

Development Control Gloucester City Council PO Box 3252, Gloucester, GL1 9FW 01452 396396 development.control@gloucester.gov.uk www.gloucester.gov.uk/planning

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

6

1. Site Address

Property name

Number

Suffix

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

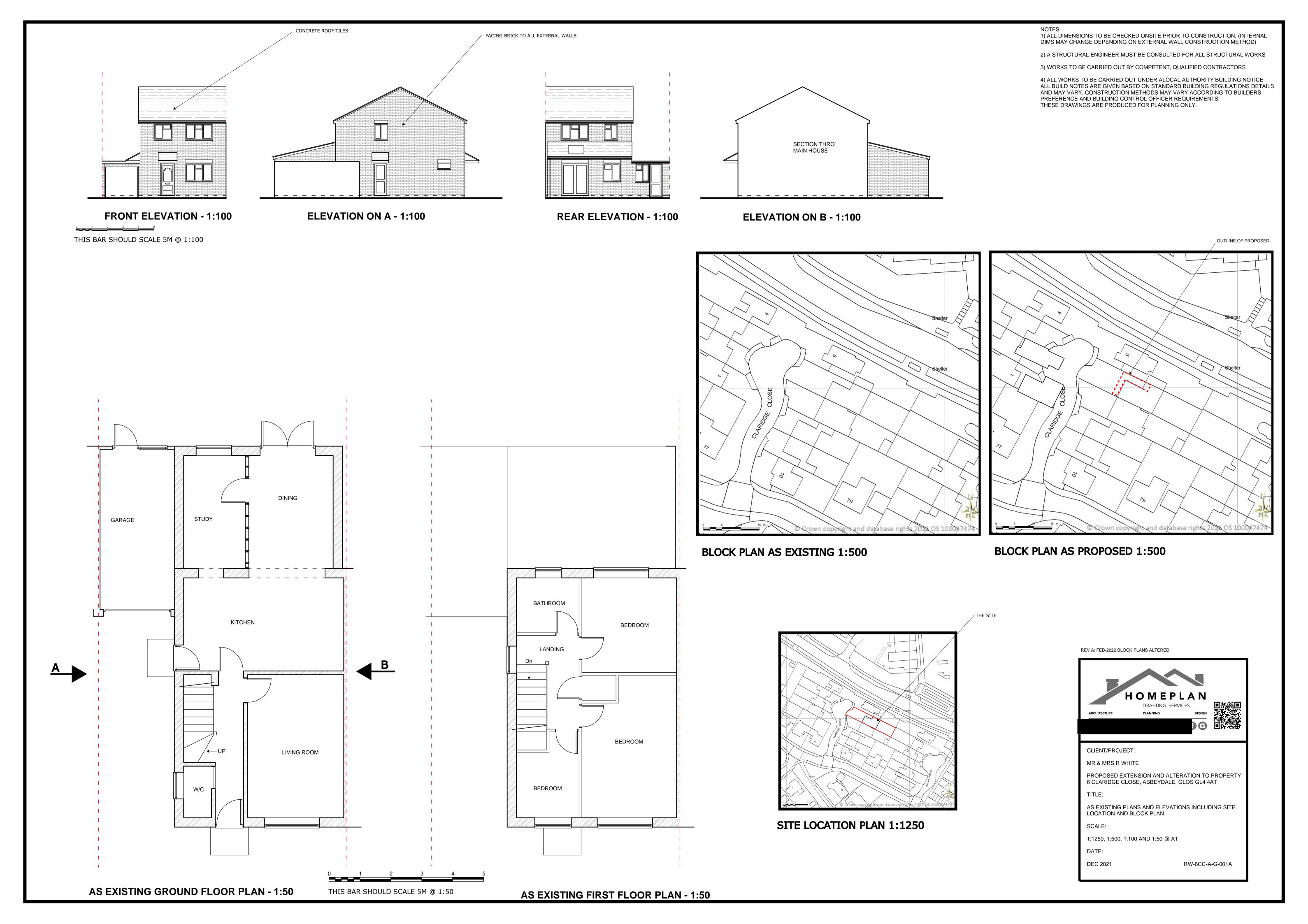
Address line 1	Claridge Close			
Address line 2				
Address line 3				
Town/city	Gloucester			
Postcode	GL4 4AT			
Description of site locat	ion must be completed if postcode is not known:			
Easting (x)	385866			
Northing (y)	215798			
Description				
2. Applicant Deta	ils			
Title	MR &MRS			
First name	RICHARD			
Surname	WHITE			
Company name				
Address line 1	6, Claridge Close			
Address line 2				
Address line 3				
Town/city	Gloucester			
Country				
Planning Portal Reference: PP-10566644				

