

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Site Address

Number	<input type="text" value="6"/>
Suffix	<input type="text"/>
Property name	<input type="text"/>
Address line 1	<input type="text" value="Claridge Close"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Postcode	<input type="text" value="GL4 4AT"/>

Description of site location must be completed if postcode is not known:

Easting (x)	<input type="text" value="385866"/>
Northing (y)	<input type="text" value="215798"/>

Description

2. Applicant Details

Title	<input type="text" value="MR &MRS"/>
First name	<input type="text" value="RICHARD"/>
Surname	<input type="text" value="WHITE"/>
Company name	<input type="text"/>
Address line 1	<input type="text" value="6, Claridge Close"/>
Address line 2	<input type="text"/>
Address line 3	<input type="text"/>
Town/city	<input type="text" value="Gloucester"/>
Country	<input type="text"/>

2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant? Yes No

Primary number

Secondary number

Fax number

Email address

3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent? Yes No

5. Materials

Does the proposed development require any materials to be used externally? Yes No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	FACING BRICK CAVITY CONSTRUCTION
Description of proposed materials and finishes:	FACING BRICK CAVITY CONSTRUCTION

5. Materials

Roof	
Description of existing materials and finishes (optional):	CONCRETE ROOF TILES
Description of proposed materials and finishes:	CONCRETE ROOF TILES

Windows	
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED

Doors	
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	FENCE
Description of proposed materials and finishes:	NO CHANGE

Vehicle access and hard standing	
Description of existing materials and finishes (optional):	DRIVEWAY
Description of proposed materials and finishes:	NO CHANGE

Lighting	
Description of existing materials and finishes (optional):	240V MAINS
Description of proposed materials and finishes:	NO CHANGE

Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No

If Yes, please state references for the plans, drawings and/or design and access statement

DRAWINGS:
RW-6CC-A-G-001
RW-6CC-A-G-002A

6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

7. Pedestrian and Vehicle Access, Roads and Rights of Way

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent
 The applicant
 Other person

10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

12. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- The applicant
 The agent

Title	<input type="text" value="MR"/>
First name	<input type="text" value="GLENN"/>
Surname	<input type="text" value="CHURCH"/>
Declaration date (DD/MM/YYYY)	<input type="text" value="21/01/2022"/>

Declaration made

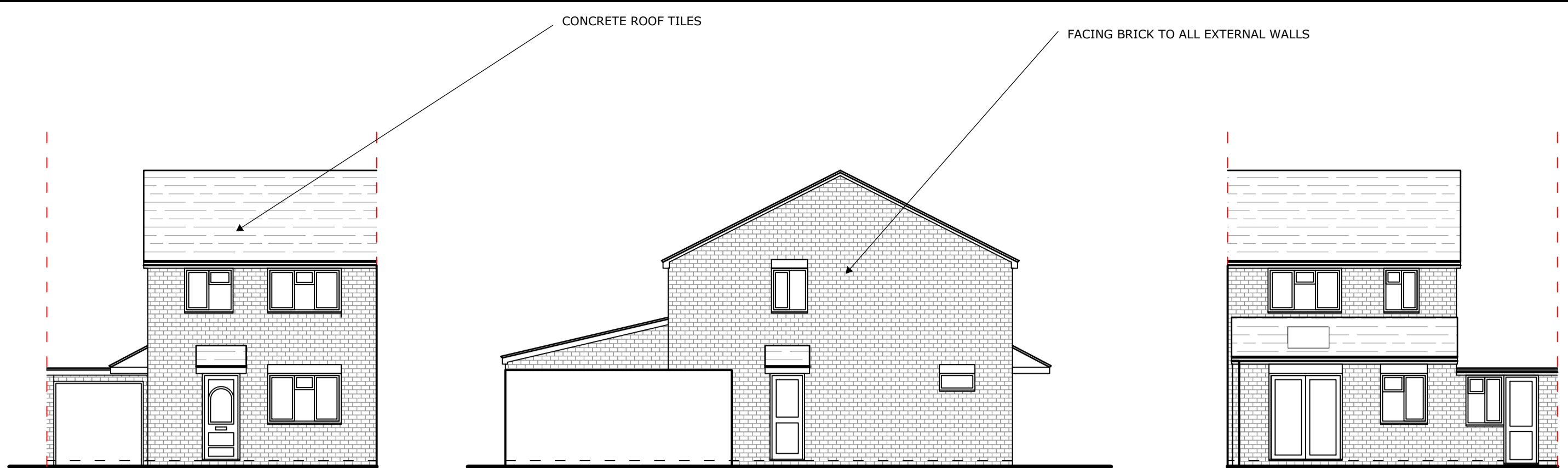
13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Date (cannot be pre-application)

