

Development Control Gloucester City Council PO Box 3252, Gloucester, GL1 9FW 01452 396396 development.control@gloucester.gov.uk www.gloucester.gov.uk/planning

Householder Application for Planning Permission for works or extension to a dwelling

Town and Country Planning Act 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

If you cannot provide a postcod	e, the description of site location must be completed. Please provide the most accurate site description you can, to
	e "field to the North of the Post Office".
Number	2
Suffix	
Property Name	
Address Line 1	
Wellsprings Road	
Address Line 2	
Address Line 3	
Gloucestershire	
own/city	
Gloucester	
Postcode	
GL2 0NL	
	cation must be completed if postcode is not known:
Description of site location (x)	Northing (y) 219339

Applicant Details
Name/Company
Title
First name
Philip
Surname
Byrne
Company Name
Address
Address
Address line 1
2 Wellsprings Road
Address line 2
Longlevens
Address line 3
Town/City
Gloucester
Country
Postcode
GL2 0NL
Are you an agent acting on behalf of the applicant?
Contact Details
Primary number
***** REDACTED *****
Secondary number

Agent Details Name/Company Title First name Robert Sumanne Hall Company Name Pardini Hall Architecture Address Address line 1 2 Wellsprings Road Address line 2 Longlevens Address line 3 Forward City Gloucester Country United Kingdom Postcode Gl.2 ONL Contact Details Frimany number FEDACTED Frim REDACTED Fr	Fax number	
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Email address	Fax number
Description of Proposed Works Please describe the proposed works The proposal is for the construction of a part two storey, part single storey side/rear extension to the detatched property at 2 Wellsprings Road. The single storey element of the proposal is set in 30cm from the existing side wall of the property and is 1.15m wide. It extends 4.2m beyond the rear of the existing building and adjoins the two storey element with a total width of 7.1m. The single storey element will contain a glazed roof light concealed by a parapet wall. The proposal would feature a hipped roof, with external facing materials matching the existing dwelling. Has the work already been started without consent? ○ Yes ○ No Materials Does the proposed development require any materials to be used externally? ② Yes	Email address
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	The proposal would feature a hipped roof, with external facing materials matching the existing dwelling.
Does the proposed development require any materials to be used externally? ⊙ Yes	○Yes
	Does the proposed development require any materials to be used externally? ⊘ Yes

material)
Type: Walls
Existing materials and finishes: Red Brick to lower section of external walls. White Painted Render to upper section of external walls
Proposed materials and finishes: Red Brick to lower section of external walls. White Painted Render to upper section of external walls.
Type: Windows
Existing materials and finishes: UPVC windows
Proposed materials and finishes: UPVC windows to match existing
Type: Roof
Existing materials and finishes: Clay roof tiles
Proposed materials and finishes: Clay roof tiles to match existing
Type: Doors
Existing materials and finishes: UPVC front door UPVC rear french window/door
Proposed materials and finishes: Proposed partially glazed timber door to side of proposed extension. Proposed metal framed bi-fold doors to rear elevation
Type: Vehicle access and hard standing
Existing materials and finishes: gravel parking area to front and side of dwelling
Proposed materials and finishes: gravel parking area to front and side of dwelling - to match existing
Type: Boundary treatments (e.g. fences, walls)
Existing materials and finishes: Dwarf wall with hedging to front of dwelling. Solid timber fence to sides and rear of property
Proposed materials and finishes: Dwarf wall with hedging to front of dwelling. Solid timber fence to sides and rear of property to match existing
Are you supplying additional information on submitted plans, drawings or a design and access statement? Yes No
If Yes, please state references for the plans, drawings and/or design and access statement

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each

Architectural drawings - P1011, P1012, P1013, P1014, P1015 & Design and Access Statement - DAS_Wellsprings_00
Trees and Hedges
Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development? O Yes No
If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.
Architectural drawing P1500
Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ○ Yes ○ No
Pedestrian and Vehicle Access, Roads and Rights of Way
Is a new or altered vehicle access proposed to or from the public highway? ○ Yes ⊙ No
Is a new or altered pedestrian access proposed to or from the public highway? ○ Yes ⊙ No
Do the proposals require any diversions, extinguishment and/or creation of public rights of way? ○ Yes ⊙ No
Parking
Will the proposed works affect existing car parking arrangements? ○ Yes ○ No
Site Visit
Can the site be seen from a public road, public footpath, bridleway or other public land?

