

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Ross

Surname

Peters

Company Name

Address

Address line 1

19 Sandstar Close

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

County

Country

United Kingdom

Postcode

GL2 0NR

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

***** REDACTED *****

Description of Proposed Works

Please describe the proposed works

Proposal: Single storey brick built extension to the rear of the property.

Currently the property has an orangey/conservatory on the rear of the property extending approx. 2.6m from the rear wall.

The proposed works include taking down this orangey/conservatory and replacing it with a single storey extension which would extend 3.4m from the existing rear wall of the house.

Neighbours on both sides have been consulted with and plans have been discussed within the garden to explain the proposals. They were ok with the proposals. The house is semi detached, the proposed extension would not impact any sunlight entering the garden of the adjoining property.

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Standard building bricks

Proposed materials and finishes:

Standard building bricks

Type:

Doors

Existing materials and finishes:

Existing arrangement is an orangey that has sliding doors into the garden.

Proposed materials and finishes:

Bifold doors onto the garden

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

19SandstarClose/001 - Existing & Proposed Plans/Elevations, Sheet 1 of 2

19SandstarClose/002 - Existing & Proposed Plans/Elevations, Sheet 2 of 2

Drawings/Plans attached include;

- Existing floor plans
- Proposed floor plans
- Existing rear elevation
- Proposed rear elevation
- Existing side elevation
- Proposed side elevation
- Site plan with north arrow

Access to the property will not be impacted or amended as part of the proposed works.

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes

No

Parking

Will the proposed works affect existing car parking arrangements?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes
 No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes
 No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes
 No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- The Applicant
 The Agent

