

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Kevin

Surname

Palmer (Deputy)

Company Name

Iacopi Palmer Solicitors LLP

Address

Address line 1

Iacopi Palmer Solicitors LLP

Address line 2

Spinnaker House

Address line 3

Spinnaker Road

Town/City

Gloucester

Country

Glos

Postcode

GL2 5FD

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposed works

Has the work already been started without consent?

Yes

No

Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

Type:

Walls

Existing materials and finishes:

Facing Brickwork

Proposed materials and finishes:

Facing Brickwork to closely match the existing

Type:

Roof

Existing materials and finishes:

Pitched tiled roof

Proposed materials and finishes:

Single ply membrane flat roof system (dark grey / black in colour)

Type:

Windows

Existing materials and finishes:

uPVC

Proposed materials and finishes:

uPVC to match

Type:

Doors

Existing materials and finishes:

uPVC

Proposed materials and finishes:

uPVC to match the existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

Existing drawing T1332.01E
Proposed drawing T1332.03B

Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

Yes

No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes

No

Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes

No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes

No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes

No

Parking

Will the proposed works affect existing car parking arrangements?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates and Agricultural Land Declaration

Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

Yes

No

Is any of the land to which the application relates part of an Agricultural Holding?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**

*** "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.**

**** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.**

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

The Applicant

The Agent

Title

Mrs

First Name

Angela

Surname

Phelps

Declaration Date

01/03/2022

Declaration made

Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Angela Phelps

Date

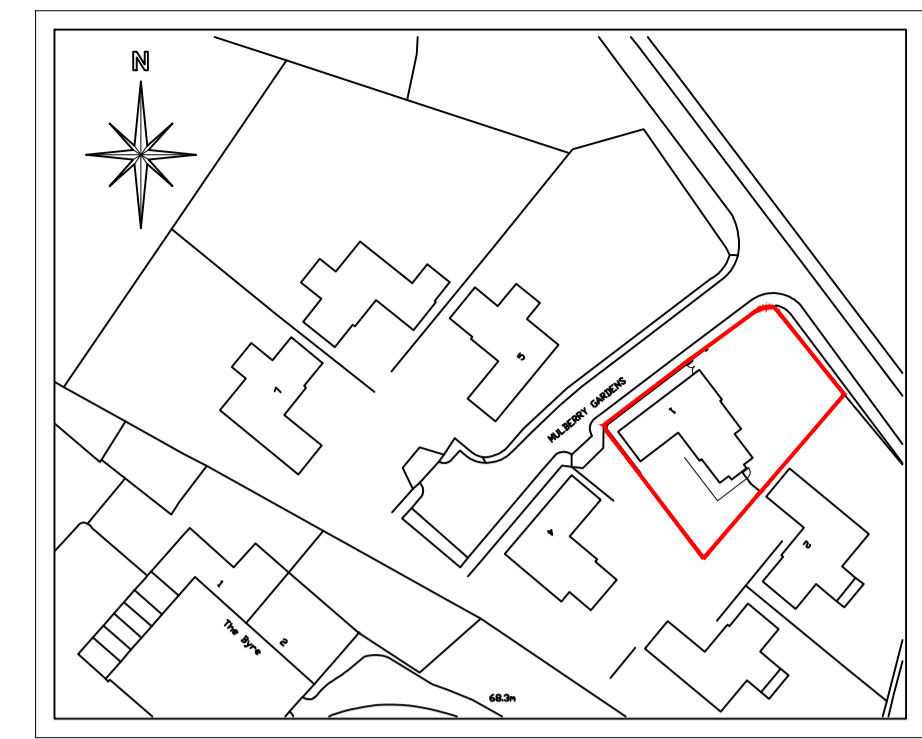
01/03/2022



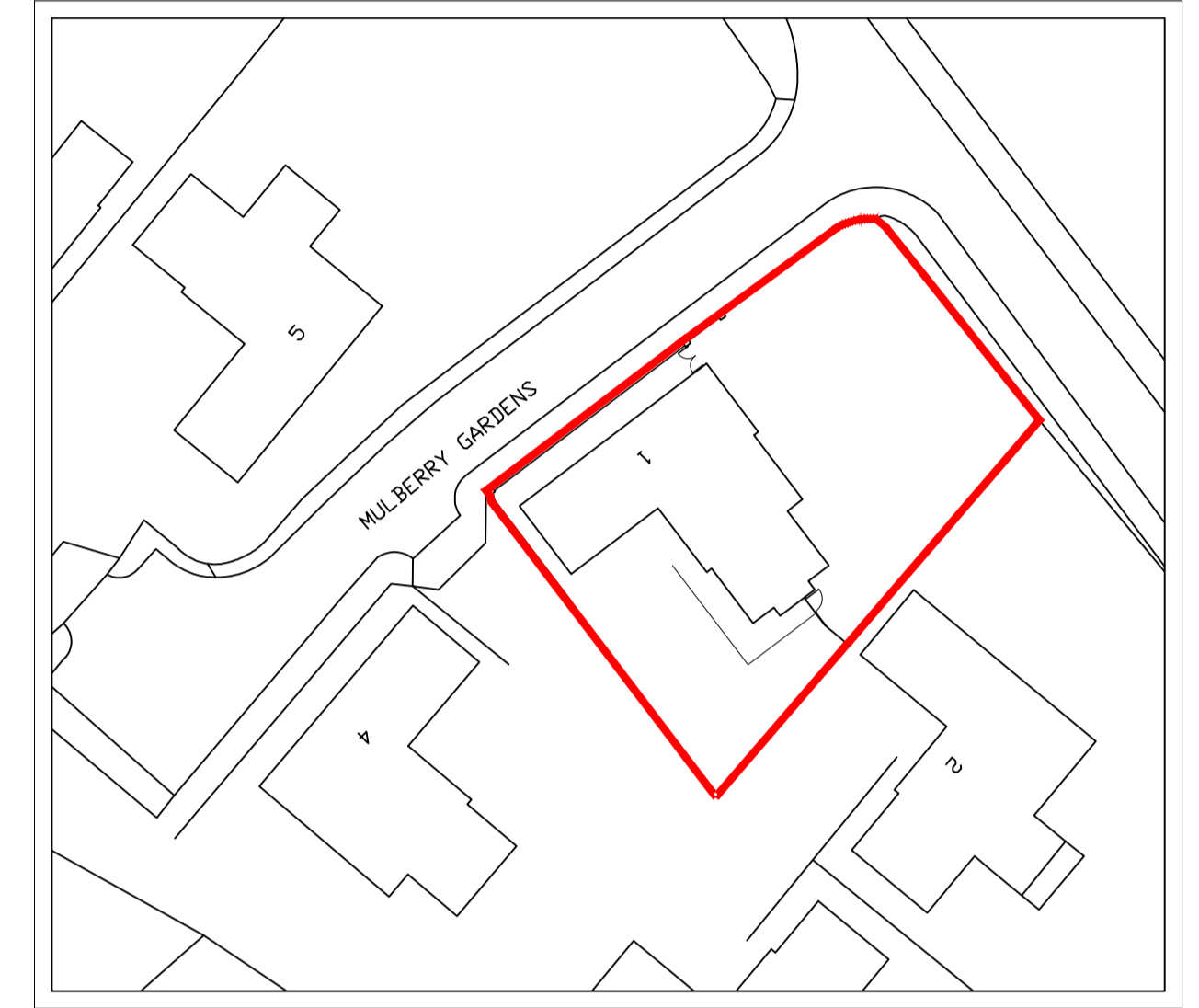
SIDE ELEVATION (SOUTH EAST)

REAR ELEVATION (NORTH EAST)