21/01/2022

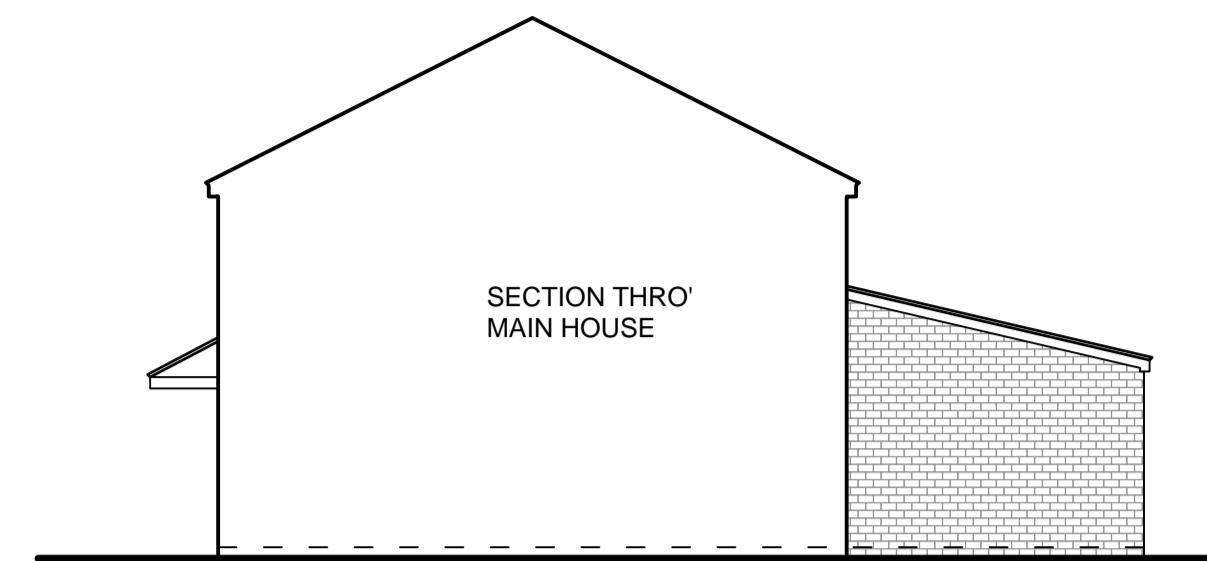
NOTES
 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
 4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE
 ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY. CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS.
 THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.