Title

Mr

First Name

Ross

Surname

Peters

Declaration Date

02/01/2023

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Ross Peters

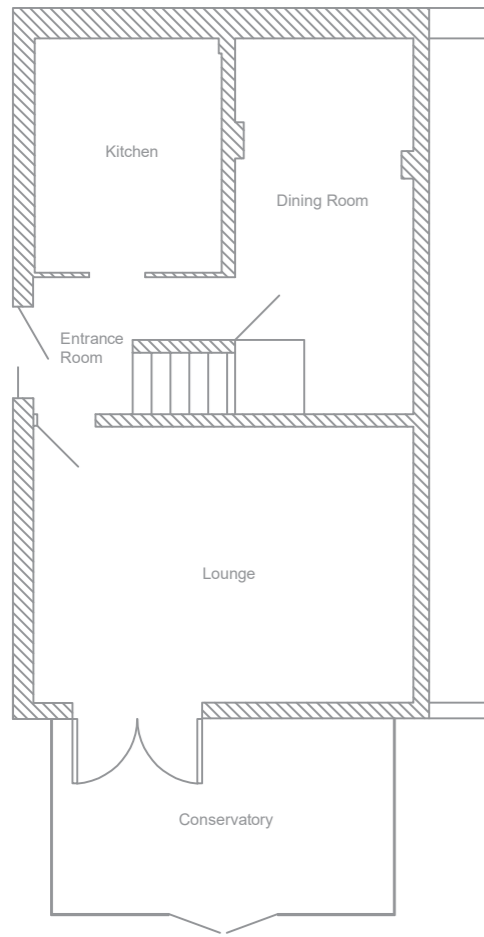
Date

16/01/2023

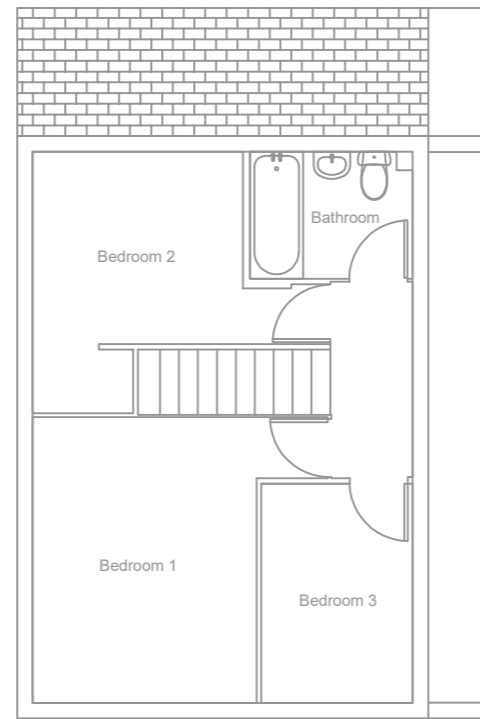




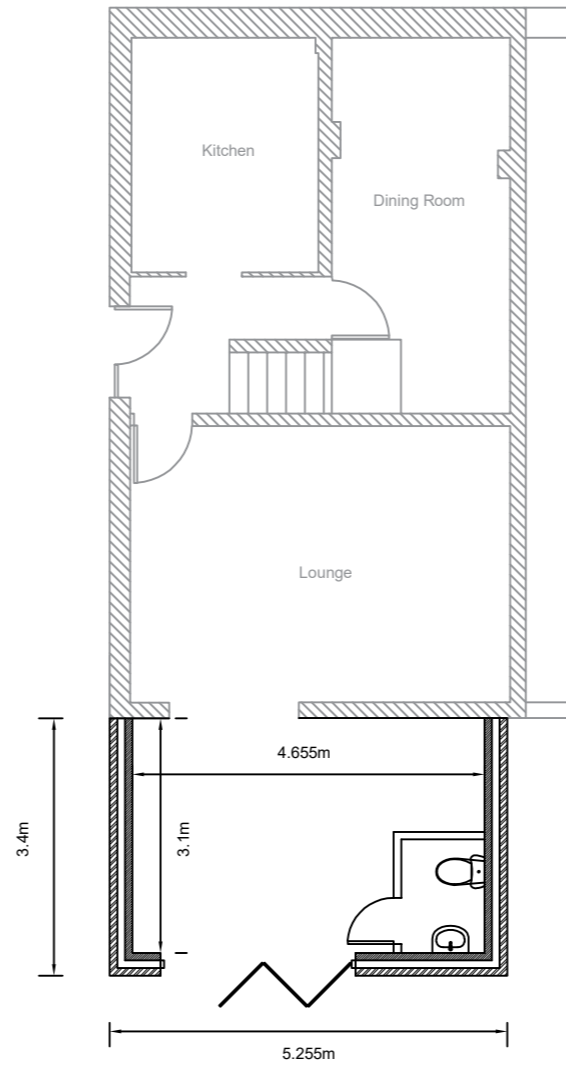




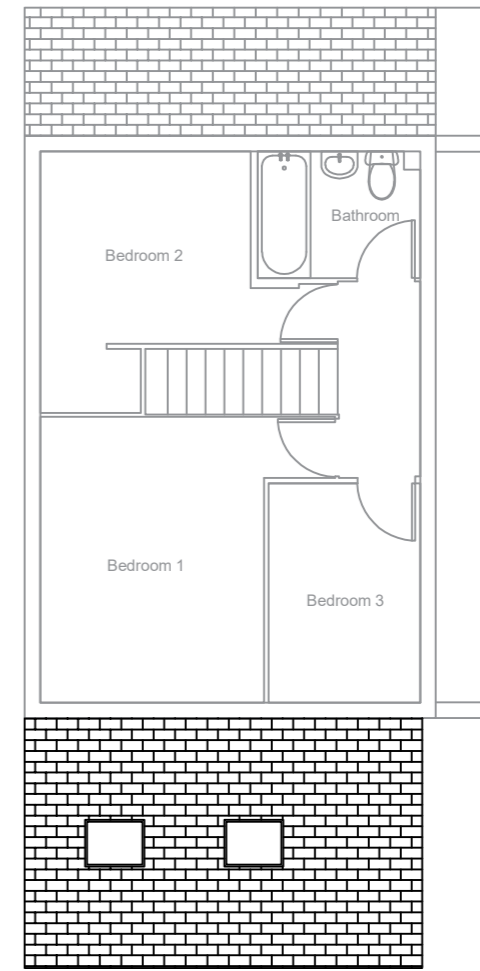
Existing Ground Floor



Existing First Floor



Proposed Ground Floor



Proposed First Floor



Existing Rear Elevation

