

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)	Northing (y)
<input type="text" value="387302"/>	<input type="text" value="216866"/>

Description

## Applicant Details

### Name/Company

Title

Mr & Mrs

First name

Steve

Surname

Watkin

Company Name

### Address

Address line 1

9, Appleton Way

Address line 2

Hucclecote

Address line 3

Town/City

Gloucester

County

Country

Postcode

GL3 3RP

Are you an agent acting on behalf of the applicant?

- ☒ Yes  
☐ No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

Name/Company

Title

First name

Surname

Company Name

## Address

Address line 1

Address line 2

Address line 3

Town/City

County

Country

Postcode

Contact Details

Primary number

\*\*\*\*\* REDACTED \*\*\*\*\*

Secondary number

Fax number

Email address

\*\*\*\*\* REDACTED \*\*\*\*\*

Description of Proposed Works

Please describe the proposed works

Two-storey front / side extension. Single-storey rear extension

Has the work already been started without consent?

- ☐ Yes
- ☒ No

Materials

Does the proposed development require any materials to be used externally?

- ☒ Yes
- ☐ No



Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Roof

**Existing materials and finishes:**

Concrete interlocking tiles. Glass to conservatory

**Proposed materials and finishes:**

Concrete interlocking tiles

**Type:**

Windows

**Existing materials and finishes:**

White PVCu

**Proposed materials and finishes:**

White PVCu

**Type:**

Walls

**Existing materials and finishes:**

Facing brick

**Proposed materials and finishes:**

Facing brick

**Type:**

Doors

**Existing materials and finishes:**

White PVCu. Blue front door

**Proposed materials and finishes:**

White PVCu. Blue front door

**Type:**

Other

**Other (please specify):**

Rainwater goods

**Existing materials and finishes:**

Black PVCu

**Proposed materials and finishes:**

Black PVCu

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes

☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

X

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

☐ Yes

☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes

☒ No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes

☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes

☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes

☒ No

## Parking

Will the proposed works affect existing car parking arrangements?

☒ Yes

☐ No

If Yes, please describe:

XXX New double garage XXX

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes

☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

☒ The agent

☐ The applicant

☐ Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes

☐ No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title

\*\*\*\*\* REDACTED \*\*\*\*\*

First Name

\*\*\*\*\* REDACTED \*\*\*\*\*

Surname

\*\*\*\*\* REDACTED \*\*\*\*\*

Reference

Date (must be pre-application submission)

30/03/2022

Details of the pre-application advice received

Hi [REDACTED],

I don't recall discussing this as a free go but it's possible going back to the time that I took over as the case officer we did have such a conversation. Assuming a fee was paid for the application we have just determined there would still be a free go available. However, if the resubmission used up the free go a fee would need to be paid for any further resubmission.

I think I did confirm that, if [REDACTED] wanted to pursue the original scheme, the best option would be to resubmit it (which we would be highly likely to refuse) to gain the option to challenge any refusal at appeal. The permission we have granted presents a fall-back position, but in my view the original scheme is much larger than the fall-back and quite out of scope with our guidance that we'd still be seeking to refuse it and have a very good case at appeal.

Or, is [REDACTED] looking to submit the interim design that we resisted, but didn't publicly consult on? That may fair slightly better at an appeal as I think it was around 5 metres in depth (to the front of the dwelling) rather than 3.5m?

I'm happy to have a chat about this before any resubmission if that would help.

This information represents my informal opinion and is given in good faith. It is in no way binding on any future decisions of the local planning authority.

I trust this information is of assistance to you and I look forward to your response.

Kind regards,

Dave

David Millinship

Senior Planning Officer

Place

Gloucester City Council

Shire Hall

Westgate Street

Gloucester, GL1 2TG

david.millinship@gloucester.gov.uk

www.gloucester.gov.uk

## Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- ☐ Yes
- ☒ No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- ☒ Yes
- ☐ No

Is any of the land to which the application relates part of an Agricultural Holding?

- ☐ Yes
- ☒ No

### Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.

\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.

**NOTE:** You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person Role

- ☐ The Applicant
- ☒ The Agent

Title

First Name

Surname

Declaration Date

03/11/2022

☒ Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

☒ I / We agree to the outlined declaration

Signed

PSK Cheltenham LTD

Date

03/11/2022

This drawing is copyright and should not be reproduced without permission.  
Do not scale from drawing for construction.  
If in doubt contact main contractor before proceeding.  
The contractor is responsible for checking all information before any orders are placed or construction commences.  
All drawings to be read in conjunction with Structural Engineers' report, which takes precedence over all other specifications.  
Main contractor responsible for site safety.

H	31/10/22	PLANNING ISSUE
G	20/09/22	Detached garage added
F	07/12/21	Planning revisions
E	18/10/21	Planning revisions
D	11/10/21	Planning revisions
C	27/05/21	Block Plans revised
B	27/05/21	Client revisions
A	25/05/21	Driveway revised
Rev.	Date	Revisions

**PSK**  
architect  
*Your Home Extension Specialists*

PSK Cheltenham Ltd,  
41 Bath Road,  
Cheltenham,  
GL53 7HQ.

TITLE

Mr. & Mrs. S. Watkin,  
9 Appleton Way,  
Hucclecote,  
Gloucester,  
GL3 3RP.