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?
○ The agent⊙ The applicant○ Other person

Pre-application Advice Has assistance or prior advice been sought from the local authority about this application? ○ Yes ⊙ No
Authority Employee/Member With respect to the Authority, is the applicant and/or agent one of the following: (a) a member of staff (b) an elected member (c) related to a member of staff (d) related to an elected member It is an important principle of decision-making that the process is open and transparent. For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority. Do any of the above statements apply? Yes No
Ownership Certificates and Agricultural Land Declaration Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D. Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days? Yes No Is any of the land to which the application relates part of an Agricultural Holding?
 ○ Yes ○ No Certificate Of Ownership - Certificate A I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding**
* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.
** "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.
NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.
Person Role ○ The Applicant ⊙ The Agent

First Name Robert Surname Hall Declaration Date 09/02/2022 Declaration made
Robert Surname Hall Declaration Date 09/02/2022
Surname Hall Declaration Date 09/02/2022
Hall Declaration Date 09/02/2022
Declaration Date 09/02/2022
09/02/2022
✓ Declaration made
Declaration
I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.
✓ I / We agree to the outlined declaration
Signed
Robert hall
Date
10/02/2022

Pardini Hall Architecture

DESIGN AND ACCESS STATEMENT 2 Wellsprings Road, Longlevens, Gloucester, GL2 0NL.



Introduction

This Design and Access Statement is in support of a householder application for planning permission for a rear extension to the property at:

2 Wellsprings Road Longlevens, Gloucester, GL2 0NL.

This statement should be read in conjunction with the drawings enclosed as part of this application.

Site Description

2 Wellsprings Road is a detached 1930's two-storey dwelling which currently benefits from a private rear garden and a driveway. Refer to Appendix 02 & 03.

The Proposal

The proposal is for the construction of a part two storey, part single storey side/rear extension, subservient to the original house. The Proposal has been fully integrated with the design and appearance of the original house so that it appears as part of it.

The proposal will create more internal floor space at ground floor to accommodate the requirement of the owner and will include:

- Bathroom
- Utility room
- Kitchen

For a total additional floor area of approx 33 sqm.

At first floor this will include:

- New master bedroom
- En-suite bathroom

For a total addition floor area of about 27 sqm.

The two storey element of the proposal would extend 1.1m beyond the side elevation of the existing dwelling, and 4.2m beyond the existing rear elevation.

The single storey element of the proposal is set in 30cm from the existing side wall of the property and is 1.15m wide. It extends 4.2m beyond the rear of the existing building and adjoins the two storey element with a total width of 7.1m. The single storey element will contain a glazed roof light concealed by a parapet wall.

The proposal would feature a hipped roof, with external facing materials matching the existing dwelling.

Character and Appearance

The proposal will respect the existing context, character, and appearance. The design respects the architectural features of the existing properties whereby all the construction of internal and external finishes shall match to those of existing/neighbouring works, to sit comfortably in its surroundings and urban context.

The proposal would be visible within the street scene; however, it would be set down and back from the host dwelling, and it will also be constructed using matching materials to the existing dwellings.

Therefore, the proposal would not significantly alter the character of the existing house or surrounding area.

Effect on residential amenity of neighbouring dwelling

The property is the first house on Wellsprings road and is adjacent, to the south, to the rear gardens of Cheltenham Road properties (numbers 47 - 53).

The neighbouring property to the north is no.4 Wellsprings Road. The proposal does not feature any side facing windows; therefore, no significant issues would be raised regarding overlooking.

