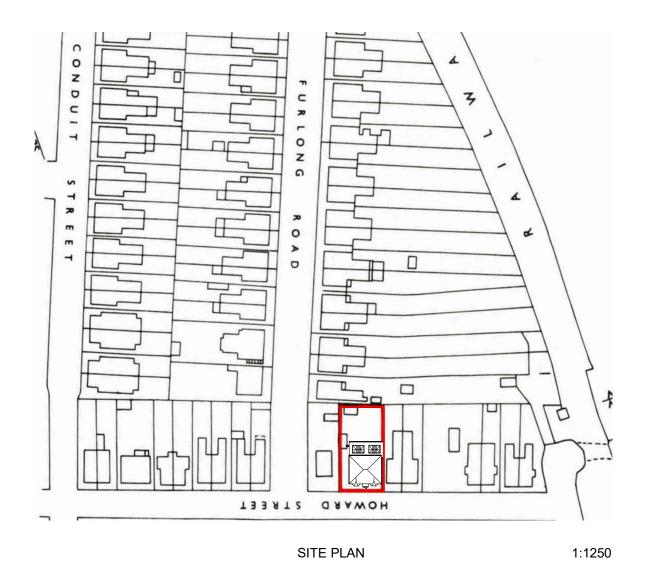


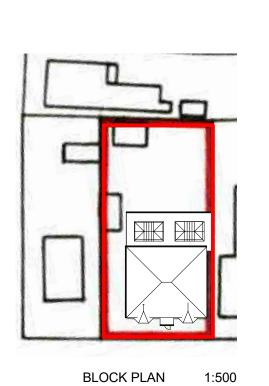


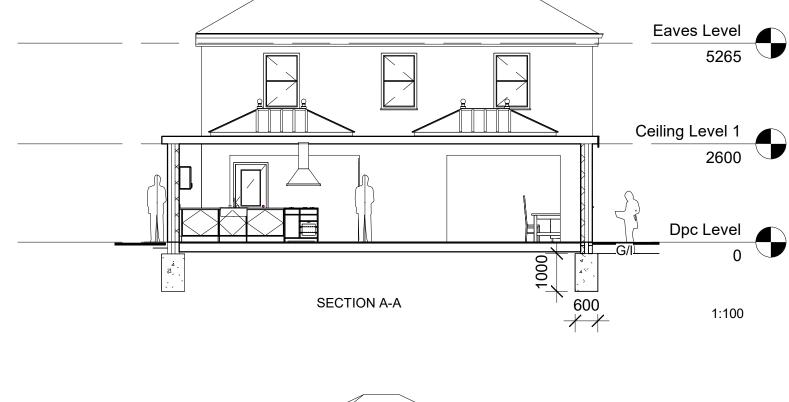
Project: 18 Howard Street Client: Mrs Fatima Jaffer

Drawing: Proposed Ground Floor Plan

Drawn By Lloyd Gordon Date: 05/03/2022 Scale: 1:50@A3 Revision: 0













Project: 18 Howard Street Client: Mrs Fatima Jaffer Drawing: Proposed Site/Block Plan Drawn By Lloyd Gordon Date: 05/03/2022 Scale: 1:1250, 1:500@A3 Revision: 0

PROPOSED SITE/BLOCK PLAN