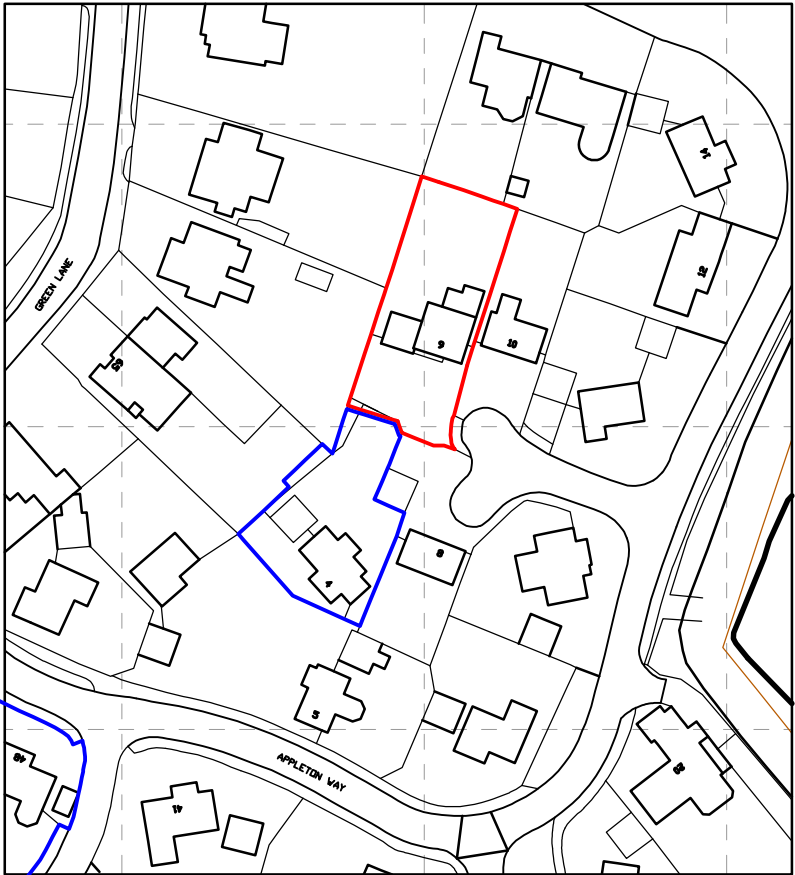
DESCRIPTION

Construction of  
detached garage

Site Location Plan  
Existing & Proposed Block Plans

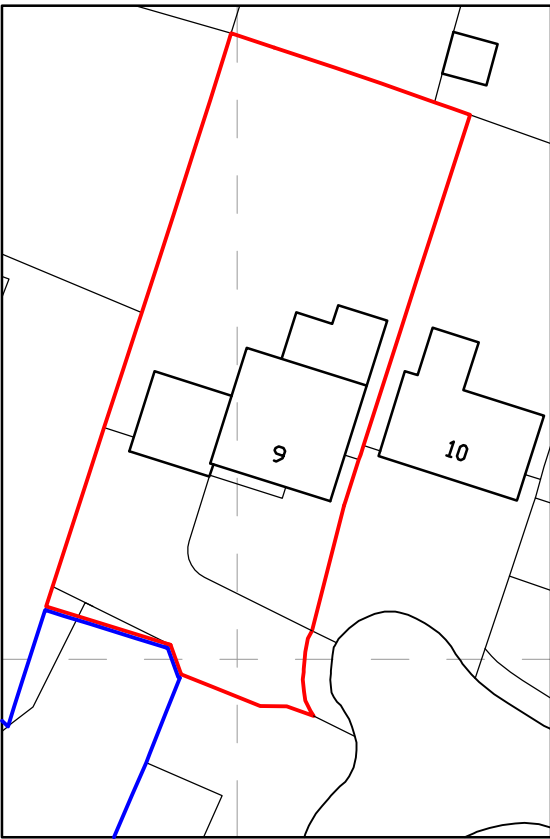
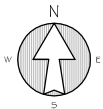
DATE May 2021	SCALE As noted @ A3
DRAWN MCH	CHECKED ---

A188P/162 - 06 Rev. H

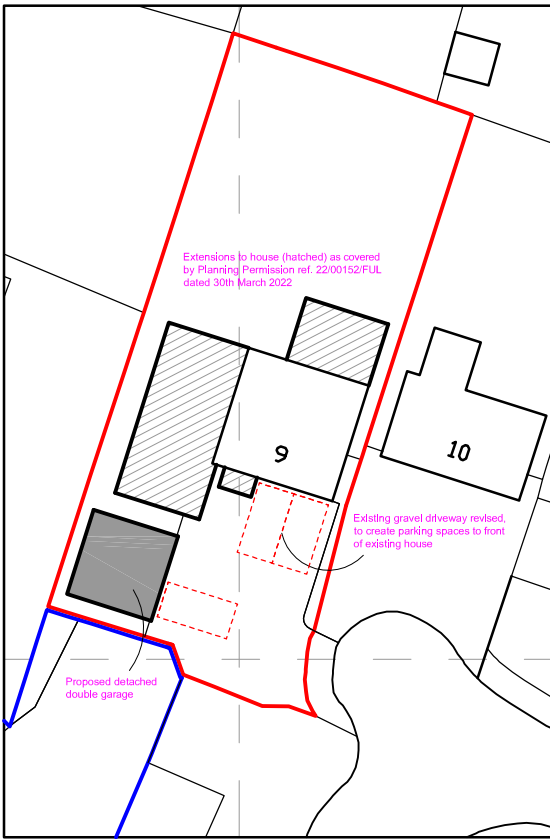
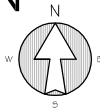


Ordnance Survey (c) Crown Copyright 2021. All rights reserved. Licence number 100022432

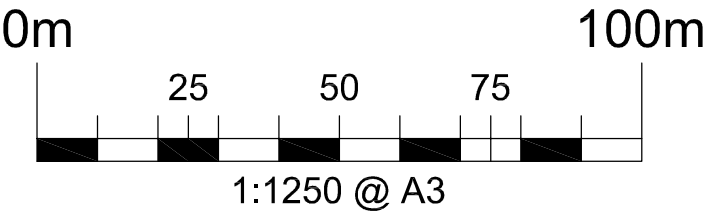
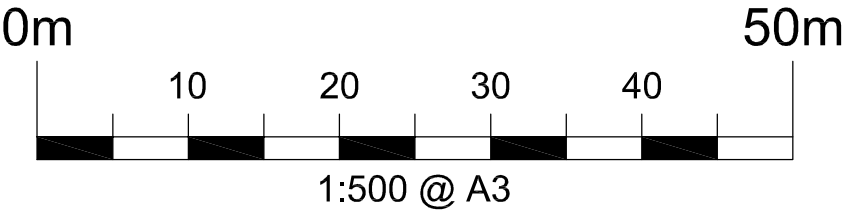
**SITE LOCATION PLAN**  
Scale 1:1250 @ A3



**EXISTING BLOCK PLAN**  
Scale 1:500 @ A3



**PROPOSED BLOCK PLAN**  
Scale 1:500 @ A3



RIBA

PSK Cheltenham Ltd is a chartered practice  
registered with RIBA.



Development Control  
Gloucester City Council  
PO Box 3252  
Gloucester  
GL1 9FW

03/11/2022

**RE: Householder planning application (Planning Portal Ref. PP-11659111) for development described as *Construction of detached garage* at 9 Appleton Way Gloucester GL3 3RP “the application site”**

Dear Sir/Madam,

In accordance with Section 55(1) and Section 57(1) of the Town and Country Planning Act 1990, the following application is made for householder development for development as described above at the given address. Further to the payment of a planning application fee of £206.00 and in addition to drawings of the existing property, the following plans and drawings are submitted in support of the application:

- A188P/162 – 06 Rev. H – Site Location Plan; Existing & Proposed Block Plans
- A188P/162 – 01 Rev. A – Plans as Existing
- A188P/162 – 02 Rev. A – Elevations as Existing
- A188P/162 – 03 Rev. K – Proposed Plans
- A188P/162 – 05 Rev. K – Proposed Elevations



### **Proposed development**

The development proposed consists of the construction of a detached garage on existing garden land. Measuring **5.84m** in width and depth and **4.68m** in overall height, the garage would be block-built and finished with red-brick, with a roof of concrete interlocking tiles. As per proposed elevations, projecting brickwork beneath the eaves would match that on the existing dwelling. The garage would provide covered parking for two vehicles or could be used for purposes incidental to residential purposes, e.g. storage, in which case three car-parking spaces can be accommodated within the application site.

Extensions to the existing dwellinghouse to accommodate elderly relatives have been approved under a previous application (LPA Ref. 22/00152/FUL). As shown on submitted plans and drawings, the approved development includes a two-storey side extension measuring **5.80m** in width and projecting forward of the existing principal elevation of the dwelling by **3.80m**. The overall height for the two-storey extension to the existing dwellinghouse is **7.30m**, measuring **5.20m** to the eaves. A separation distance of **1.50m** between the approved extension and proposed garage would be retained.