FRONT ELEVATION - 1:100

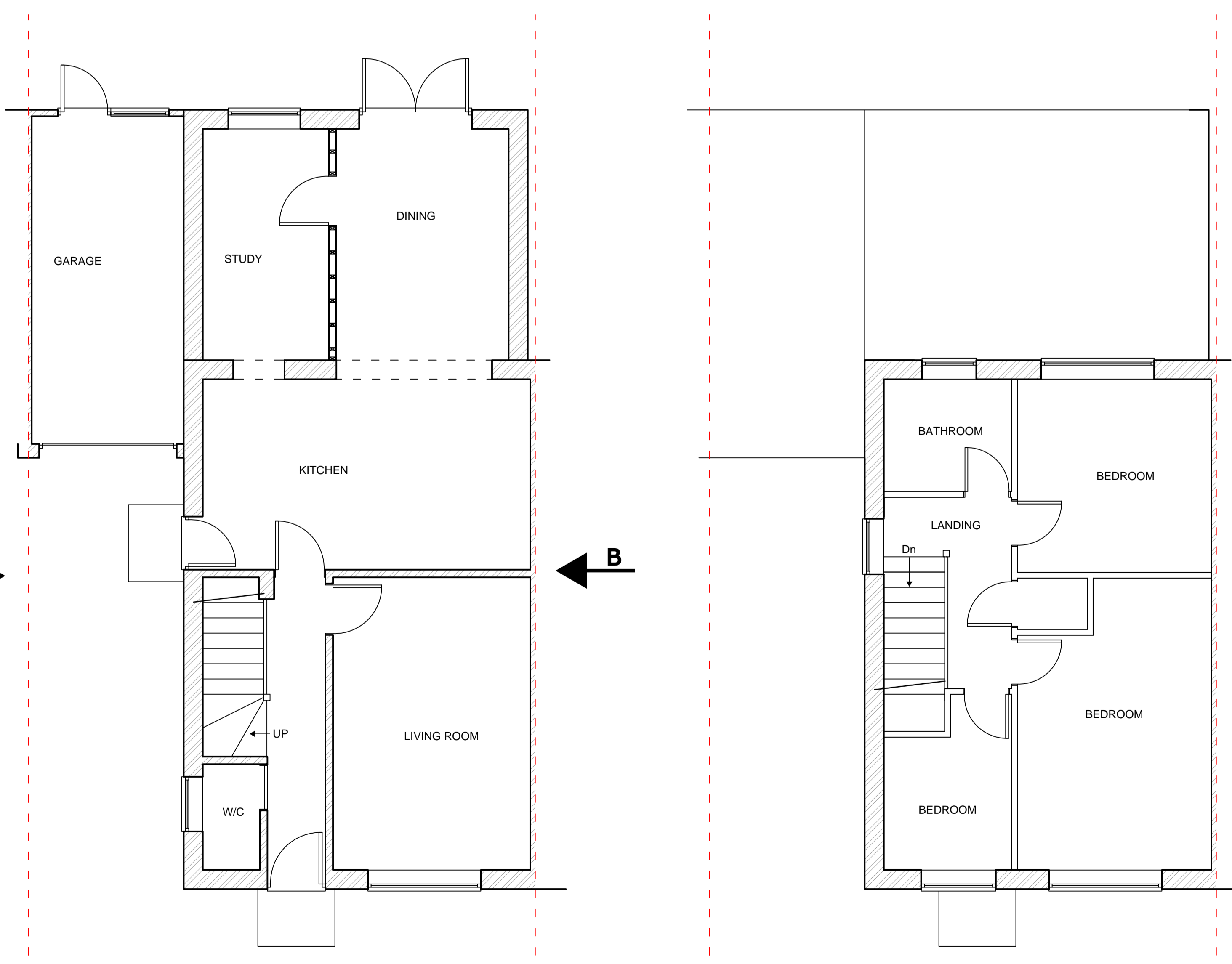
ELEVATION ON A - 1:100

REAR ELEVATION - 1:100



ELEVATION ON B - 1:100

THIS BAR SHOULD SCALE 5M @ 1:100



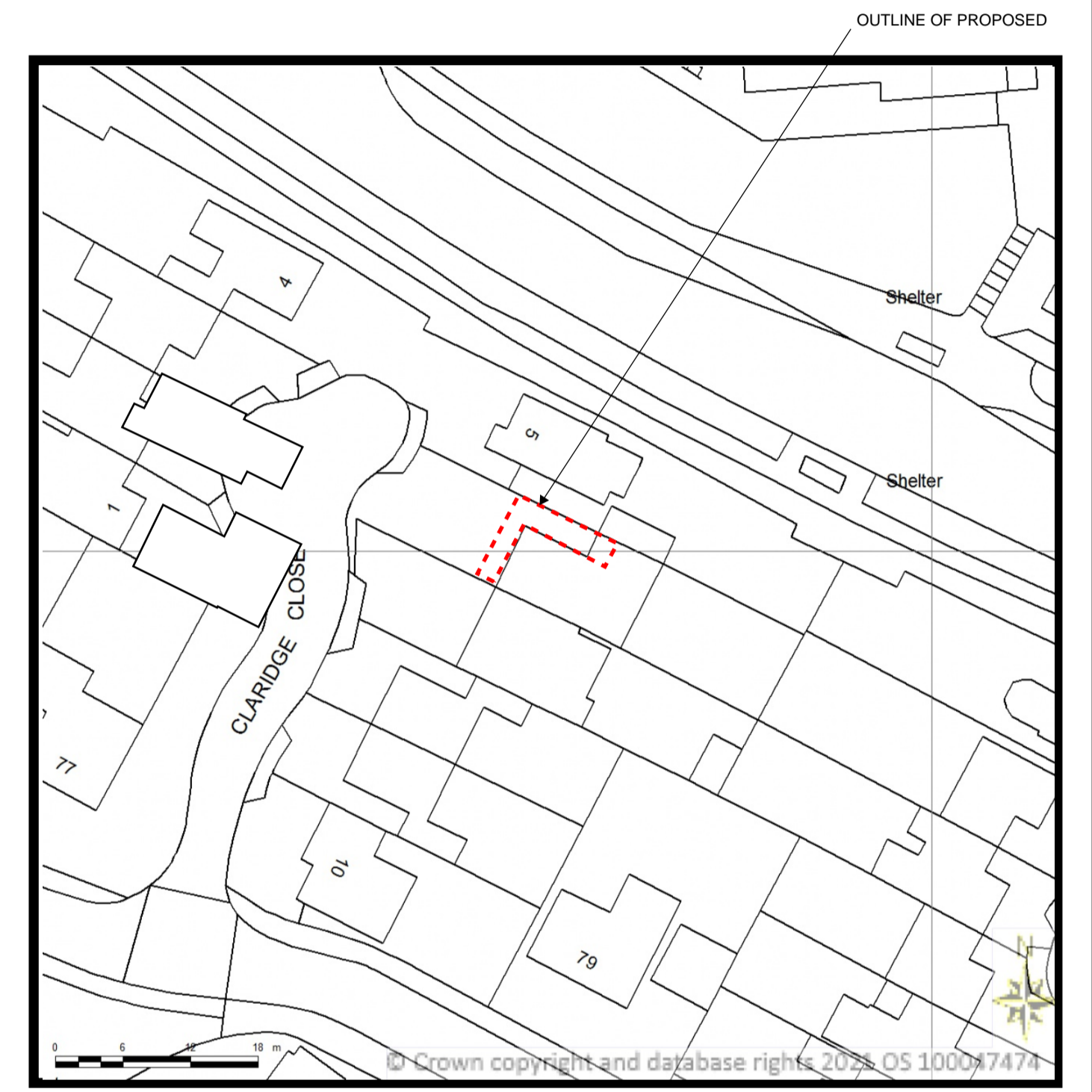
AS EXISTING GROUND FLOOR PLAN - 1:50

AS EXISTING FIRST FLOOR PLAN - 1:50

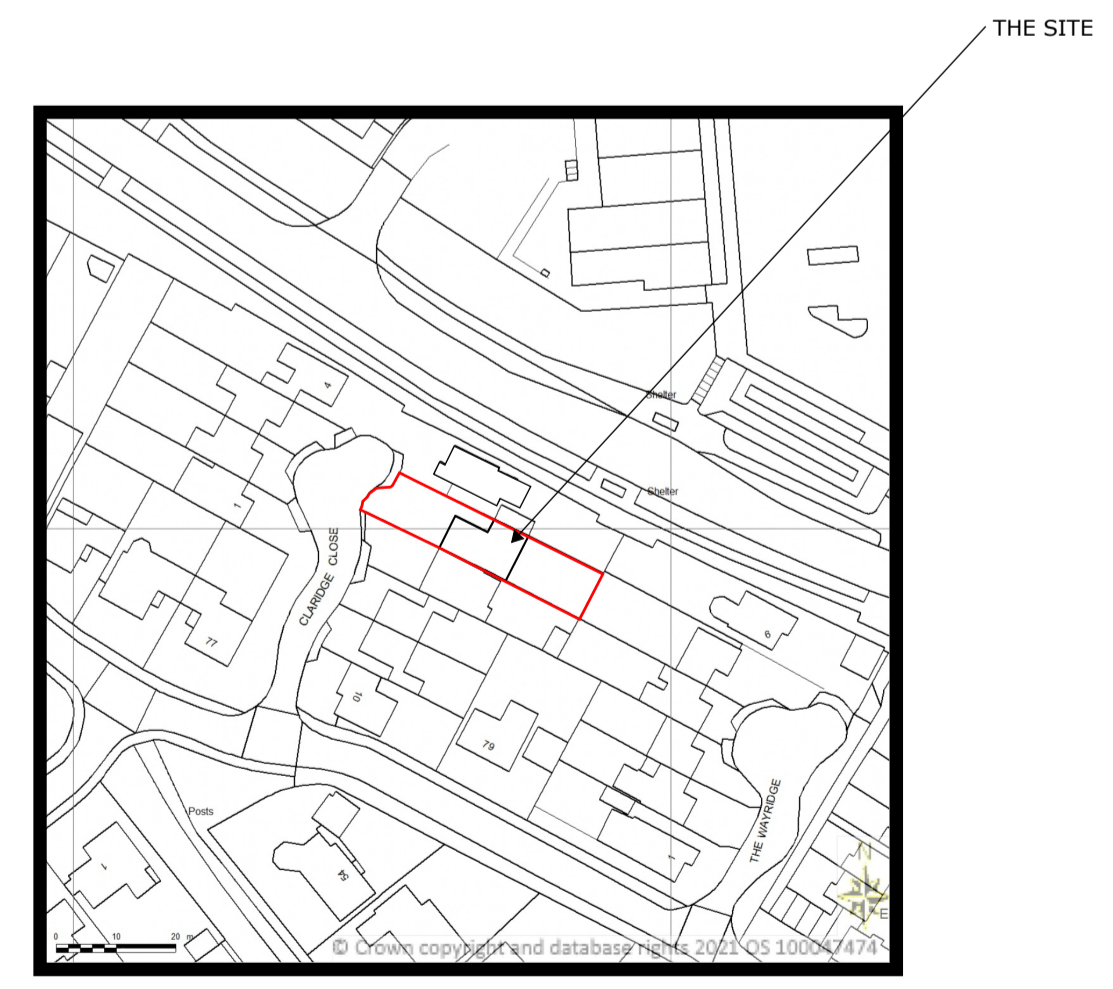
THIS BAR SHOULD SCALE 5M @ 1:50



BLOCK PLAN AS EXISTING 1:500



BLOCK PLAN AS PROPOSED 1:500