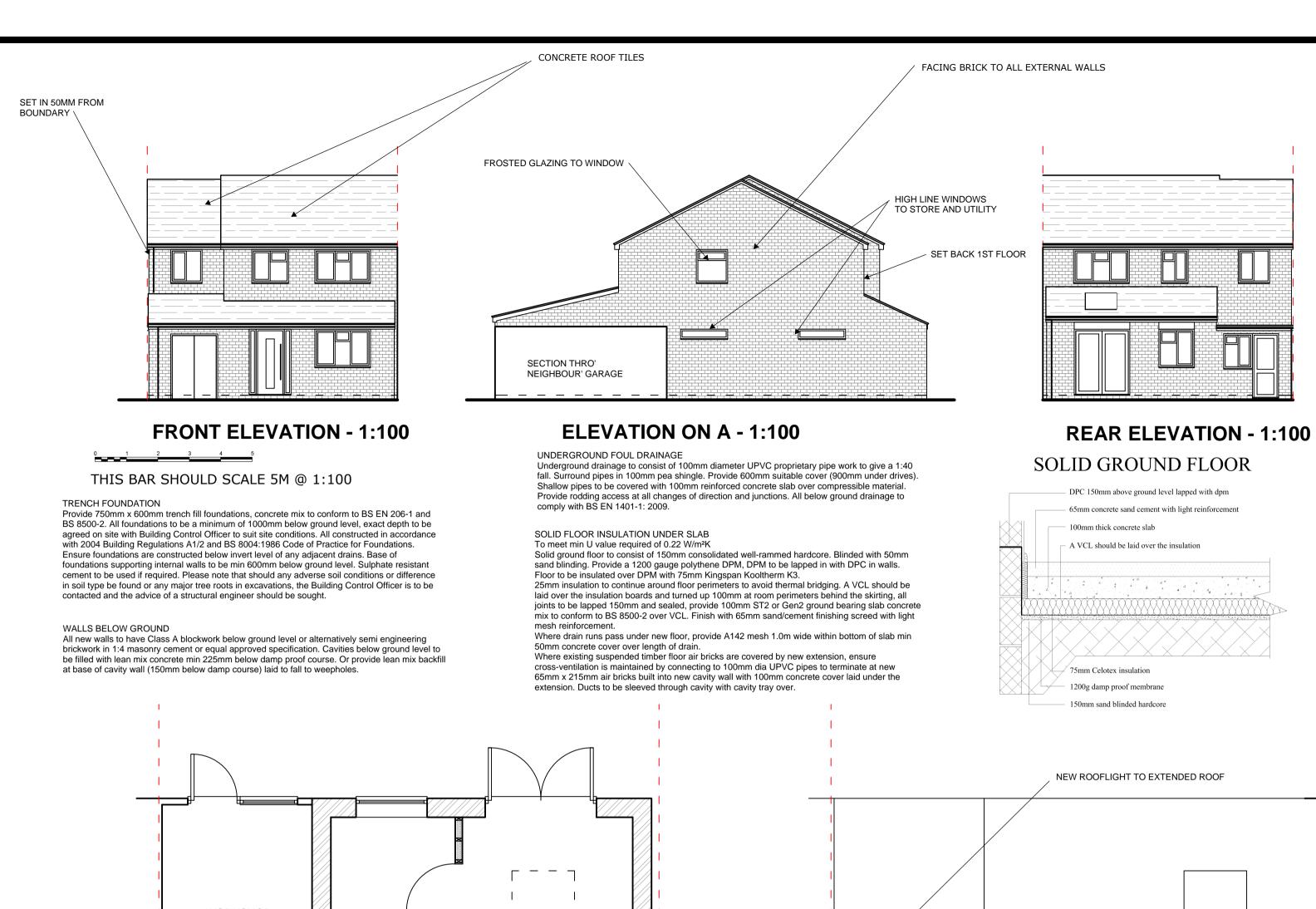
2. Applicant Detai	ls				
Postcode	GL4 4AT				
Are you an agent acting on behalf of the applicant?					
Primary number					
Secondary number					
Fax number					
Email address					
3. Agent Details					
Title	MR				
First name	Glenn				
Surname	Church				
Company name	Homeplan Drafting Services				
Address line 1	28 Jasmine Close				
Address line 2	Abbeydale				
Address line 3					
Town/city	Gloucester				
Country					
Postcode	GL4 5FJ				
Primary number					
Secondary number					
Fax number					
Email					
4. Description of Proposed Works					
Please describe the pro	•				
TWO STOREY EXTENSION TO SIDE					
Has the work already b	een started without consent?	○ Yes	⊚ No		
5. Materials					
Does the proposed development require any materials to be used externally? • Yes • No					
Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):					
Walls					
Description of existing materials and finishes (optional): FACING BRICK (FACING BRICK CAVITY CONSTRUCTION			
Description of proposed materials and finishes: FACING BRICK CAVITY CONSTRUCTION					