### **Planning policy and material considerations**

Section 70(2) of the Town and Country Planning Act 1990 and Section 38(6) of the Planning and Compulsory Act 2004 require that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise.

The documents that comprise the development plan are the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy 2011 - 2031 (Adopted 11 December 2017) (*JCS*) and the City of Gloucester Local Plan (Adopted 14 September 1983). A Pre-Submission version of the Gloucester City Plan (City Plan) was approved for publication and submission on 26 September 2019. On the basis of the stage of preparation that the plan has reached, and the consistency of its policies with the National Planning Policy Framework, the emerging policies of the plan can be afforded limited to moderate weight in accordance with Paragraph 48 of the NPPF.

The Gloucester Development Plan is supported by planning documents, e.g. Home Extension Guide, Interim Adoption Supplementary Planning Document (August 2008).

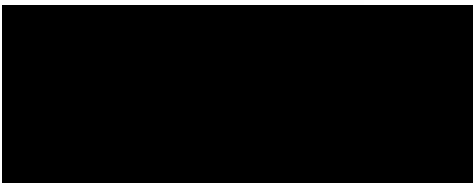
A previous proposal, consisting of an enlargement to the approved two-storey side extension and integral garage forward of the principal elevation of the dwellinghouse, was refused by the local

planning authority and subsequently dismissed at appeal (LPA Ref. 22/00458/FUL and Inspectorate Ref. APP/U1620/D/22/3303182 – See Appendix 1). The Inspector appointed to determine the appeal found that the proposal's overall size and bulk gave rise to harm to the host dwelling and, as a result, the overall area character. The appeal established that should a garage not be used for covered car-parking, three off-street parking spaces can be accommodated on the application site.

In contrast to this previous application, the overall mass and bulk of the proposed development has been reduced. The dimensions of the garage building would be similar to the existing integral garage which is to be replaced as well as those in neighbouring properties within Appleton Way and in the surrounding area. The presence of a garage would reflect the overall prevailing character of the surrounding area, where the majority of dwellinghouses benefit from similarly designed double garages. As such it is considered the proposal is in accordance with **Policy SD4** of the JCS and **Policy A1** of the Gloucester City Plan, which safeguard against poor design and architecture that does not integrate with the surrounding environment.

As the proposal is in accordance with policies contained within the development plan with no other material considerations, I request that the development be granted permission.

Yours sincerely,



Paul O'Sullivan *Licentiate Member of the RTPI*

**Planning Consultant**

PSK Cheltenham Ltd t/a PSK Architect

Tel: [REDACTED]

**Appendix 1 – Planning Appeal Decision – 9 Appleton Way,  
Hucclecote, Gloucester, GL3 3RP – Inspectorate Ref.  
APP/U1620/D/22/3303182**



---

## Appeal Decision

Site visit made on 11 October 2022

by [REDACTED]

an Inspector appointed by the Secretary of State

Decision date: 28th October 2022

---

**Appeal Ref: APP/U1620/D/22/3303182**

**9 Appleton Way, Hucclecote, Gloucester GL3 3RP**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr and Mrs Steve and Sharon Watkin against the decision of Gloucester City Council.
  - The application Ref 22/00458/FUL, dated 3 May 2022, was refused by notice dated 6 July 2022.
  - The development proposed is a two-storey front/side extension. Single-storey rear extension.
- 

### Decision

1. The appeal is dismissed.

### Main Issues

2. The main issues are:
  - The effect of the proposal on the character and appearance of the host dwelling and surrounding area, and
  - Whether the proposal makes adequate provision for vehicular parking.

### Reasons

#### *Character and appearance*

3. The appeal site lies at the end of a short cul-de-sac but is clearly visible from the surrounding area and is viewed within the context of the surrounding development. These surrounding dwellings, while predominantly two storeys in height, have somewhat modest proportions and are not overly large, which creates an attractive streetscene. This is reinforced by the spacious nature of the plots within which the buildings are positioned.
4. The appeal scheme seeks to construct a two storey addition to the side, with a projecting extension to the front of the dwelling and single storey attached double garage. The combination of the projecting front extension and attached garage would result in an addition that appears disproportionately large in comparison to the existing dwelling, as well as in comparison to the other nearby dwellings. It would be an overly bulky projection that would be visually dominant in views of the site. As a consequence, notwithstanding that the ridge of the forward extension would be set below that of the main house and that there is no definitive building line visible within the cul-de-sac, the extension would be an incongruous and discordant addition to the location, sitting uncomfortably alongside the proportions of the host property.

5. Accordingly, I find that the proposal would be harmful to the character and appearance of the host dwelling and surrounding area. Thus, it conflicts with policy SD4 of the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy (adopted 2017) (the Core Strategy) and policy A9 of the emerging Gloucester City Plan (the City Plan), insofar as they seek to ensure that development responds positively to a site and its surroundings and that extensions to dwellings are in keeping with the scale and character of existing dwellings. The scheme would also conflict with the guidance of the Gloucester City Council - Home Extension Guide Supplementary Planning Document.

### *Parking*

6. The proposed extension would occupy an area to the front of the dwelling that is currently utilised as an area for car parking. The appellant submits that the appeal scheme provides the required three parking spaces, one as a space within the frontage of the dwelling and a further two within the proposed double garage. However, given the propensity for garages to be utilised for other purposes than parking, i.e., storage, I find that the parking provision would be below the required three spaces.
7. However, I am mindful that the Council has suggested a planning condition, should I be minded to allow the appeal, that would require details of three parking spaces to be submitted for approval. I am also conscious that the appellant has submitted with the appeal details of these parking spaces, which in my view provide adequate off-street parking and would avoid any conflict with the parking arrangements of neighbouring properties.
8. As such, I consider that subject to a suitably worded planning condition, adequate off-street parking could be provided within the site and therefore, subject to this, the scheme would not result in any unacceptable effect on highway safety. Thus, I find no conflict with policies INF1 and SD4 of the Core Strategy, or policy A9 of the City Plan. Together, and amongst other things, these policies seek to ensure that development incorporates safe access as well as appropriate parking provision, and that a site is large enough to accommodate a development.

### **Other Matters**

9. I note that the proposed extensions are intended to help accommodate elderly relatives and thus there would be social benefits to the appellants. However, I am also conscious that a previously approved scheme would provide additional accommodation and the appeal scheme seeks to enlarge this. However, given the existence of an approved scheme, the benefits that would accrue to the appellant are not sufficient in this case to overcome the harm that I identify.