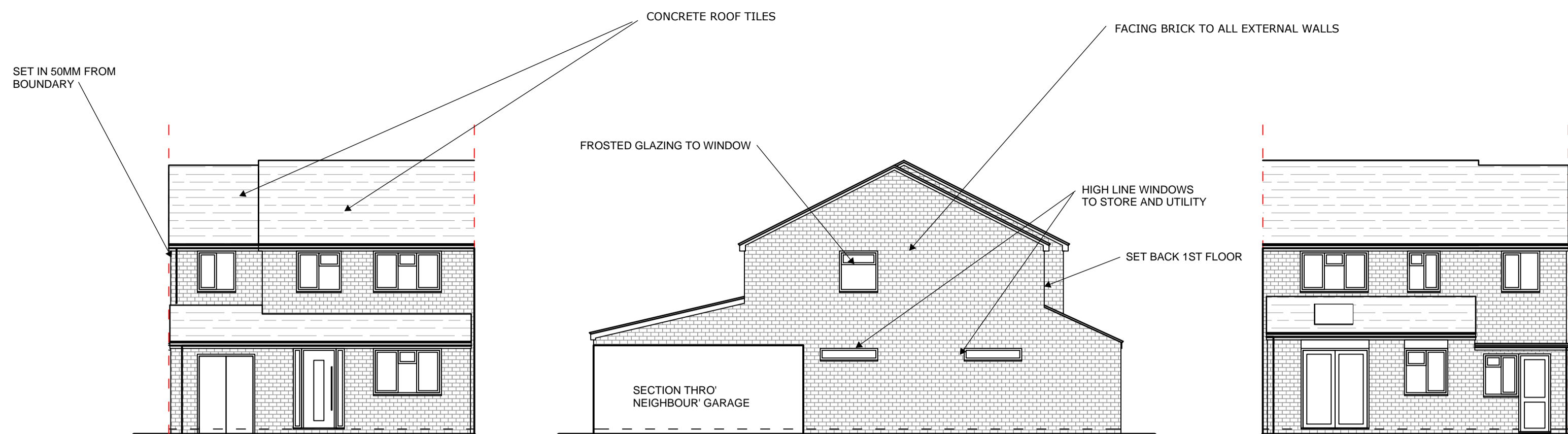


SITE LOCATION PLAN 1:1250

REV A: FEB-2022 BLOCK PLANS ALTERED.



CLIENT/PROJECT:
 MR & MRS R WHITE
 PROPOSED EXTENSION AND ALTERATION TO PROPERTY
 6 CLARIDGE CLOSE, ABBEYDALE, GLOS GL4 4AT
 TITLE:
 AS EXISTING PLANS AND ELEVATIONS INCLUDING SITE
 LOCATION AND BLOCK PLAN
 SCALE:
 1:1250, 1:500, 1:100 AND 1:50 @ A1
 DATE:
 DEC 2021
 RW-6CC-A-G-001A



FRONT ELEVATION - 1:100

ELEVATION ON A - 1:100

REAR ELEVATION - 1:100