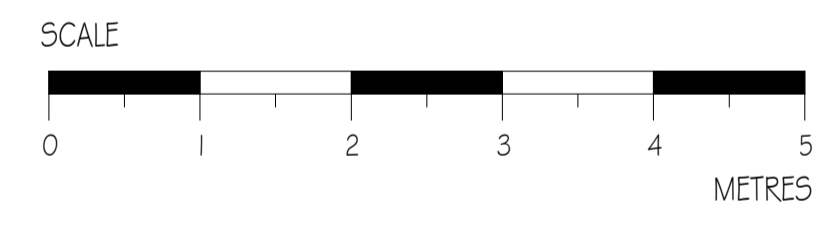
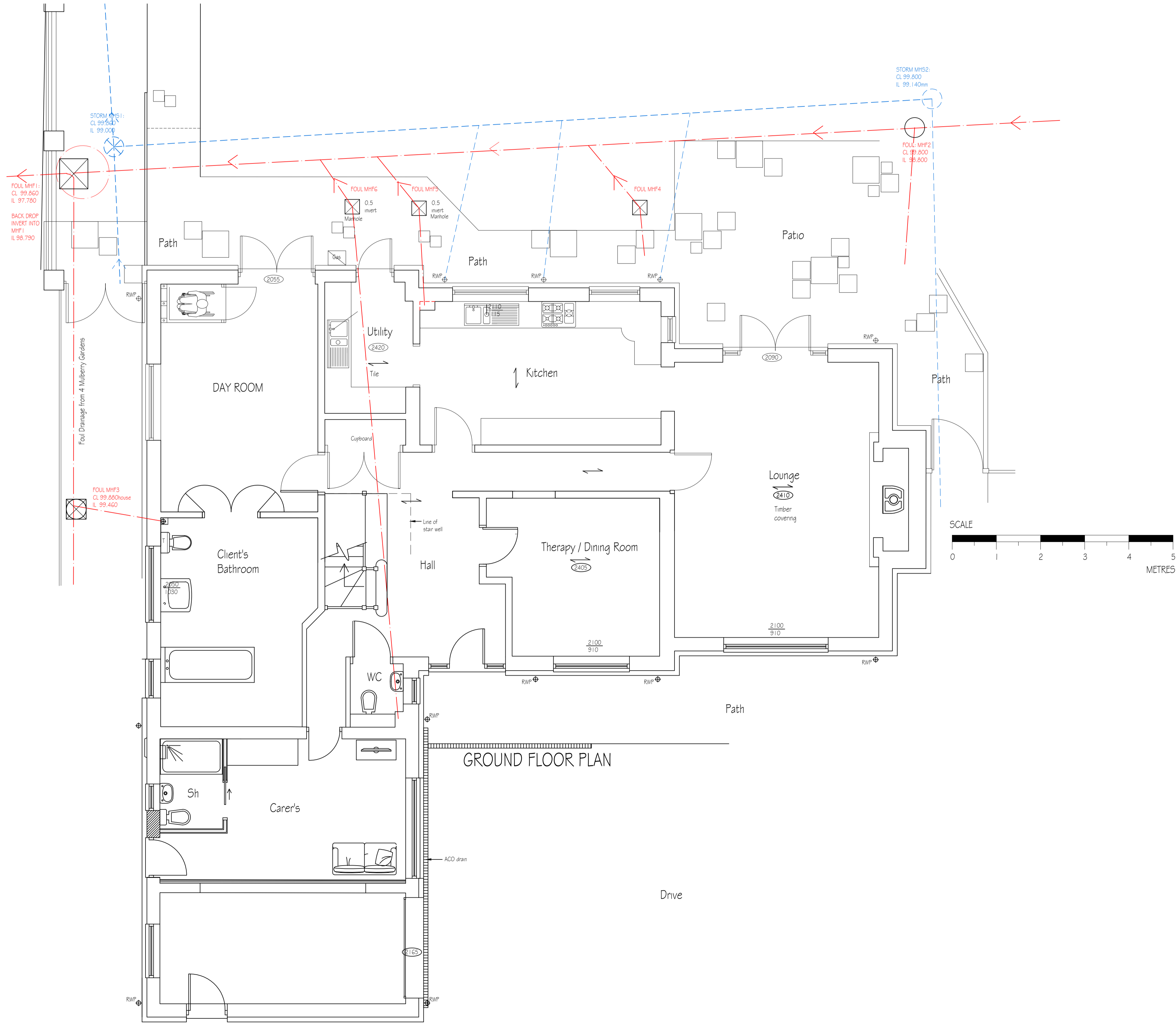
SIDE ELEVATION (NORTH WEST)