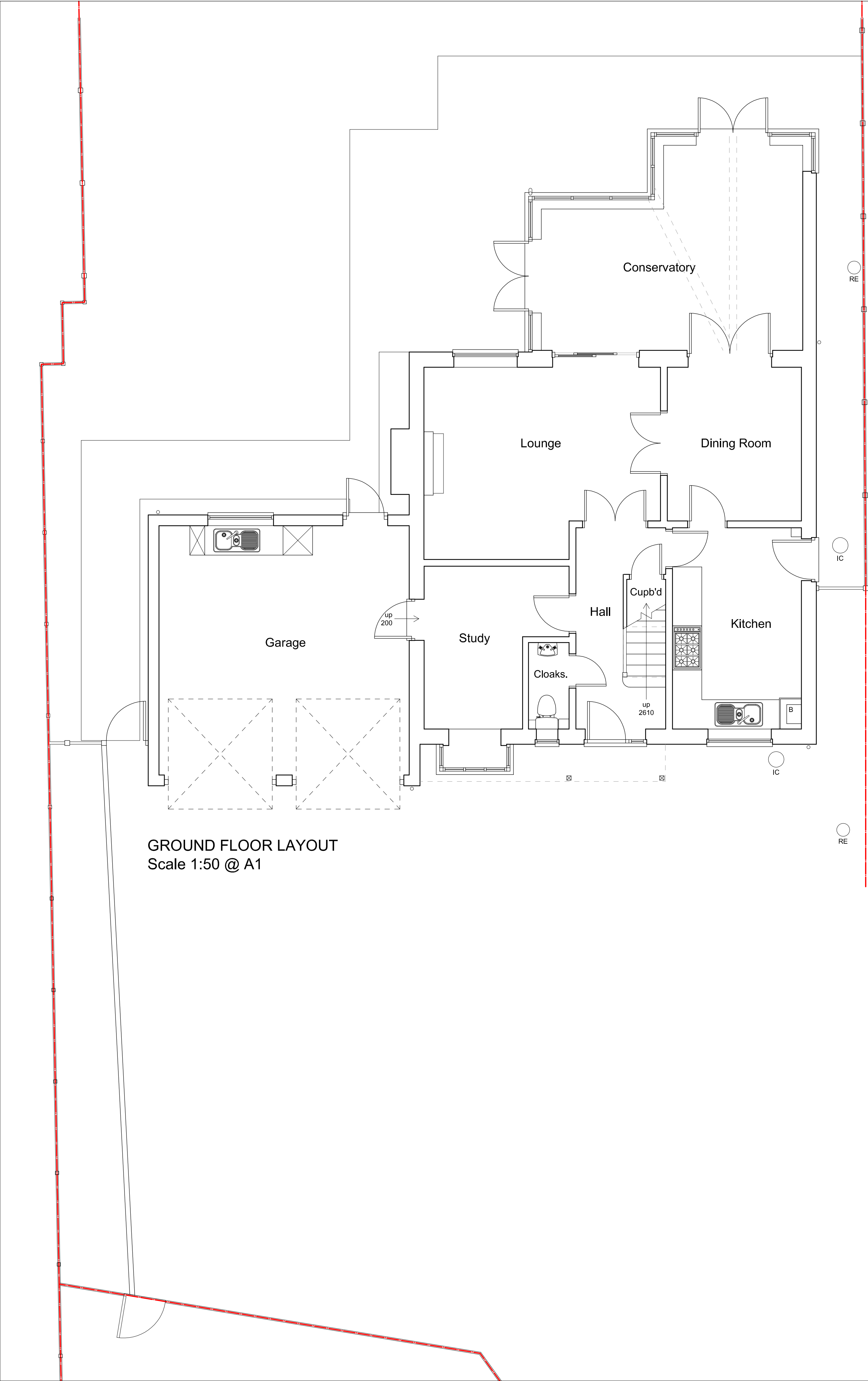
### **Conclusion**

10. For the reasons given above, and having regard to all other matters raised, I conclude that the appeal should be dismissed.

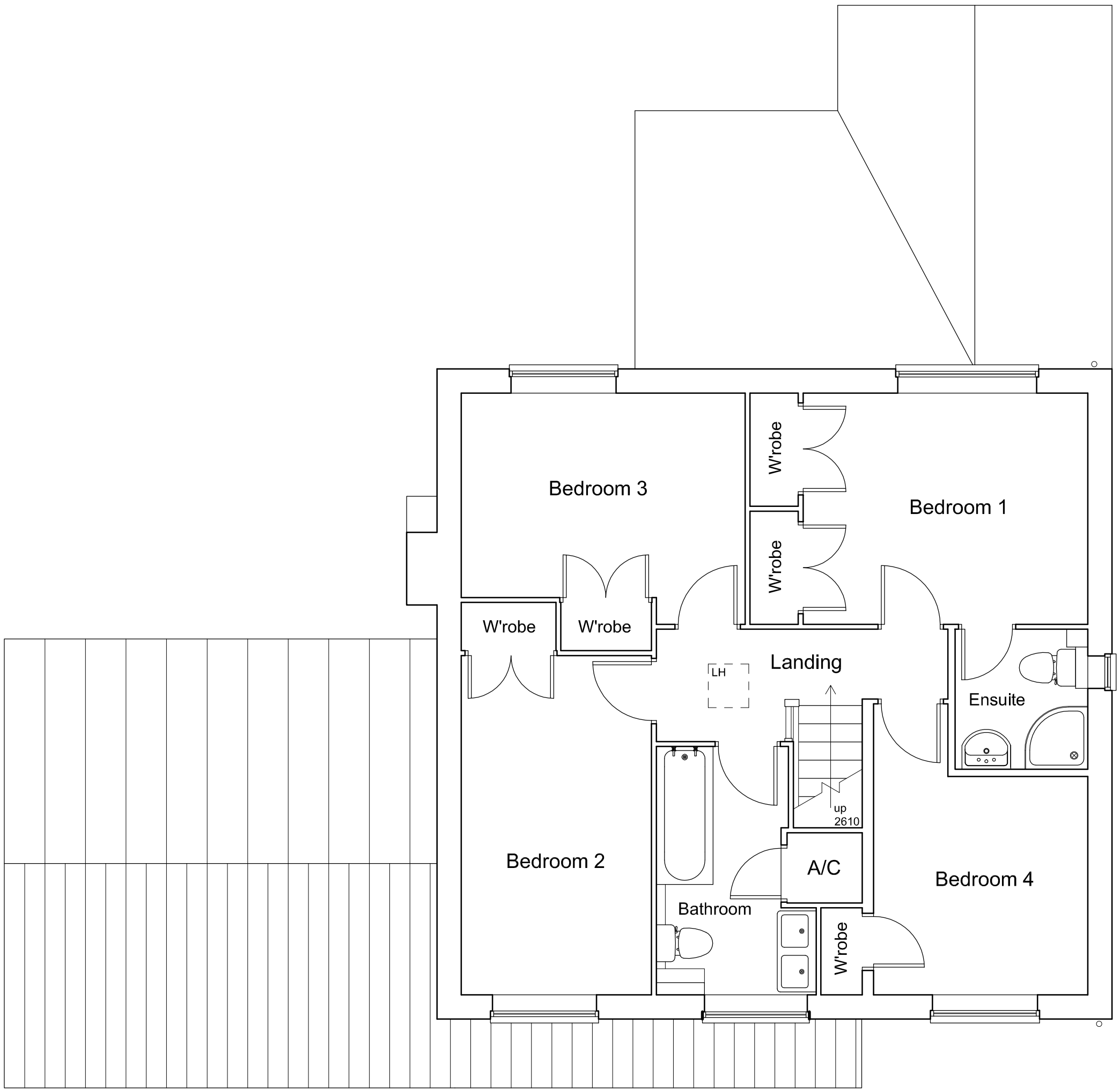


INSPECTOR

This drawing is copyright and should not be reproduced without permission.  
Do not scale from drawing for construction.  
If in doubt contact main contractor before proceeding.  
The contractor is responsible for checking all information before any orders are placed or construction commences.  
All drawings to be read in conjunction with Structural Engineers' report, which takes precedence over all other specifications.  
Main contractor responsible for site safety.