ELEVATION ON B - 1:100

THIS BAR SHOULD SCALE 5M @ 1:100

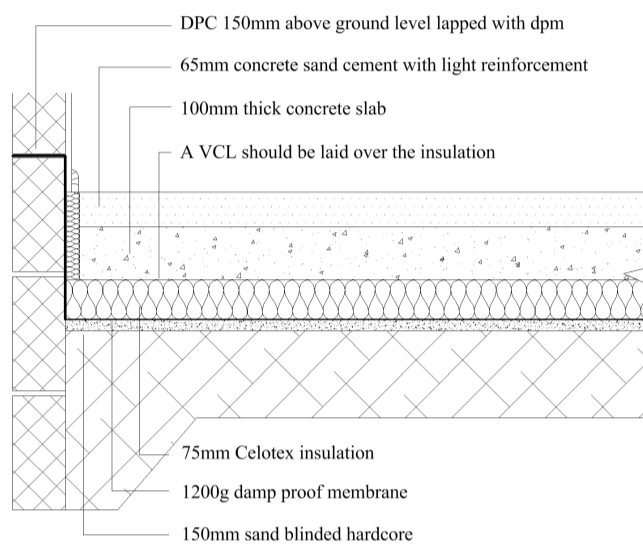
TRENCH FOUNDATION
Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2...

WALLS BELOW GROUND
All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry or equal approved specification...

UNDERGROUND FOUL DRAINAGE
Underground drainage to consist of 100mm diameter UPVC proprietary pipe work to give a 1:40 fall...

SOLID FLOOR INSULATION UNDER SLAB
To meet min U value required of 0.22 W/m²K. Solid ground floor to consist of 150mm consolidated well-rammed hardcore...

SOLID GROUND FLOOR



FULL FILL CAVITY WALL

To achieve minimum U Value of 0.28W/m²K. New cavity wall to comprise of 105mm facing brick to match existing...

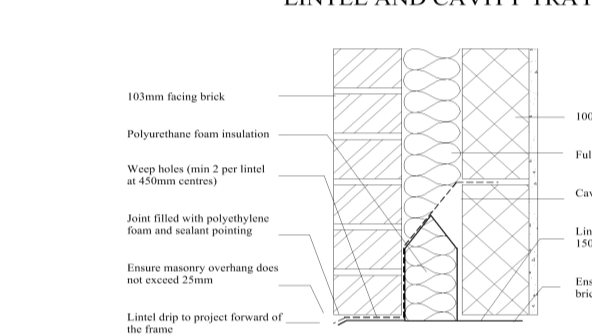
WALL TIES

All walls constructed using stainless steel vertical twist type retaining wall ties built in at 750mm c/c horizontally...