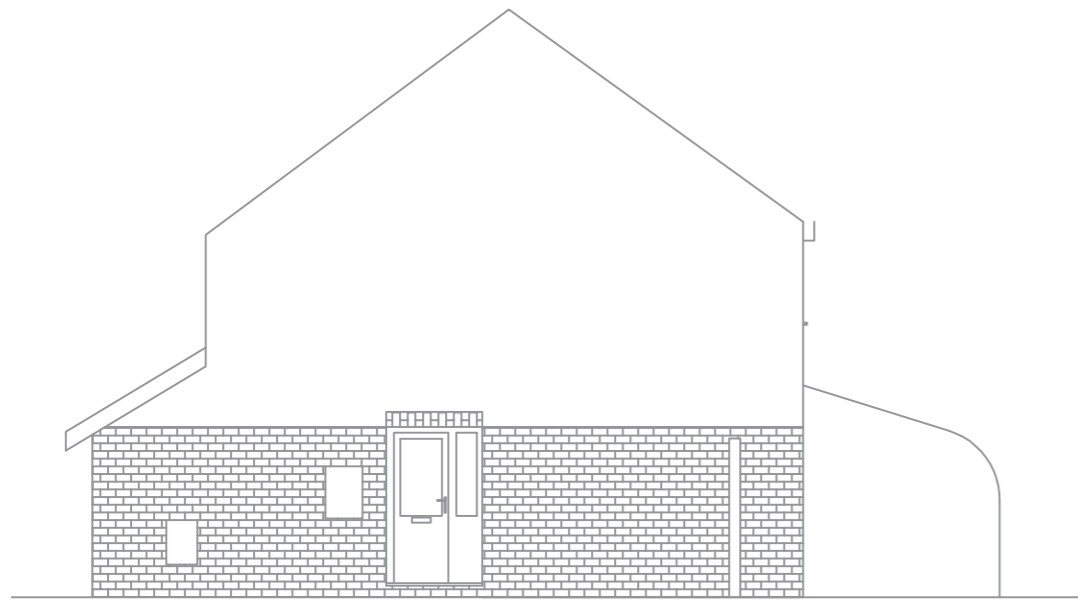
Site Boundary



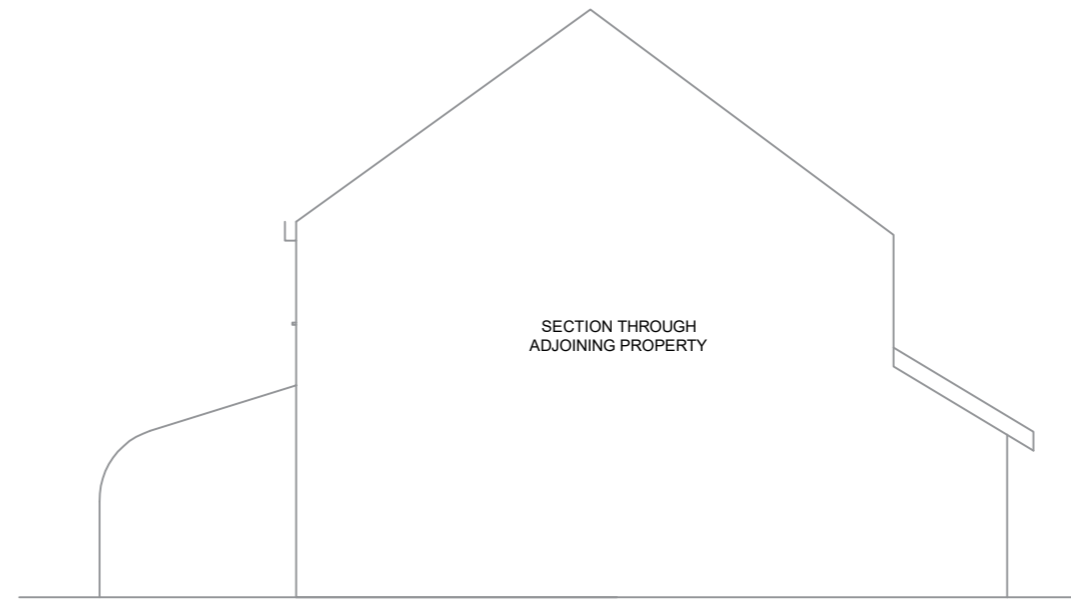
Proposed Rear Elevation

Site Boundary

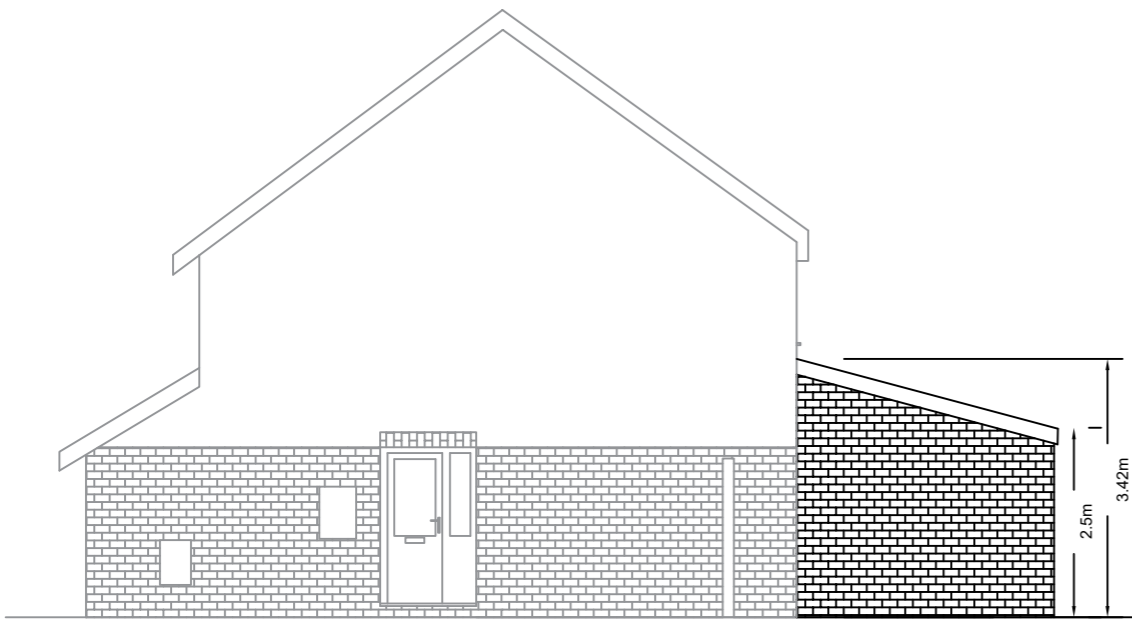
Project:				
19 Sandstar Close, Longlevens, Gloucester, GL2 0NR				
Title:				
Existing & Proposed Plans/ Elevations, Sheet 1 of 3				
Scale:	Plot size:	Drawn:	Check:	Date:
1:100	A3L	RP	RP	January 2023
CAD File:				
C:/SandstarClose/Plans				
Drawing no.:				001