GROUND FLOOR LAYOUT  
Scale 1:50 @ A1



FIRST FLOOR LAYOUT  
Scale 1:50 @ A1

Rev.	Date	Revisions
A	27/05/21	Minor revisions

**PSK**  
architect  
*Your Home Extension Specialists*

PSK Cheltenham Ltd,  
Unit B4, Staverton Connection,  
Gloucester Road, Cheltenham,  
GL51 0TF.

TITLE  
**9 Appleton Way,  
Hucclecote,  
Gloucester,  
GL3 3RP.**

DESCRIPTION  
**Proposed Side & Rear  
Extensions & Alterations**  
  
**Layouts As Existing**

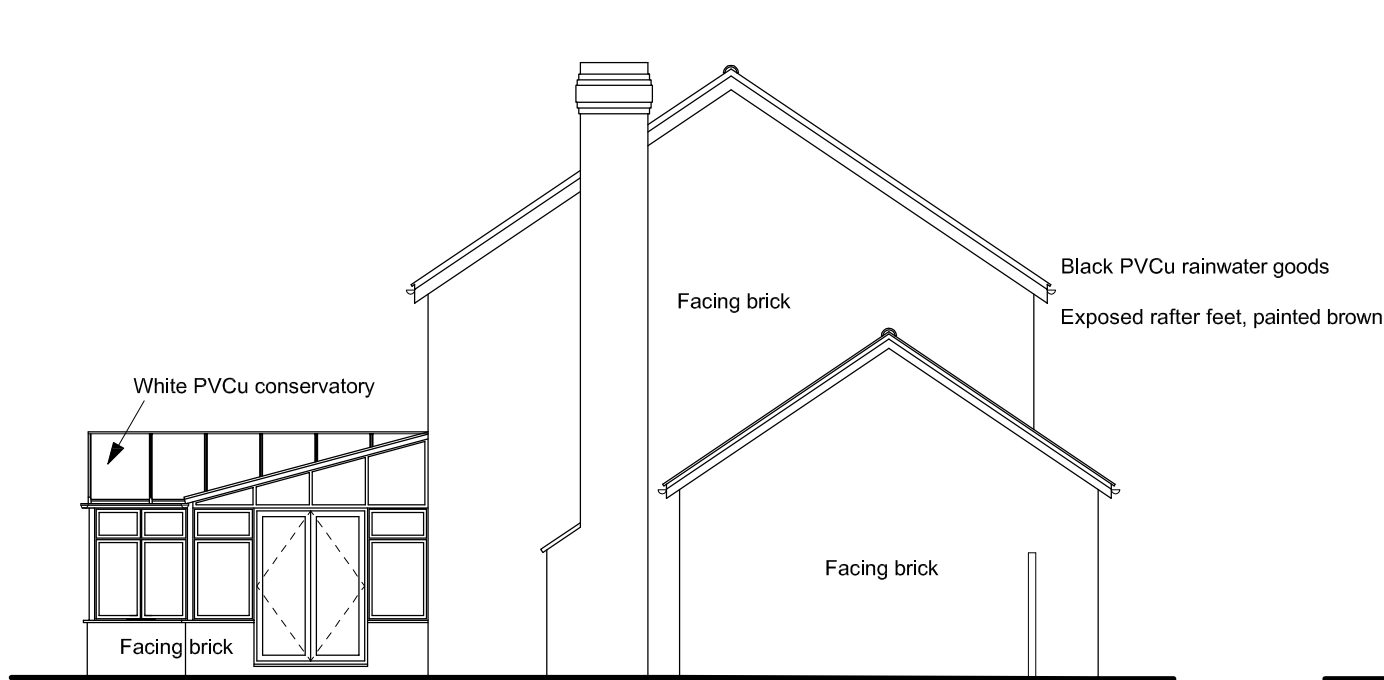
DATE Mar. 2021	SCALE As noted @ A1
DRAWN MCH	CHECKED ---

**A188P/162 - 01 Rev. A**



PSK Cheltenham Ltd is a chartered practice  
registered with RIBA.

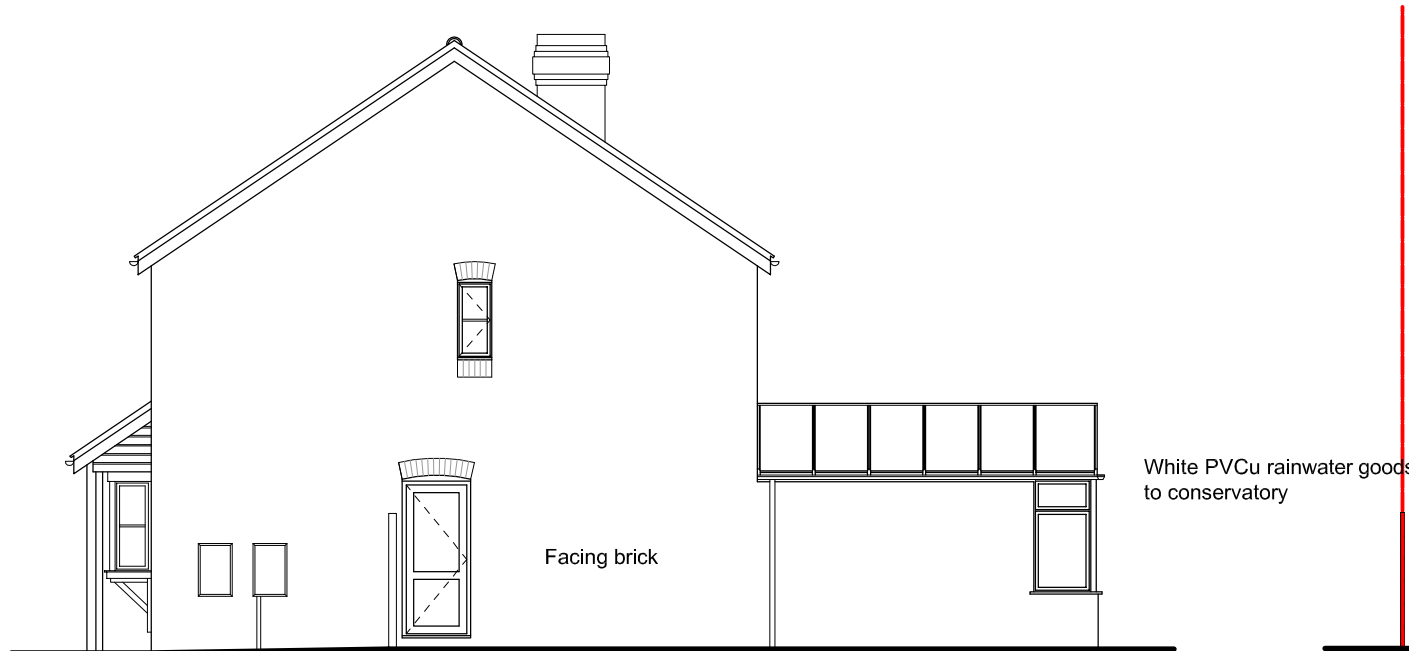
This drawing is copyright and should not be reproduced without permission. Do not scale from drawing for construction. If in doubt contact main contractor before proceeding. The contractor is responsible for checking all information before any orders are placed or construction commences. All drawings to be read in conjunction with Structural Engineers' report, which takes precedence over all other specifications. Main contractor responsible for site safety.