LINTELS

For uniformly distributed loads and standard 2 storey domestic loadings only. Lintel widths are to be equal to wall thickness...

LINTEL AND CAVITY TRAY



INTERNAL STUD PARTITIONS

100mm x 50mm softwood treated timbers studs at 400mm c/c with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm...

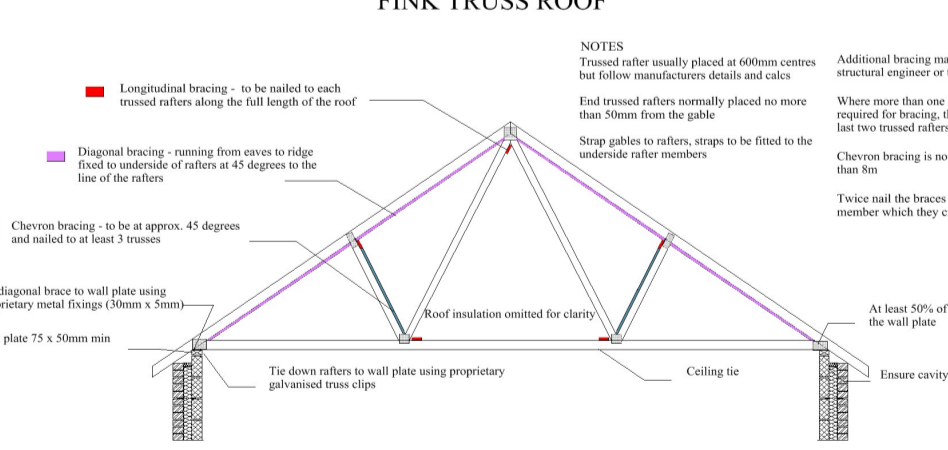
INTERMEDIATE FLOORS

Intermediate floor to be 25mm t&g flooring grade chipboard or floorboards laid on C24 joists at 400mm c/c. Lay 100mm Rockwool mineral fibre quilt insulation...

TRUSSED RAFTER ROOF FIRST FLOOR

Pitched roof to be formed using proprietary prefabricated manufactured trusses. Design of roof trusses to be produced by specialist truss manufacturer to BS EN 595:1995-1995 and submitted to Building Control...

FINK TRUSS ROOF



UNVENTED PITCHED ROOF GROUND FLOOR REAR ROOF EXTENDED

To achieve U-value 0.18 W/m²K. Timber roof structures to be designed by an Engineer in accordance with NHBC Technical Requirement R5 Structural Design...

- NOTES
1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS

NEW AND REPLACEMENT WINDOWS
New and replacement windows to be double glazed with 16mm argon gas and soft coat low-E glass...

NEW AND REPLACEMENT DOORS
New and replacement doors to achieve a U-Value of 1.80W/m²K. Glazed areas to be double glazed with 16mm argon gas and soft low-E glass...

SAFETY GLAZING
All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations...

ESCAPE WINDOWS
Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed openable area of 450mm high x 450mm wide...

ABOVE GROUND DRAINAGE
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations...

Size of wastes pipes and max length of branch connections (if max length is exceeded then anti vacuum traps to be used). Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe. Bath/shower - 3m for 40mm pipe 4m for 50mm pipe...