LOCATION PLAN 1:1250



BLOCK PLAN 1:500



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2. Due to unavoidable inaccuracies during the reproduction process, these drawings should not be scaled. Where dimensions are critical Angela Wadley should be requested to confirm dimensions based on survey information. Scales appearing on this drawing are for indicative purposes only.
3. All dimensions and particulars to be checked on site, any discrepancy to be reported to Director Angela Wadley MCIAT before work commences.
4. No responsibility will be accepted for any work of construction undertaken prior to the receipt of statutory approvals, or subsequently when work is not in strict accordance with the drawings.
5. All the dimensions are in metres or millimetres unless otherwise stated.
6. Client / Builder to check prior to commencement on site for any services that may restrict building works at high level, above, and below ground level - TOTAL DESIGN LTD do not consult with services companies.
7. All work based on good working practice and accredited construction details.
8. When any roof alteration work or demolition is to take place, if any signs of bats, stop work & notify an ecologist & Natural England.
9. It is the Client's responsibility to inform TOTAL DESIGN LTD of any Legislation / Agreements / Covenants in place that would prevent / restrict development taking place on the proposed site. TOTAL DESIGN LTD do not consult with external parties / consultants regarding (non-planning/building regulation) legal matters relating to any proposals. Unless otherwise specified TOTAL DESIGN LTD are employed to obtain Planning and Building Regulation Approval ONLY.

REV.	DATE	DESCRIPTION
A	10/01/22	Drainage updated (AMP)
E	01/03/22	Drawing updated for planning purposes (ELB)
F	March 22	Additional info required for planning (AMP)

FOR PLANNING

TOTAL DESIGN LTD
Architectural Consultants

TD

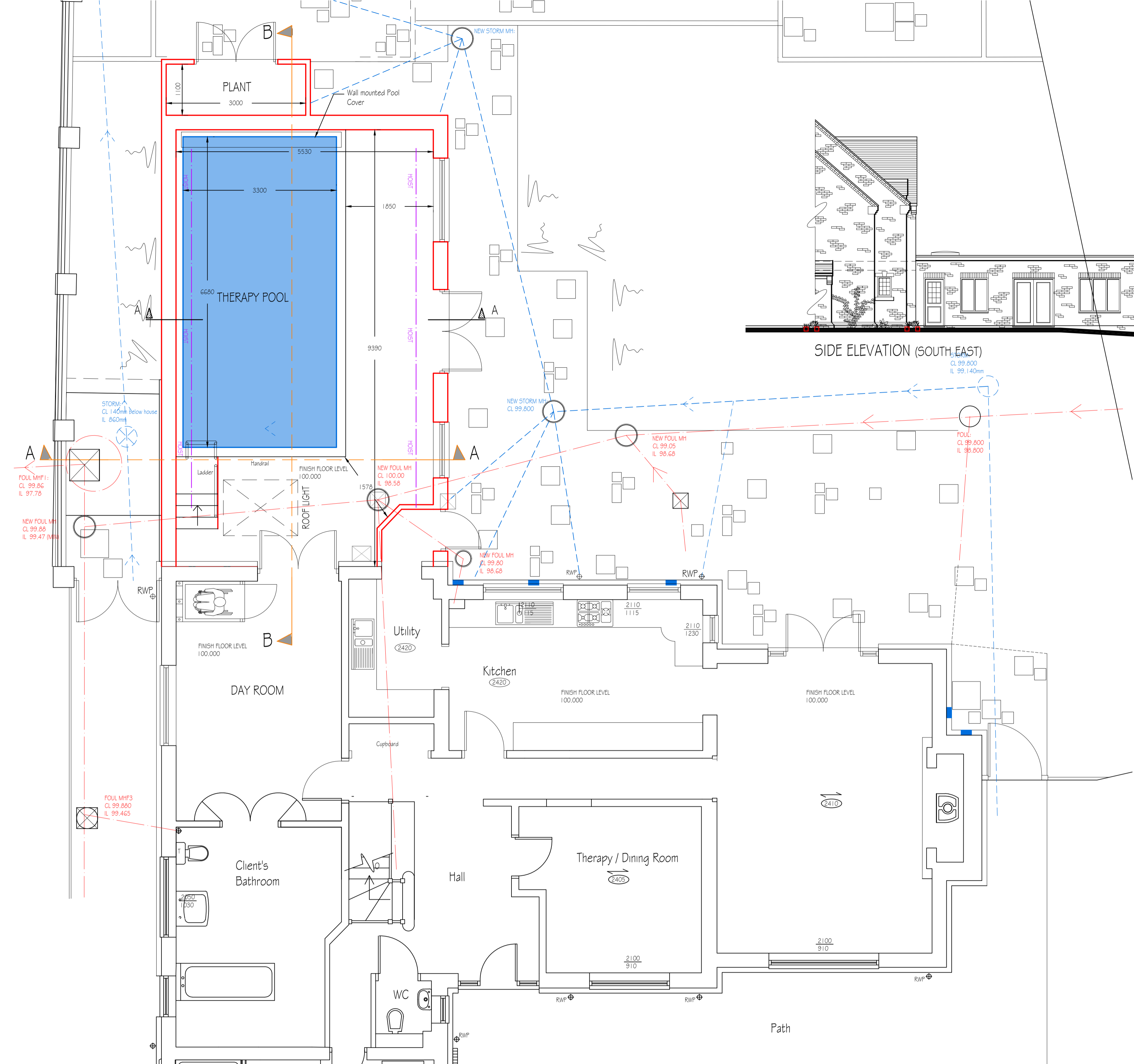
PROJECT: 1 Mulberry Gardens
Matson
GLOS GL4 6BN