SIDE (WEST) ELEVATION  
Scale 1:100 @ A2



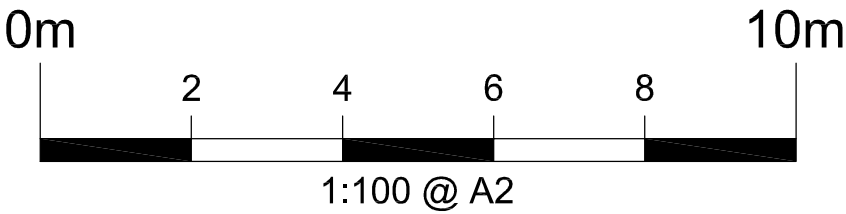
FRONT (SOUTH) ELEVATION  
Scale 1:100 @ A2



SIDE (EAST) ELEVATION  
Scale 1:100 @ A2



REAR (NORTH) ELEVATION  
Scale 1:100 @ A2



PSK Cheltenham Ltd is a chartered practice registered with RIBA.

Rev.	Date	Revisions
A	25/05/21	Minor revisions

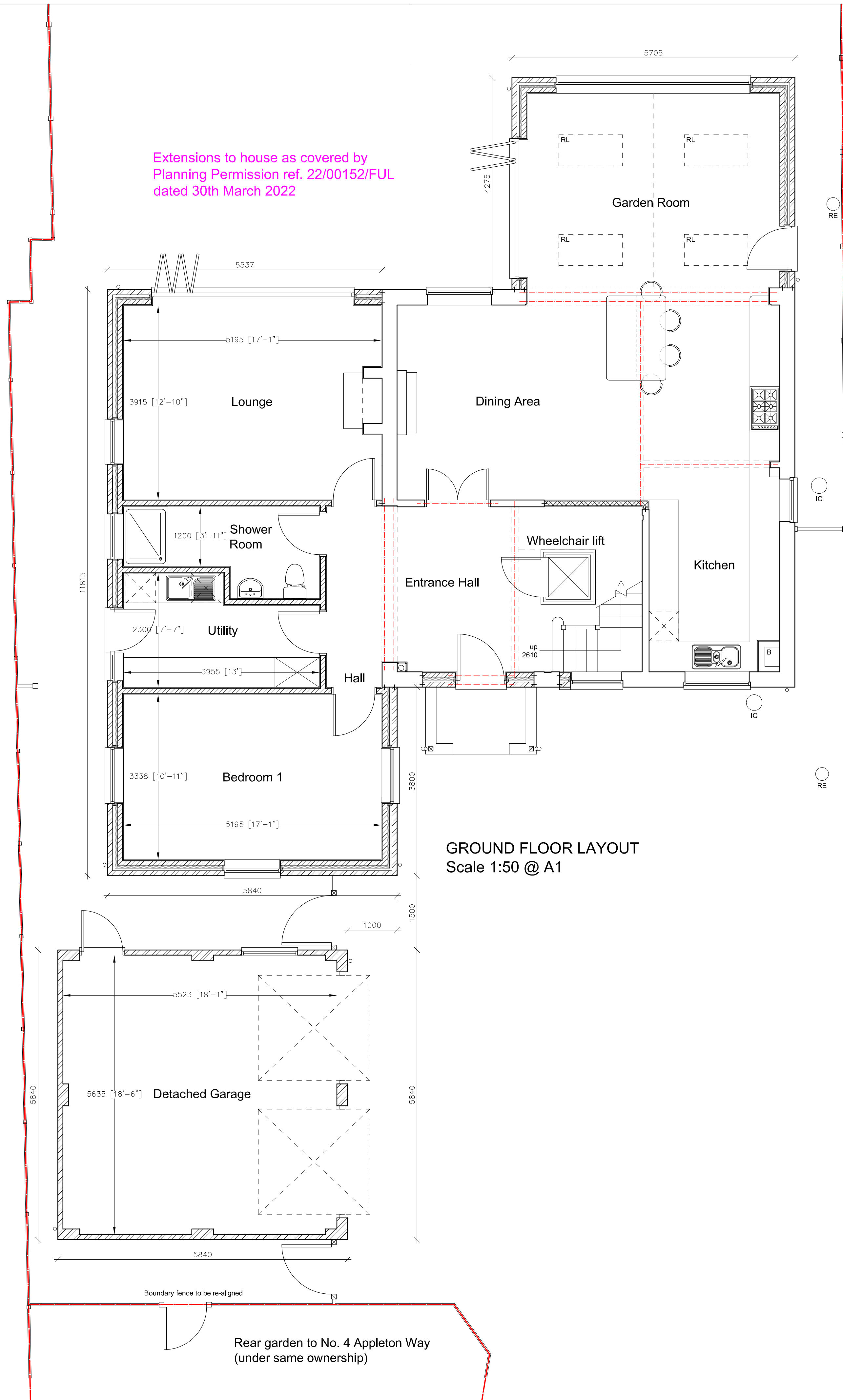
<p><b>PSK</b> architect <i>Your Home Extension Specialists</i></p> <p>PSK Cheltenham Ltd, Unit B4, Staverton Connection, Gloucester Road, Cheltenham, GL51 0TE</p>	
<p>TITLE</p> <p>9 Appleton Way, Hucclecote, Gloucester, GL3 3RP.</p>	
<p>DESCRIPTION</p> <p>Proposed Side &amp; Rear Extensions &amp; Alterations</p> <p>Elevations As Existing</p>	
DATE Mar. 2021	SCALE 1:100 @ A2
DRAWN MCH	CHECKED ---
A188P/162 - 02 Rev. A	