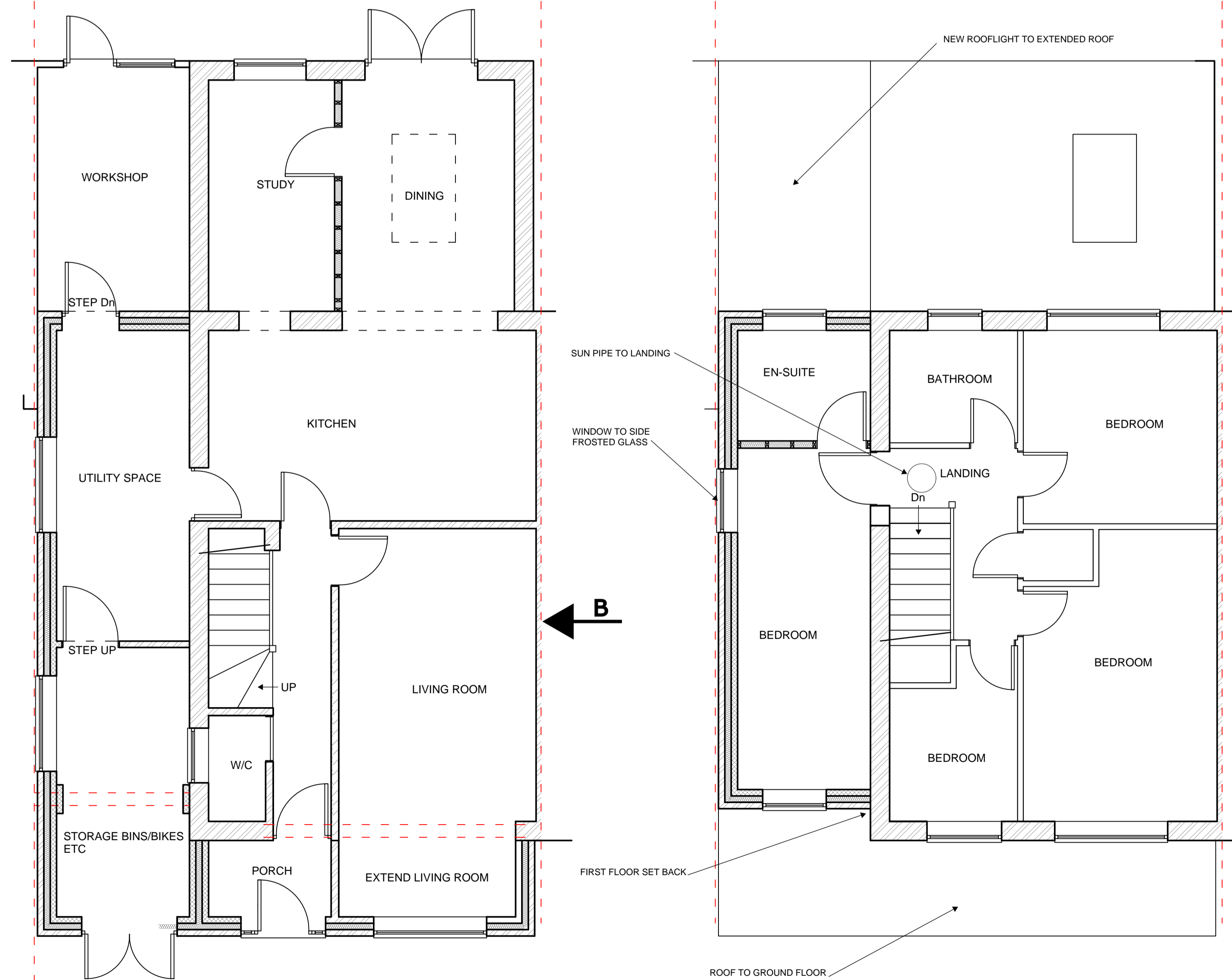
BACKGROUND AND PURGE VENTILATION
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm³ and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm³...

EXTRACT TO BATHROOM
Bathroom to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minutes over run if no window in room...

ELECTRICAL
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme...

INTERNAL LIGHTING
Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces...

HEATING
Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist...



THIS BAR SHOULD SCALE 5M @ 1:50

AS PROPOSED GROUND FLOOR PLAN - 1:50

AS PROPOSED FIRST FLOOR PLAN - 1:50

REV A: JAN 2022, MINOR ALTERATIONS

Homeplan Architecture Drafting Services logo and project information: CLIENT/PROJECT: MR & MRS R WHITE, PROPOSED EXTENSION AND ALTERATION TO PROPERTY 6 CLARIDGE CLOSE, ABBEYDALE, GLOS GL4 4AT, TITLE: AS PROPOSED PLANS AND ELEVATIONS, SCALE: 1:100 AND 1:50 @ A1, DATE: DEC 2021, RW-6CC-A-G-002A