5. Materials			
Roof			
Description of existing materials and finishes (optional):	CONCRETE ROOF TILES		
Description of proposed materials and finishes:	CONCRETE ROOF TILES		
Windows			
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED		
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED		
Doors			
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED		
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED		
Boundary treatments (e.g. fences, walls)			
Description of existing materials and finishes (optional):	FENCE		
Description of proposed materials and finishes:	NO CHANGE		
Vehicle access and hard standing			
Description of existing materials and finishes (optional):	DRIVEWAY		
Description of proposed materials and finishes:	NO CHANGE		
Lighting			
Description of existing materials and finishes (optional):	240V MAINS		
Description of proposed materials and finishes:	NO CHANGE		
Are you supplying additional information on submitted plans, drawings or a desig	n and access statement? Yes No		
If Yes, please state references for the plans, drawings and/or design and access	statement		
DRAWINGS: RW-6CC-A-G-001 RW-6CC-A-G-002A			
		_	
6. Trees and Hedges			
Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your Yes No			
proposed development?			
Will any trees or hedges need to be removed or pruned in order to carry out your	r proposal?		
7. Pedestrian and Vehicle Access, Roads and Rights of Way		_	
Is a new or altered vehicle access proposed to or from the public highway?			
Is a new or altered pedestrian access proposed to or from the public highway?			
s a new or altered pedestrian access proposed to or from the public highway?			

7. Pedestrian and Vehicle Access, Roads and Rights of Way				
Do the proposals require any diversions, extinguishment and/or creation of public rights of way?	es No			
8. Parking Will the proposed works affect existing car parking arrangements?	s			
9. Site Visit Can the site be seen from a public road, public footpath, bridleway or other public land?	es O No			
If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? The agent The applicant Other person				
10. Pre-application Advice				
Has assistance or prior advice been sought from the local authority about this application?	es No			
11. Authority Employee/Member With respect to the Authority, is the applicant and/or agent one of the following: (a) a member of staff (b) an elected member (c) related to a member of staff (d) related to an elected member It is an important principle of decision-making that the process is open and transparent. Yes No For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority. Do any of the above statements apply?				
12. Ownership Certificates and Agricultural Land Declaration CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14 I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner* of any				
part of the land or building to which the application relates, and that none of the land to which the application relates is holding**	, or is part of, an agricultural			
* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. ** 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act. NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the				
land is, or is part of, an agricultural holding. Person role The applicant The agent	io application rotates sur ino			
Title MR				
First name GLENN				
Surname CHURCH				
Declaration date (DD/MM/YYYY) 21/01/2022				
✓ Declaration made				