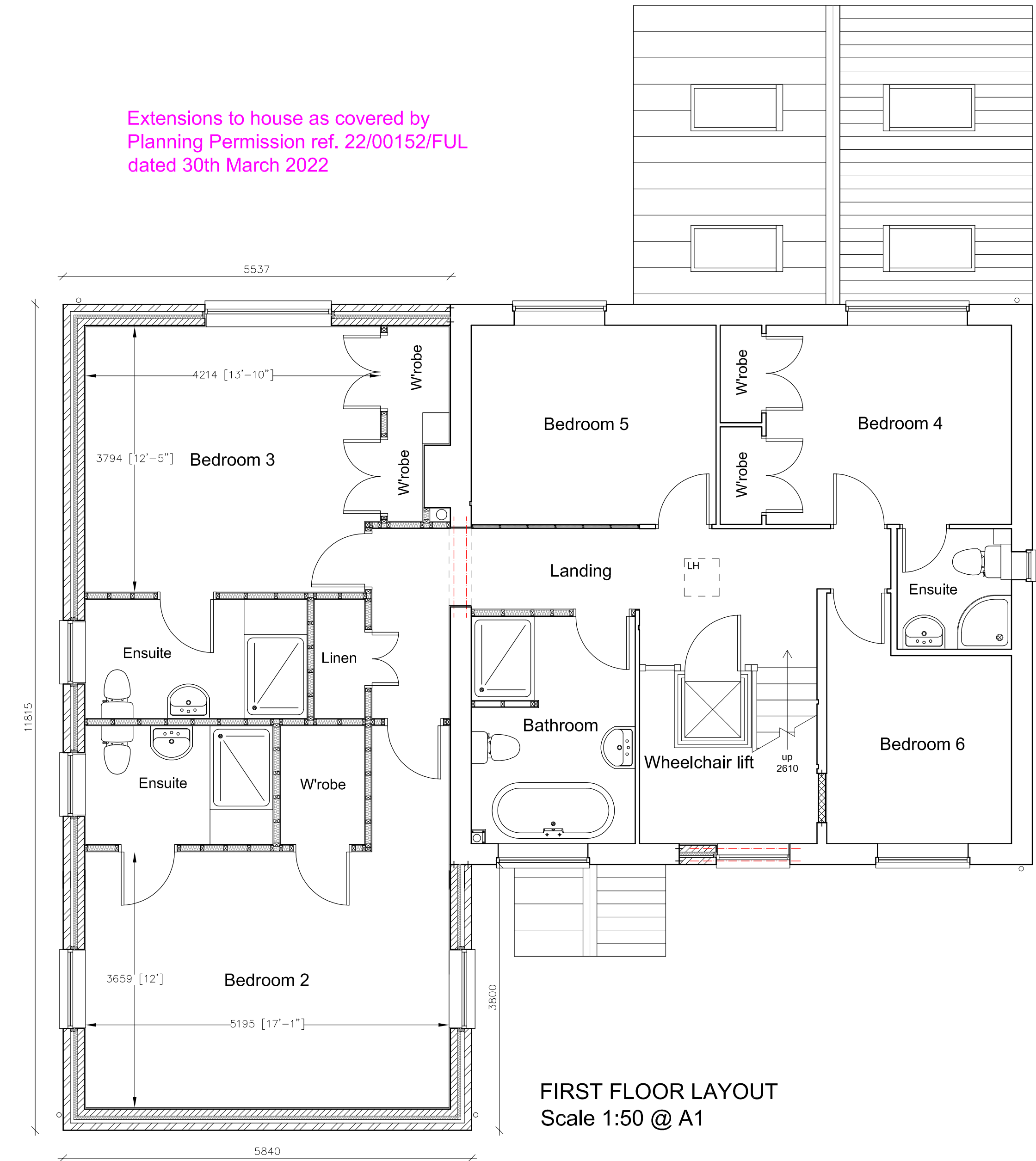
This drawing is copyright and should not be reproduced without permission. Do not scale from drawing for construction. If in doubt contact main contractor before proceeding. The contractor is responsible for checking all information before any orders are placed or construction commences. All drawings to be read in conjunction with Structural Engineers' report, which takes precedence over all other specifications. Main contractor responsible for site safety.

Extensions to house as covered by  
Planning Permission ref. 22/00152/FUL  
dated 30th March 2022

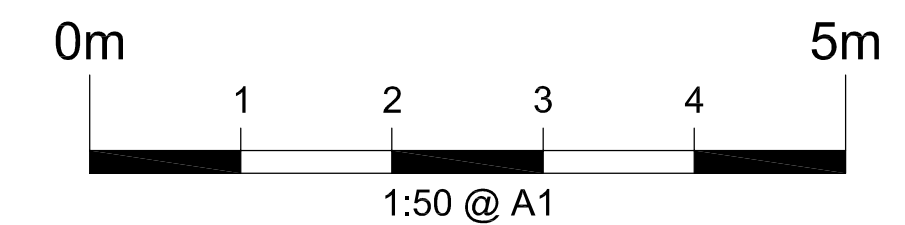
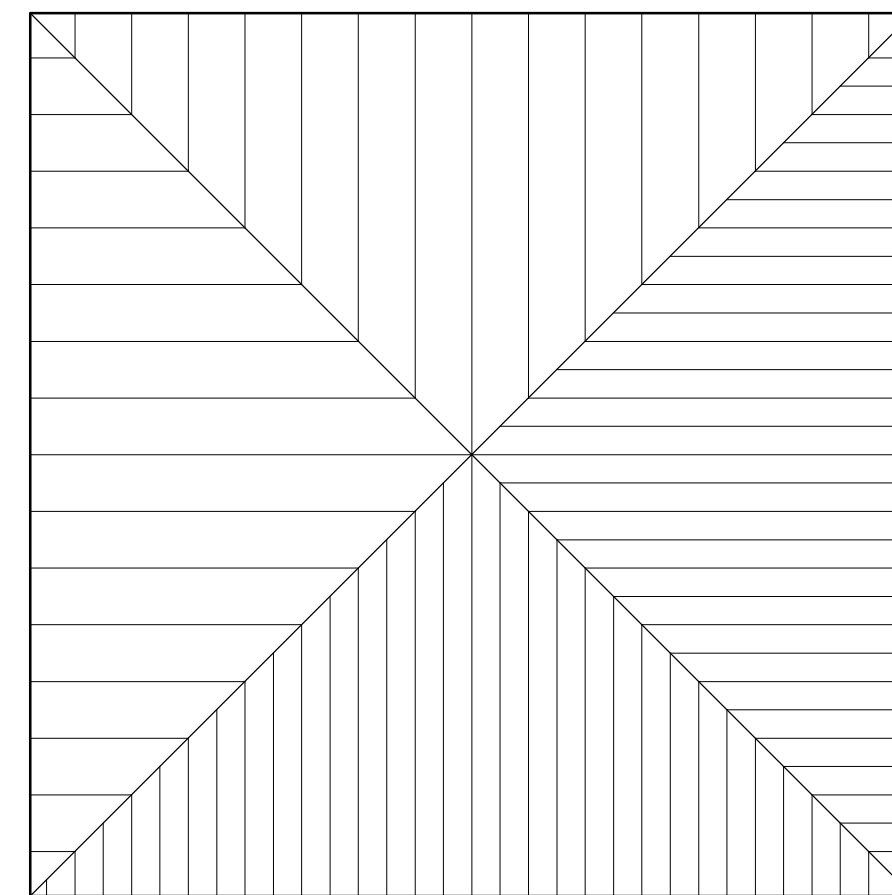
Extensions to house as covered by  
Planning Permission ref. 22/00152/FUL  
dated 30th March 2022



GROUND FLOOR LAYOUT  
Scale 1:50 @ A1



FIRST FLOOR LAYOUT  
Scale 1:50 @ A1



RIBA

PSK Cheltenham Ltd is a chartered practice  
registered with RIBA.