TITLE: Survey of Existing

CLIENT: Mr & Mrs Kortright
C/O MR K Palmer

SCALE: 1:100 & 1:50 @ A1 DWG NO:
DATE: December 2021 T1332.01F
DRAWN: AMP

Note:- Properties built prior to 2000 should have a full asbestos survey carried out on the area of the building where disturbance is likely



GROUND FLOOR PLAN

NOTE TO CLIENT RE CDM 2015:
 ALL CONSTRUCTION PROJECTS ARE SUBJECT TO THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015. UNDER CDM 2015 THE CLIENTS DUTIES HAVE BEEN STRENGTHENED AND BROADENED. CLIENTS DUTIES UNDER (CDM 2015) CAN BE FOUND ON THE FOLLOWING LINK <http://www.hse.gov.uk/pubns/indg411.pdf>

As architectural consultants we shall undertake our services for you endeavouring to avoid any unnecessary design risks that could potentially cause harm on site or for ongoing maintenance. However if due to clients design brief or if any unavoidable risks occur then as soon as we are aware we will make these known to the client to notify the principle contractor if we are not appointed as principle designer after planning and/or building regulations have been completed. All projects must have workers with the right skills, it is assumed that all works will be carried out by a competent contractor. The contractor must provide appropriate supervision/information and a written phase plan.