Overshadowing / loss of light

The proposed extension has been stepped off the boundary by 30cm at ground floor and by 1.4m at first floor level. As a result, when applying the 45-degree rule, both horizontally and vertically, the proposal does not encroach with the splays. Therefore, no significant issues would be raised regarding overshadowing or loss of light. Please refer to diagrams in Appendix 01.

The existing boundary treatment is a closed timber fence.

Access

Remains unchanged from the existing with direct access from Wellsprings Road.

Sustainability

The extension will have high insulation levels, and all proposed glazing will be double-glazed. Energy efficient features and sustainable materials will be employed wherever possible and practical.

Appendix 01 - 45 Degree Rule



45 Degree Rule - Rear Elevation



45 Degree Rule - Plan



Aerial photo (no.2 Wellsprings Road bound in Red)



Rear Aerial photo (no.2 Wellsprings Road bound in Red)



Front Elevation



image of Side and Rear



Rear Elevation



Image of side Elevation



- General Notes

 1. Do not scale drawings. Dimensions govern.

 2. All dimensions are in millimetres unless noted otherwise.

 3. All dimensions shall be verified on site before proceeding with the work.

 4. Pardini Hall Architecture shall be notified in writing of any discrepancies.

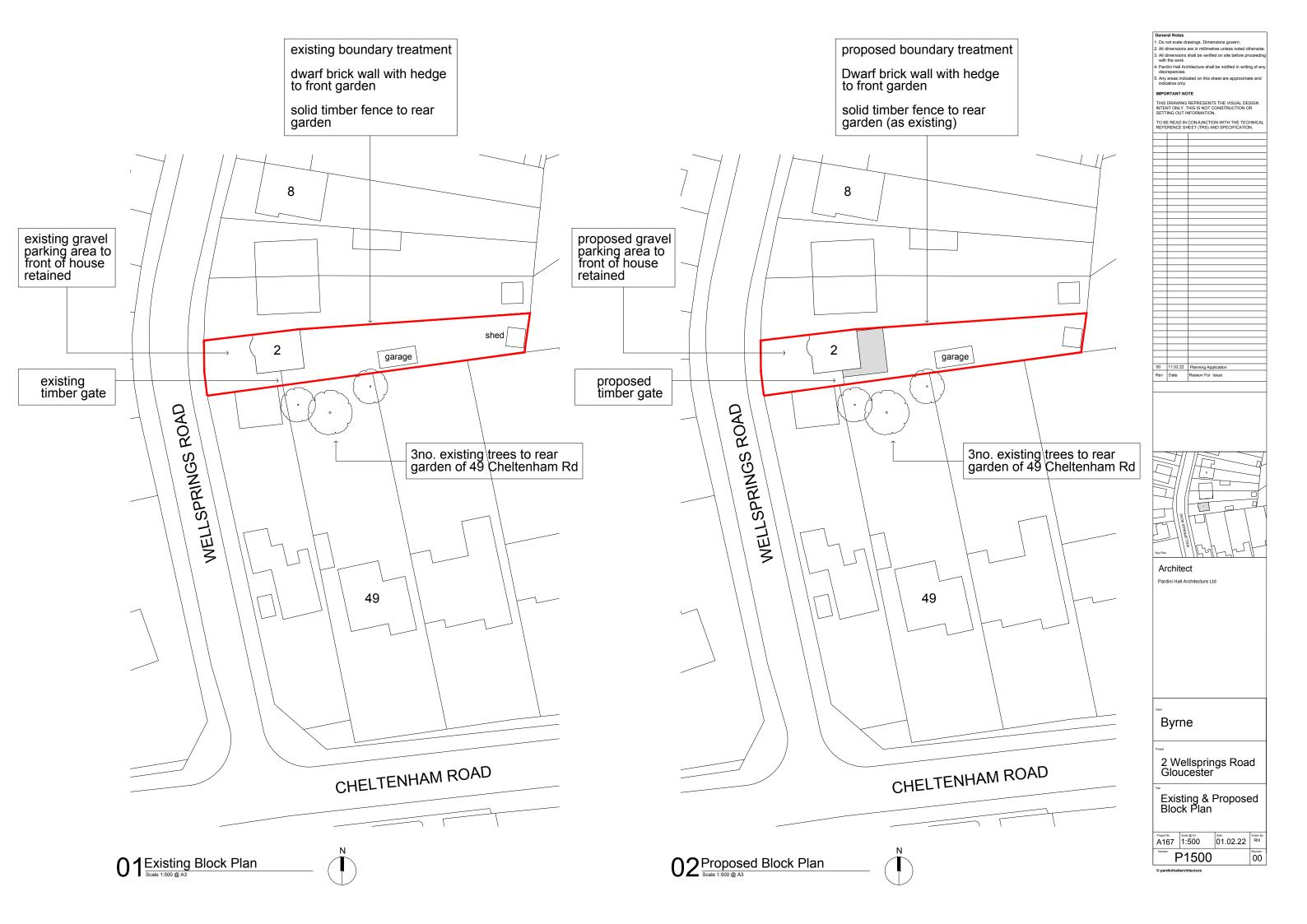
 5. Any areas indicated on this sheet are approximate and indicative only.