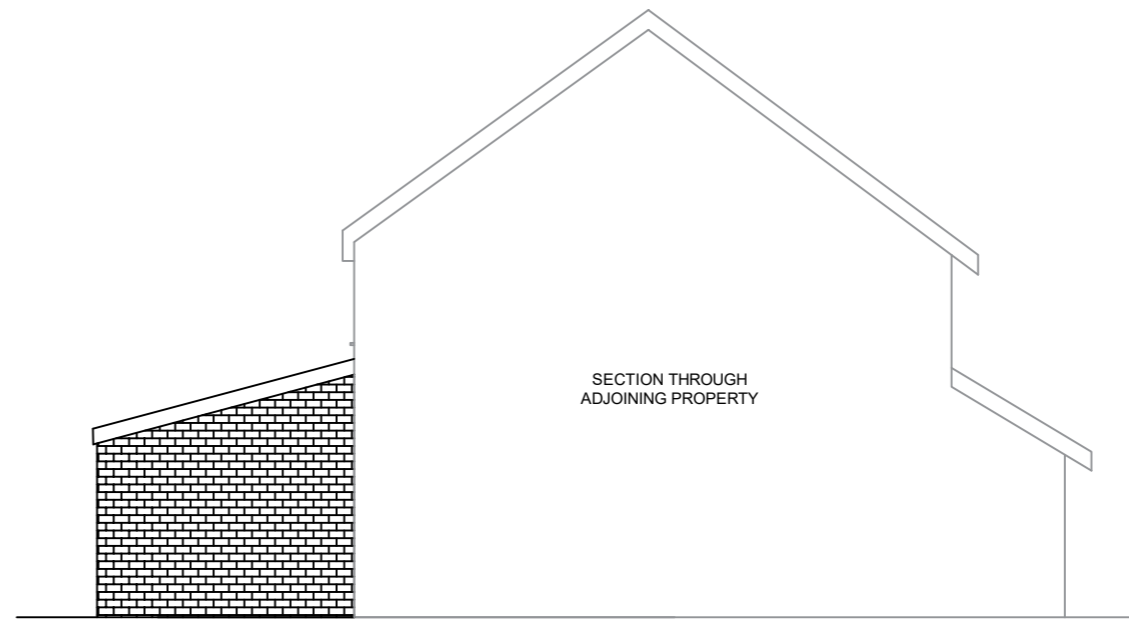
Existing Side Elevation



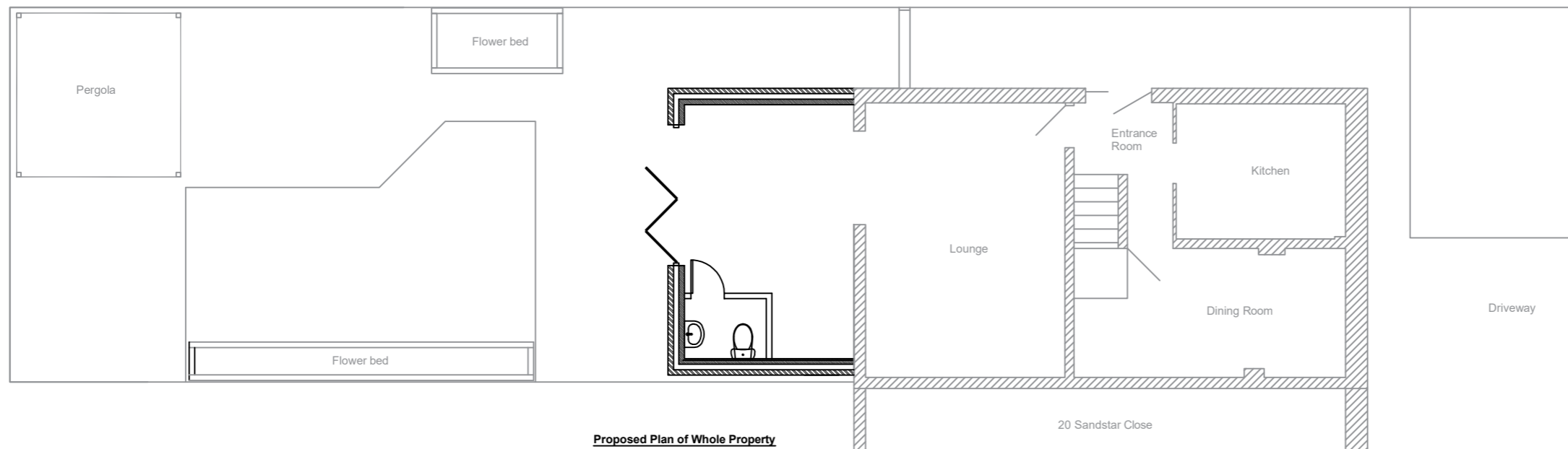
Existing Side Elevation



Proposed Side Elevation



Proposed Side Elevation



Proposed Plan of Whole Property

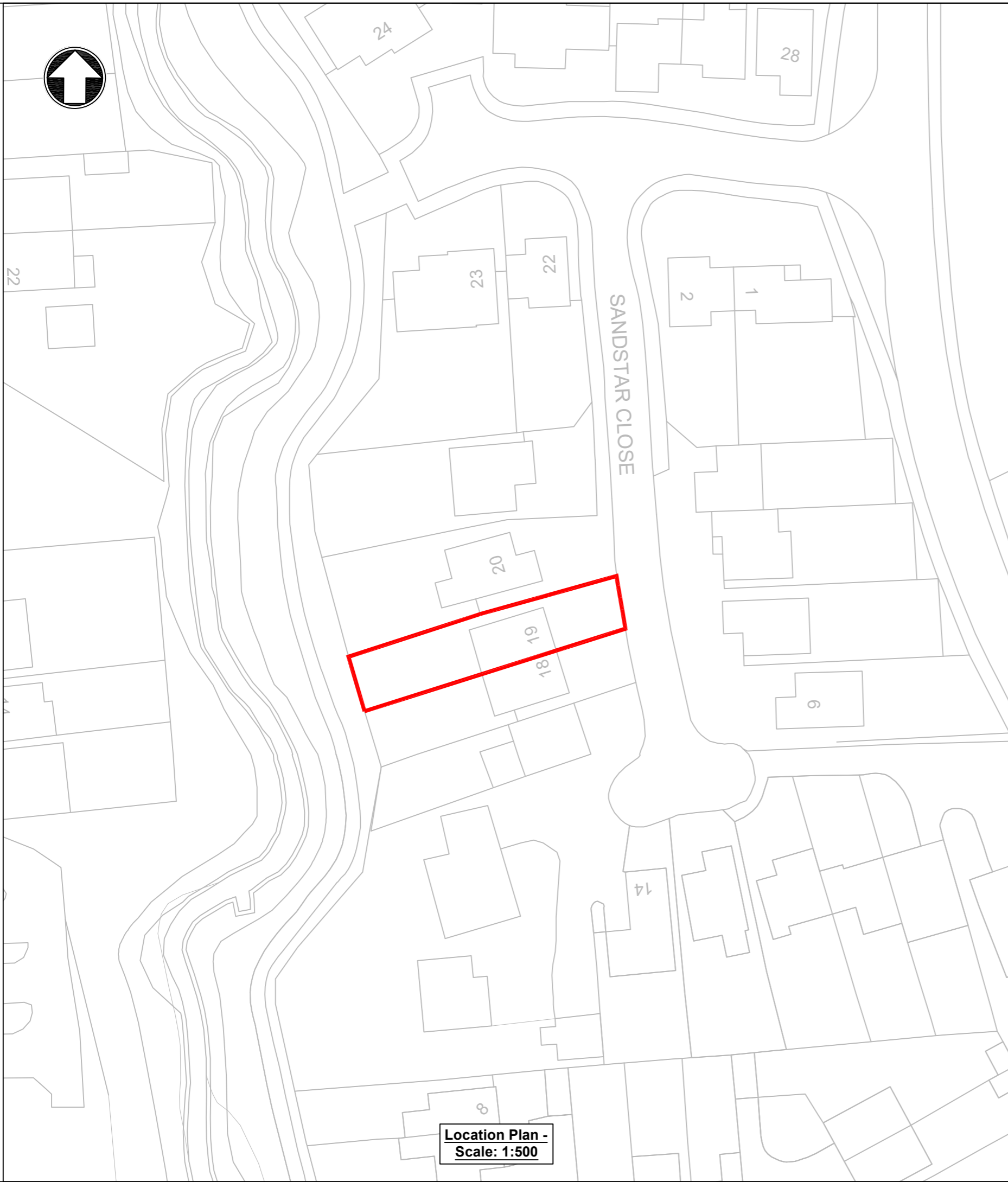
Project:
**19 Sandstar Close, Longlevens,
Gloucester, GL2 0NR**