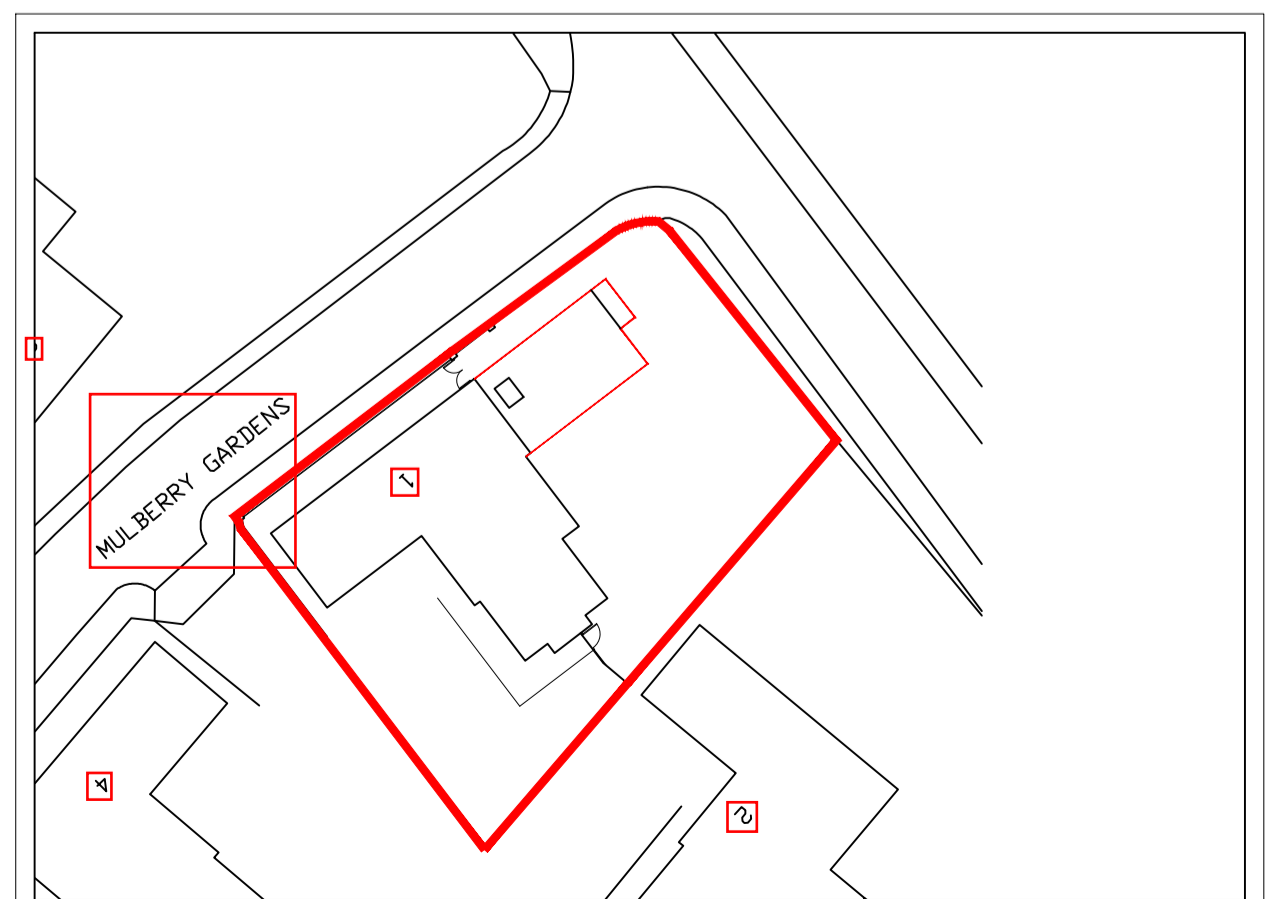
We will list/indicate any residual risks on our working drawings that need to be considered outside of the normal hazardous risk that potentially can occur on building sites. Normal hazards will be managed by the builder/contractor on site activities along with construction phase health & safety planning.

- RISKS LISTED HERE ARE SIGNIFICANT, AND ASSOCIATED WITH THE PATH OF CONSTRUCTION WORK OR RELATED STRUCTURAL WORK:
- ASBESTOS - prior to any demolition/alterations an asbestos survey should be carried out (carried out on all properties built before 2000 in the area of the building where disturbance is likely)
 - SERVICES - prior to demolition existing services should be disconnected, where alteration or new works are carried out the client/principle contractor should make necessary inquiries with all relevant utility companies to ensure there is not any restrictions on the project. TOTAL DESIGN LTD HAVE NOT CONTACTED ANY OF THE UTILITY COMPANIES.
 - DEMOLITION - to be carried out by competent person/contractor making the local authority building control aware of the works
 - DUST - airborne dust particles from construction processes/works
 - STRUCTURAL - adhere to structural engineer's method statements for all structural works, permanent and temporary works.
 - PUBLIC - protection of any members of the public or anyone occupying the site/building when works are carried out.

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B	01/03/22	Drawing updated for planning (ELB)
C	10/03/22	Additional info added for budget purposes (AMF)
D	March 22	Additional info required for planning (AMF)

FOR PLANNING



BLOCK PLAN 1:500

TOTAL DESIGN LTD
 Architectural Consultants **TD**

PROJECT: 1 Mulberry Gardens
 Matson
 GLOS GL4 6BN

TITLE: Proposed Draft

CLIENT: Mr & Mrs Kortright
 C/O MR K Palmer

SCALE: 1:100 & 1:50 @ A1 DWG NO:
 DATE: December 2021 T1332.03D
 DRAWN: AMP