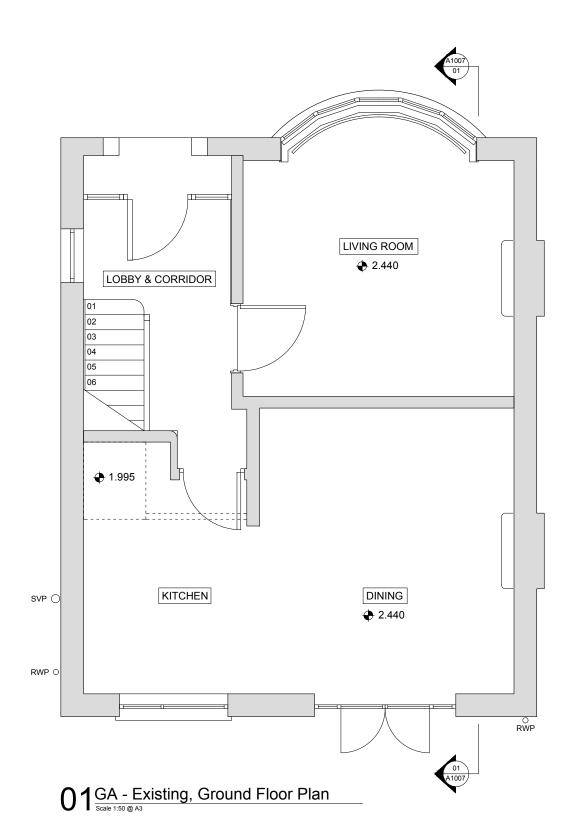
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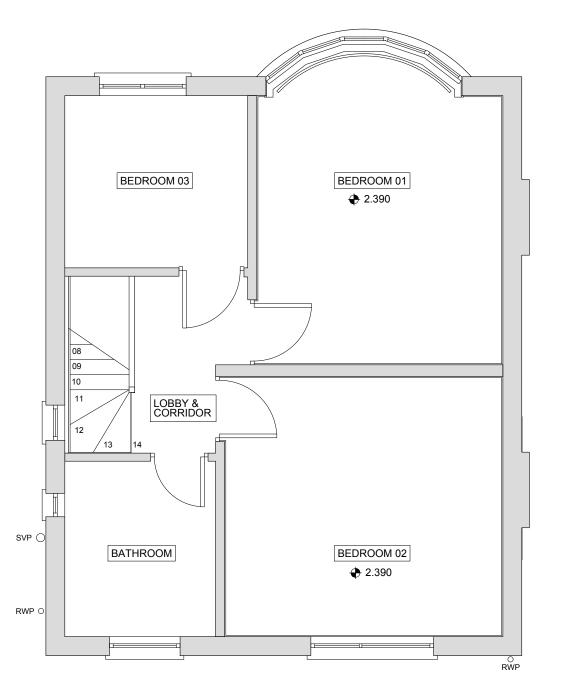
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02 GA - Existing, First Floor Plan