Title:
**Existing & Proposed Plans/
Elevations, Sheet 2 of 3**

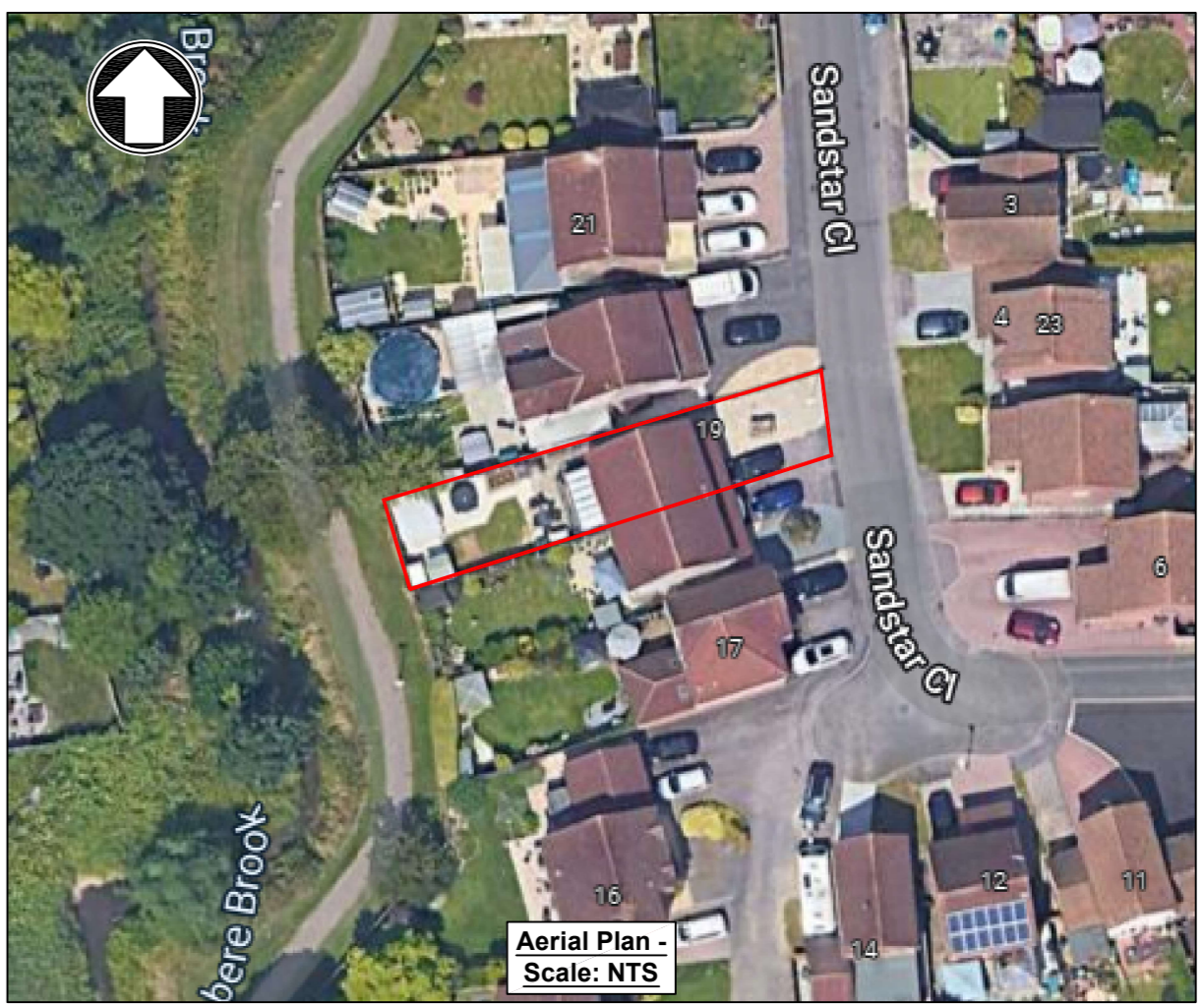
Scale: 1:100	Plot size: A3L	Drawn: RP	Check: RP	Date: January 2023
------------------------	--------------------------	---------------------	---------------------	------------------------------