K	31/10/22	PLANNING ISSUE
J	03/10/22	Client revisions
H	28/09/22	Garage revised
G	20/09/22	Detached garage added
F	07/12/21	Planning revisions
E	18/10/21	Planning revisions
D	11/10/21	Planning revisions
C	27/05/21	Minor revisions
B	25/05/21	Client revisions
A	12/05/21	Client revisions
Rev.	Date	Revisions

**PSK**  
architect  
*Your Home Extension Specialists*  
PSK Cheltenham Ltd,  
41 Bath Road,  
Cheltenham,  
GL53 7HQ.

TITLE  
  
Mr. & Mrs. S. Watkin,  
9 Appleton Way,  
Hucclecote,  
Gloucester,  
GL3 3RP.

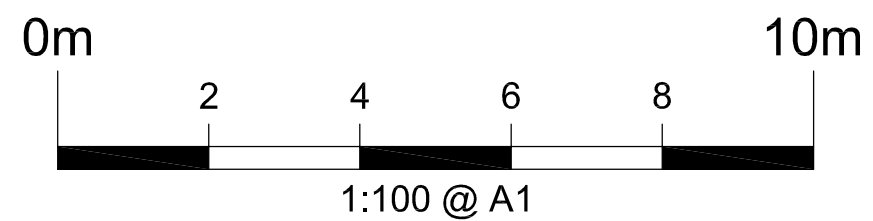
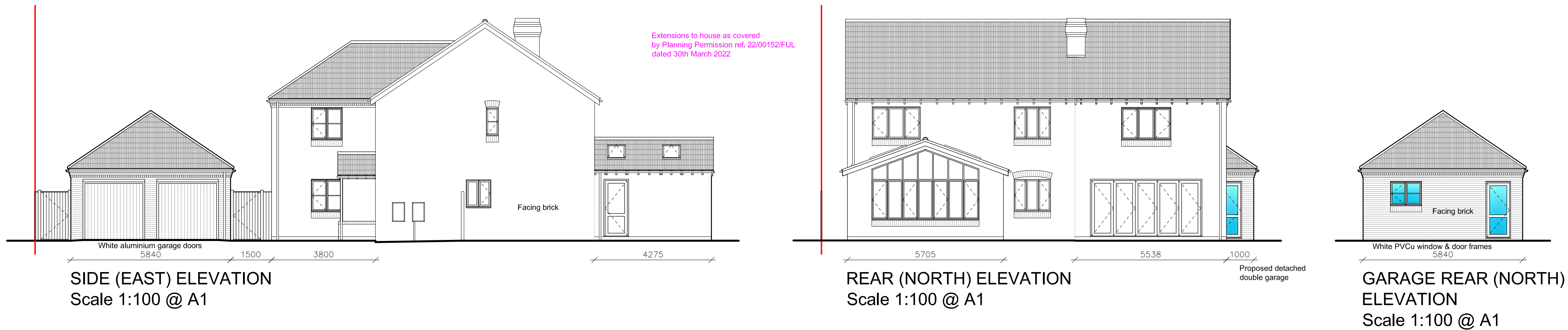
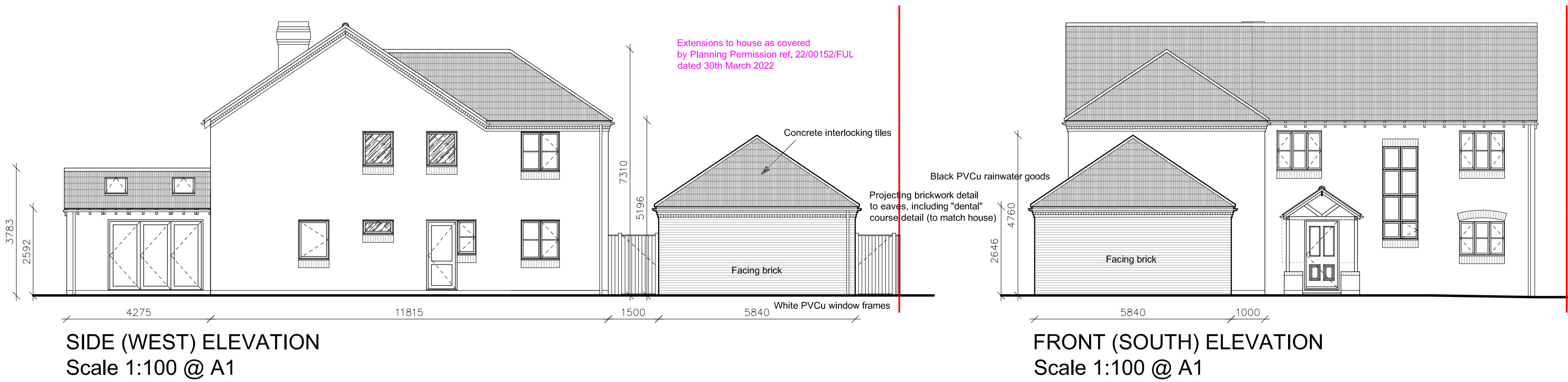
DESCRIPTION  
  
Construction of  
detached garage  
  
Ground & First Floor  
Layouts As Proposed

DATE Apr. 2021	SCALE 1:50 @ A1
DRAWN MCH	CHECKED ---

A188P/162 - 03 Rev. K



This drawing is copyright and should not be reproduced without permission. Do not scale from drawing for construction. If in doubt contact main contractor before proceeding. The contractor is responsible for checking all information before any orders are placed or construction commences. All drawings to be read in conjunction with Structural Engineers' report, which takes precedence over all other specifications. Main contractor responsible for site safety.



PSK Cheltenham Ltd is a chartered practice registered with RIBA.

K	31/10/22	PLANNING ISSUE
J	03/10/22	Client revisions
H	28/09/22	Garage revised
G	20/09/22	Detached garage added. A1
F	07/12/21	Planning revisions
E	18/10/21	Planning revisions
D	11/10/21	Planning revisions
C	27/05/21	Client revisions
B	25/05/21	Client revisions
A	12/05/21	Client revisions
Rev.	Date	Revisions

**PSK**  
architect  
*Your Home Extension Specialists*  
PSK Cheltenham Ltd,  
41 Bath Road,  
Cheltenham,  
GL53 7JQ

TITLE

Mr. & Mrs. S. Watkin,  
9 Appleton Way,  
Hucclecote,  
Gloucester,  
GL3 3RP.

DESCRIPTION

Construction of  
detached garage

Elevations As Proposed

DATE	SCALE
Apr. 2021	1:100 @ A1
DRAWN	CHECKED
MCH	---

A188P/162 - 05 Rev. K