13. Declaration			
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.			
Date (cannot be pre- application)	21/01/2022		





WORKSHOP STUDY | DINING ISTEP Dn SUN PIPE TO LANDING **EN-SUITE** BATHROOM **KITCHEN BEDROOM** WINDOW TO SIDE FROSTED GLASS \ LANDING **UTILITY SPACE BEDROOM** BEDROOM LIVING ROOM BEDROOM W/C STORAGE BINS/BIKES PORCH FIRST FLOOR SET BACK EXTEND LIVING ROOM

SECTION THRO' MAIN HOUSE

ELEVATION ON B - 1:100

FULL FILL CAVITY WALL

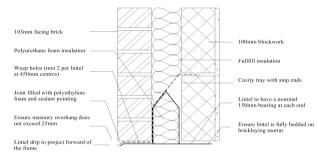
To achieve minimum U Value of 0.28W/m²K New cavity wall to comprise of 105mm facing brick to match existing. Full fill the cavity with Dritherm32 cavity insulation as manufacturer's details. Inner leaf to be 100mm lightweight block. K value 0.16, (Aircrete, Celcon solar, Topblock toplite standard). Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1:6 cement mortar.

All walls constructed using stainless steel vertical twist type retaining wall ties built in at 750mm ctrs horizontally, 450mm vertically and 225mm ctrs at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5628-6.1: 1996 and BS EN

LINTELS

- For uniformly distributed loads and standard 2 storey domestic loadings only Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 900mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm² and incorporating steel strands to BS 5896 to support loadings assessed to BS 5977 Part 1. For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufactures standard tables. Stop ends, DPC trays and weep holes to be provided above all externally located lintels.

LINTEL AND CAVITY TRAY



INTERNAL STUD PARTITIONS

100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm. Provide min 10kg/m³ density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Isowool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide noggins where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

INTERMEDIATE FLOORS

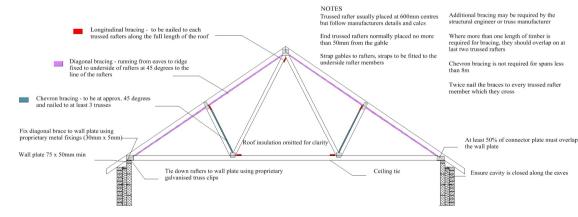
Intermediate floor to be 25mm t&g flooring grade chipboard or floorboards laid on C24 joists at 400mm ctrs (see engineer's calculation for sizes and details). Lay 100mm Rockwool mineral fibre quilt insulation min 10kg/m³ or equivalent between floor joists. Ceiling to be 12.5 FireLine plasterboard with skim plaster set and finish. Joist spans over 2.5m to be strutted at mid span using 38 x 38mm herringbone strutting or 38mm solid strutting (at least 2/3 of joist depth). In areas such as kitchens, utility rooms and bathrooms, flooring to be moisture resistant grade in accordance with BS EN 312:2010. Identification marking must be laid upper most to allow easy identification. Provide lateral restraint where joists run parallel to walls, floors are to be strapped to walls with 1000mm x 30mm x 5mm galvanised mild steel straps or other approved in compliance with BS EN 845-1 at max 2.0m centres, straps to be taken across minimum 3 no. joists. Straps to be built into walls. Provide 38mm wide x ¾ depth solid noggins between joists at strap positions.

TRUSSED RAFTER ROOF FIRST FLOOR

Pitched roof to be formed using proprietary prefabricated manufactured trusses. Design of roof trusses to be produced by specialist truss manufacturer to BS EN 595:1995 and submitted to Building Control for approval prior to commencement of work. Trusses to be placed at max 600ctrs in accordance with BS 8103-3:2009 and BS EN 1995-1 on suitable wall plates fixed using proprietary galvanised steel truss clips. All strapping, fixing and bracing to be in accordance with manufacturer's instructions. Mechanically fix trusses to 100 x 50mm sw treated wall plates using galvanized steel truss clips.