GRID Ref:
C:/SandstarClose/Plans

Drawing no.:
002

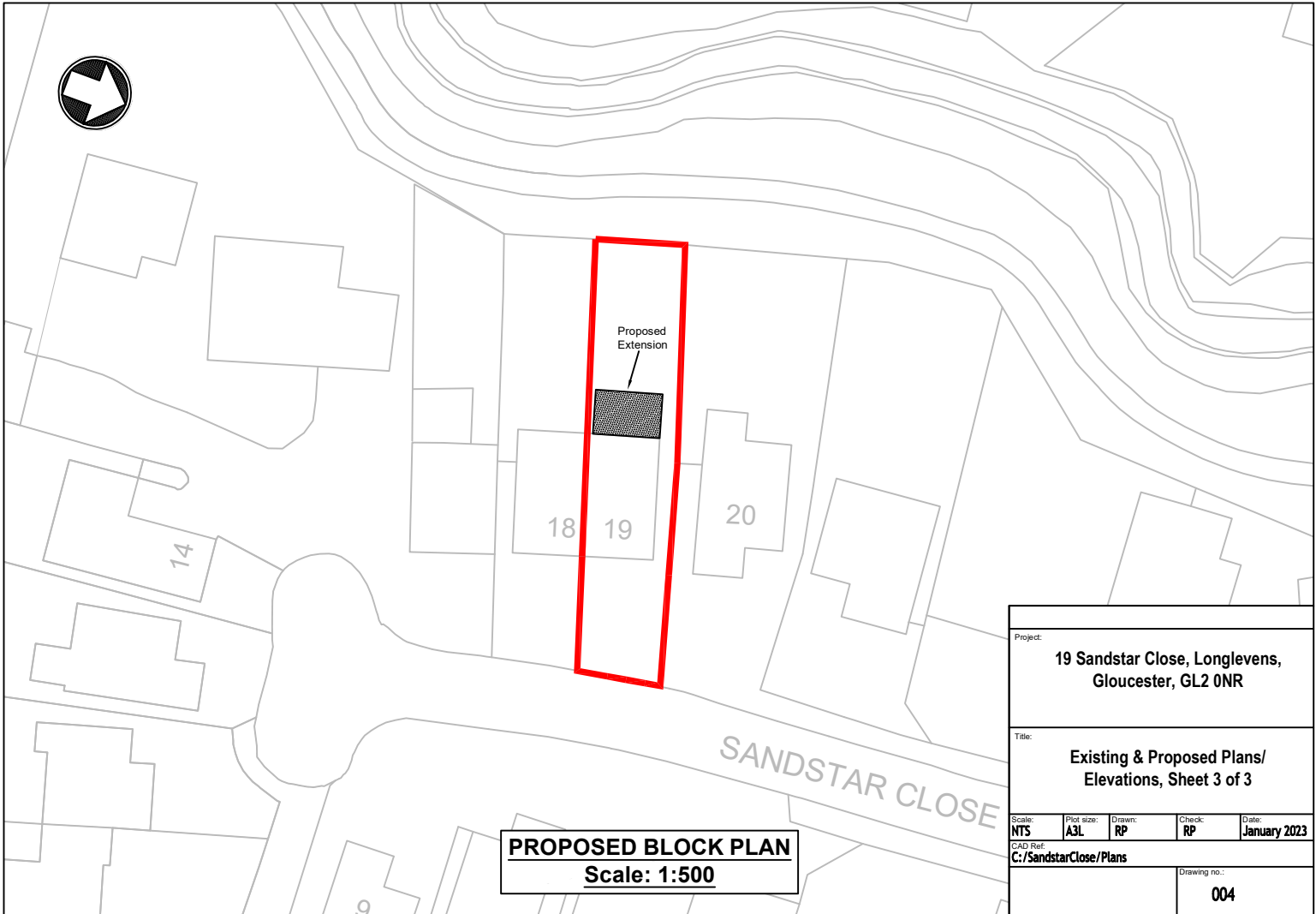
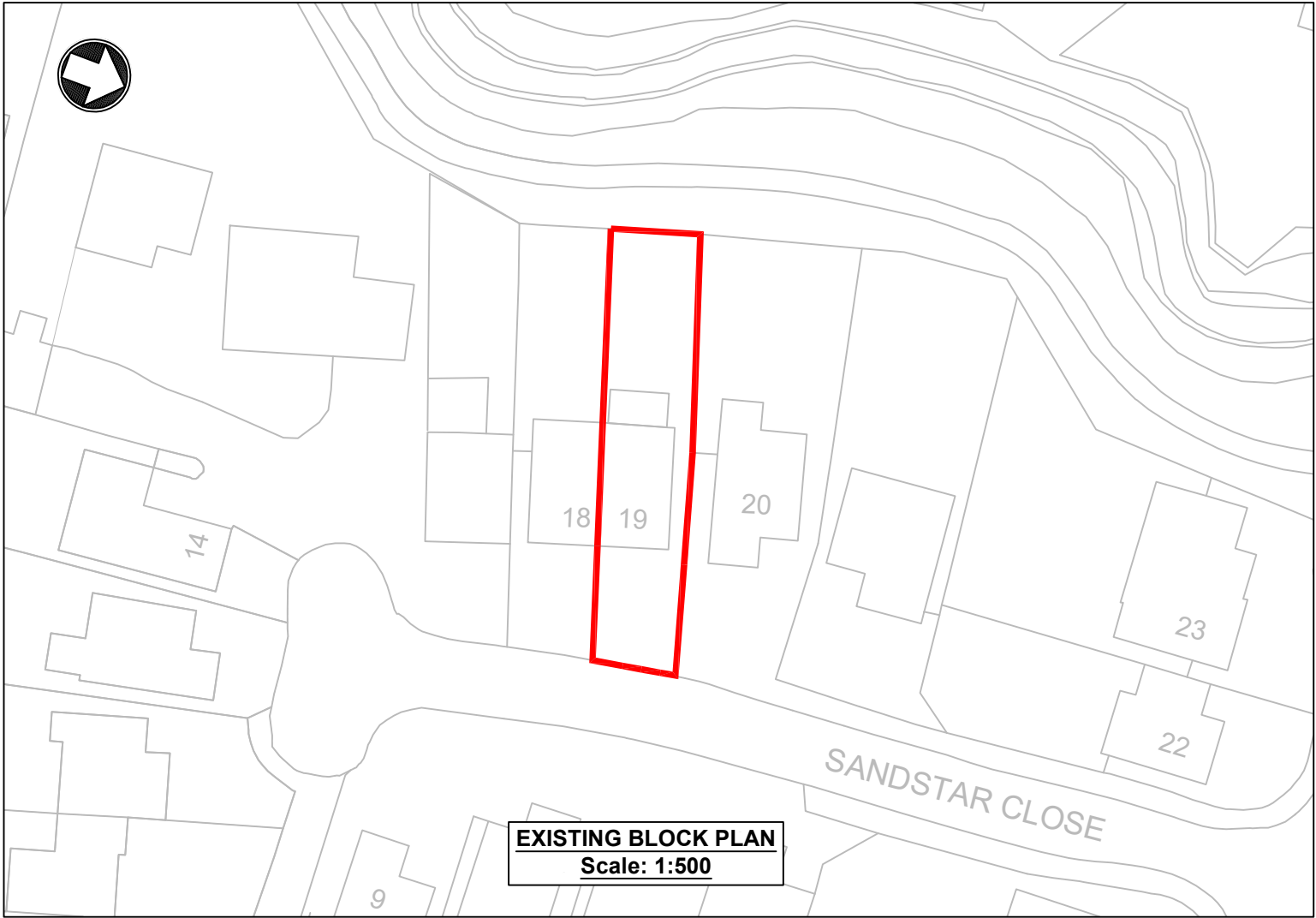


**Location Plan -
Scale: 1:500**



**Aerial Plan -
Scale: NTS**

Project:				
19 Sandstar Close, Longlevens, Gloucester, GL2 0NR				
Title:				
Existing & Proposed Plans - Location / Boundary Plan				
Scale:	Plot size:	Drawn:	Check:	Date:
1:100	A3L	RP	RP	January 2023
C:/SandstarClose/Plans				
Drawing no.:				
				002



Project:				
19 Sandstar Close, Longlevens, Gloucester, GL2 0NR				
Title:				
Existing & Proposed Plans/ Elevations, Sheet 3 of 3				
Scale:	Plot size:	Drawn:	Check:	Date:
NTS	A3L	RP	RP	January 2023
CAD Ref:				
C:/SandstarClose/Plans				
Drawing no.:				004

19 Sandstar Close, Longlevens, Gloucester, GL2 0NR

Flood Risk Assessment (FRA)

This Flood Risk Assessment is applicable to the proposed single storey extension at 19 Sandstar Close, Longlevens, Gloucester, GL2 0NR. The proposed works include replacing an existing orangery/conservatory on the rear of a property with a new single storey brick built extension, extending approximately 3.4m from the rear wall.

The application site falls within Flood Zone 2/3 (medium to high risk), classified as land having between a 1 in 100 and 1 in 1000 annual probability of flooding (as shown in Figure 1). The site is at low risk of surface water flooding.