Form ceiling using 12.5mm plasterboard and min 3mm thistle multi-finish plaster and lay 150mm Rockwool insulation between ceiling joists with a further 170mm layer over joists (cross direction). Provide polythene vapour barrier between insulation and plasterboard. Ensure opening at eaves level at least equal to continuous strip 25mm wide in two opposite sides to promote cross-ventilation. Mono pitched roofs to have ridge/high level ventilation equivalent to a 5mm gap via proprietary tile vents spaced in accordance with manufacturer's details.

FINK TRUSS ROOF



UNVENTED PITCHED ROOF GROUND FLOOR REAR ROOF EXTENDED Pitch 22-45°

To achieve U-value 0.18 W/m²K

Timber roof structures to be designed by an Engineer in accordance with NHBC Technical Requirement R5 Structural Design. Calculations to be based on BS EN 1995-1-1. Roofing tiles to match existing on 25 x 38mm tanalised sw treated battens on breathable sarking felt to relevant BBA Certificate. Supported on 47 x 195mm grade C24 rafters at max 400mm centres span to engineer's details. Rafters supported on 100 x 50mm treated sw wall plates. Allow min 20mm air space to allow for drape of breathable felt. Insulation to be 150mm Kingspan Kooltherm between rafters & Kingspan insulated dry-lining board comprising 12.5mm plasterboard and 25mm of insulation under rafters. 5mm skim coat of finishing plaster to the underside of all ceilings. Restraint strapping - Ceiling joists tied to rafters (if raised collar roof consult structural engineer) 100mm x 50mm wall plate strapped down to walls. Ceiling joists and rafters to be strapped to walls and gable walls, straps built into cavity, across at least 3 timbers with noggins. All straps to be 1000 x 30 x 5mm galvanized straps or other approved to BSEN 845-1 at 2m centres. THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - 'SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS' OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)

2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS

3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS

4) ALL WORKS TO BE CARRIED OUT UNDER ALOCAL AUTHORITY BUILDING NOTICE ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY, CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS. THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.

NEW AND REPLACEMENT WINDOWS

New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension

NEW AND REPLACEMENT DOORS

New and replacement doors to achieve a U-Value of 1.80W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

ESCAPE WINDOWS Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed openable area of 450mm high x 450mm wide, minimum 0.33m sq. The bottom of the openable area should be not more than 1100mm above the

ABOVE GROUND DRAINAGE All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have

75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction. Size of wastes pipes and max length of branch connections (if max length is exceeded then anti

floor. The window should enable the person to reach a place free from danger from fire.

vacuum traps to be used) Wash basin - 1.7m for 32mm pipe 4m for 40mm pipe Bath/shower - 3m for 40mm pipe 4m for 50mm pipe

W/c - 6m for 100mm pipe for single WC All branch pipes to connect to 110mm soil and vent pipe terminating min 900mm above any

openings within 3m. Or to 110mm upvc soil pipe with accessible internal air admittance valve complying with BS EN 12380, placed at a height so that the outlet is above the trap of the highest fitting. Waste pipes not to connect on to SVP within 200mm of the WC connection.

BACKGROUND AND PURGE VENTILATION

Supply hot and cold water to all fittings as appropriate.

Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm²; and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm² Purge ventilation - New Windows/rooflights to have openable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens

Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

EXTRACT TO BATHROOM

Bathroom to have mechanical vent ducted to external air to provide min 15 litres / sec extraction. Vent to be connected to light switch and to have 15 minute over run if no window in room. Internal doors should be provided with a 10mm gap below the door to aid air circulation. Ventilation provision in accordance with the Domestic Ventilation Compliance Guide. Intermittent extract fans to BS EN 13141-4. All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

ELECTRICAL

All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

INTERNAL LIGHTING

nt fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance

Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

REV A: JAN 2022, MINOR ALTERATIONS



AS PROPOSED GROUND FLOOR PLAN - 1:50

THIS BAR SHOULD SCALE 5M @ 1:50

ROOF TO GROUND FLOOR

AS PROPOSED FIRST FLOOR PLAN - 1:50