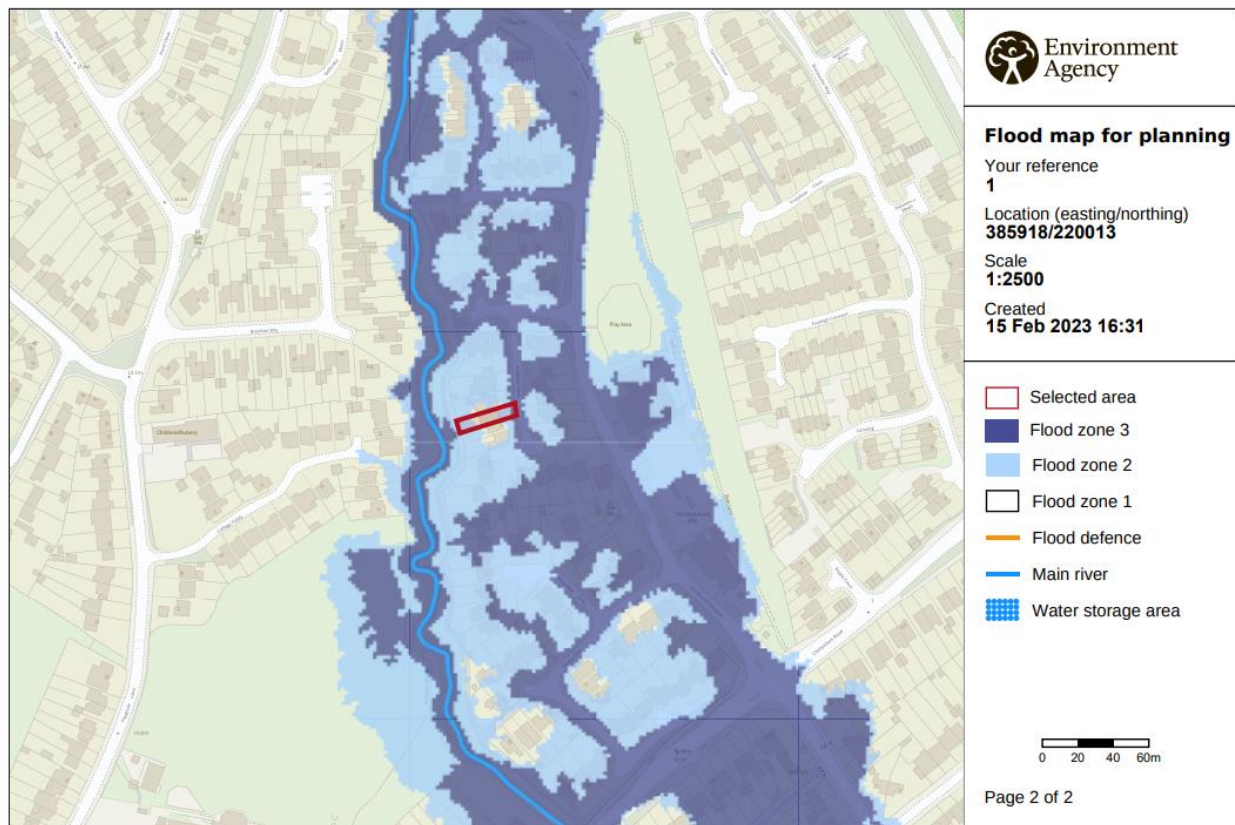
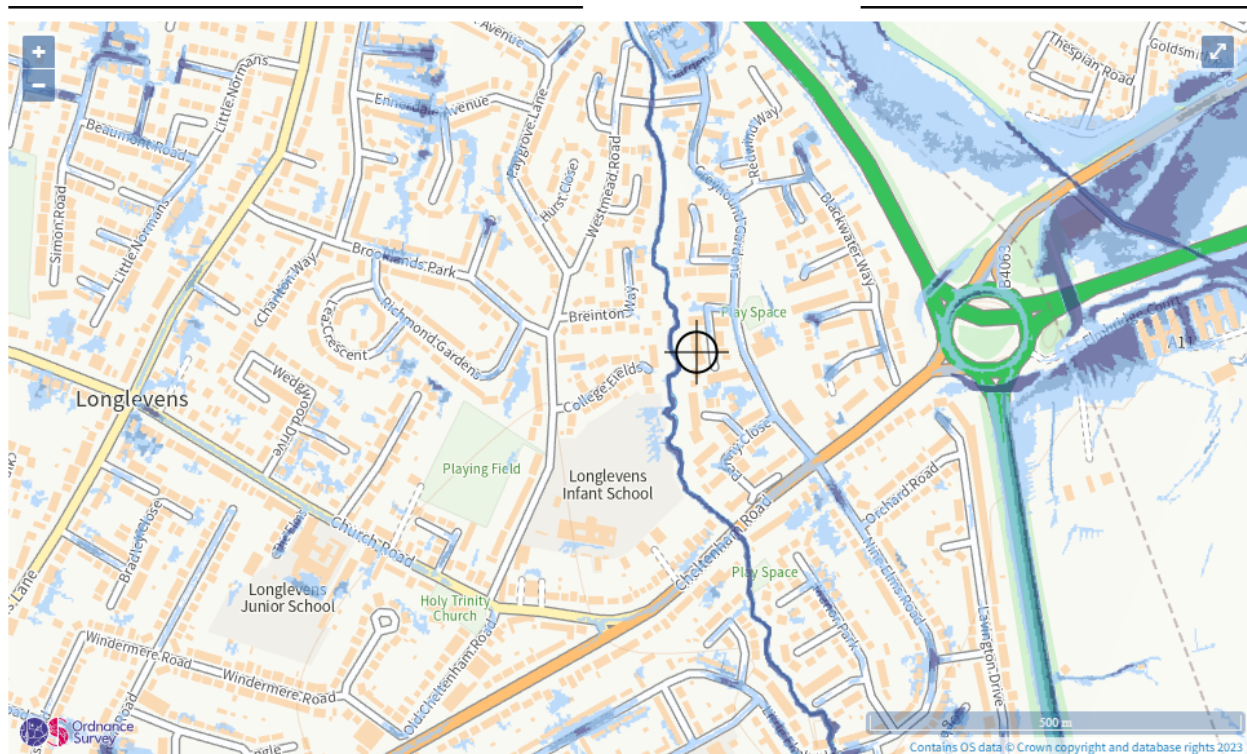


Figure 1: EA Flood Map for planning

Sandstar Close is deemed to be at low risk from surface water flooding, meaning that flooding due to flash flooding is very unlikely. The area has been classified that it has a chance of flooding between 0.1% and 1% each year (as shown in Figure 2).



Extent of flooding from surface water

● High
 ● Medium
 ● Low
 Very low
 ⊕ Location you selected

Figure 2: EA Surface Water Flooding Map for planning

Notwithstanding the above, the applicant is proposing to incorporate the following flood mitigation measures in line with the Environment Agency's - Standing advice for vulnerable development, which otherwise would not be included in the PD extension:

- Raise internal floor levels of the extension as much as possible;
- Move any vulnerable uses to upper floors;
- Use flood resistant materials that have low permeability (where possible);
- Make sure any doors, windows or other opening are flood resistant (where possible);
- Consider the use of flood resilient materials (e.g. lime plaster);
- Raising all sensitive electrical equipment, wiring and sockets;
- Making it easy for water to drain away after flooding, such as installing a sump and a pump;
- Making sure there is access to all spaces to enable drying and cleaning;
- Ensuring that soil pipes are protected from back-flow, such as by using non-return valves.