Scale 1:50 @ A3

00 11.02.22 Planning Application
Rev Date Reason For Issue 2 Architect Pardini Hall Architecture Ltd Byrne 2 Wellsprings Road Gloucester **EXISTING** GROUND FLOOR FIRST FLOOR Project No. Scale @ A3 1:50 21.01.22 Prawn B Revision 00 P1001

© pardinihaliarchitecture



01 GA - Existing, Front Elevation



02 GA - Existing, Rear Elevation

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Project No. Scale @ A3 1:50

2 Wellsprings Road Gloucester

21.01.22 Prawn By

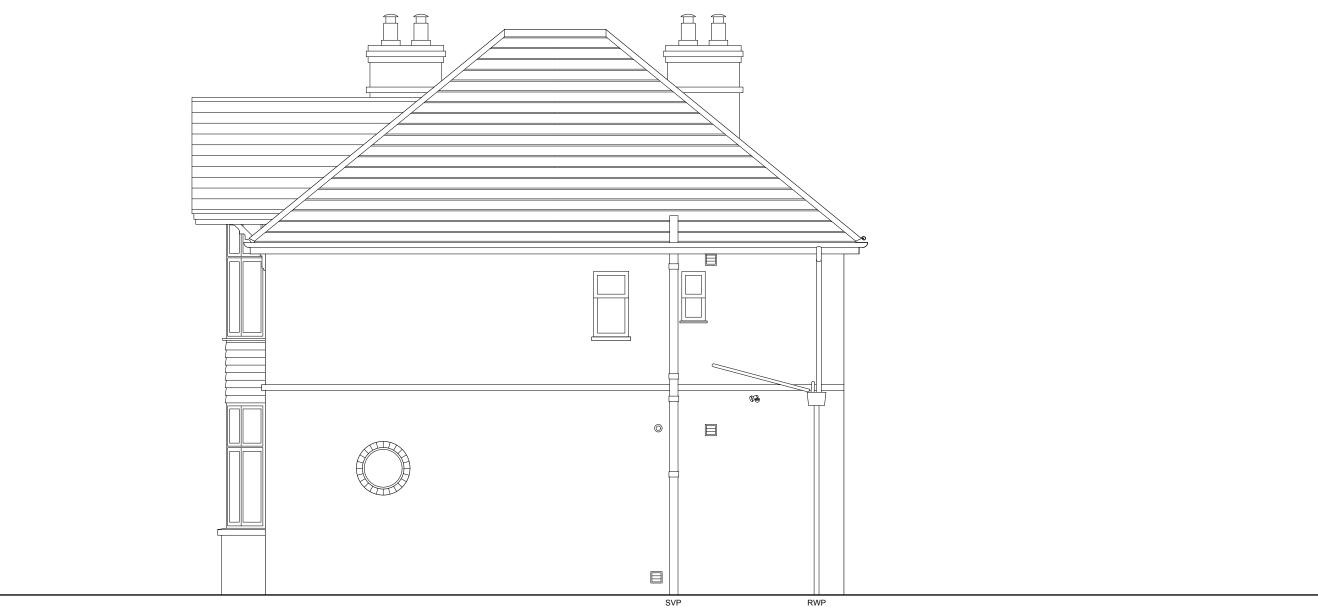
EXISTINGFront Elevation
Rear Elevation

P1002



01 GA - Existing, Side Elevation (north)

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01 GA - Existing, Side Elevation (south)

General Notes 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimetres unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Pardin I stall Architecture shall be notified in writing of any discrepancies. 5. Any areas indicated on this sheet are approximate and indicative only. TO BE READ IN CONJUNCTION WITH THE TECHNICATION. 00 11.02.22 Planning Application Rev Date Reason For Issue 2 Architect Pardini Hall Architecture Ltd Byrne 2 Wellsprings Road Gloucester

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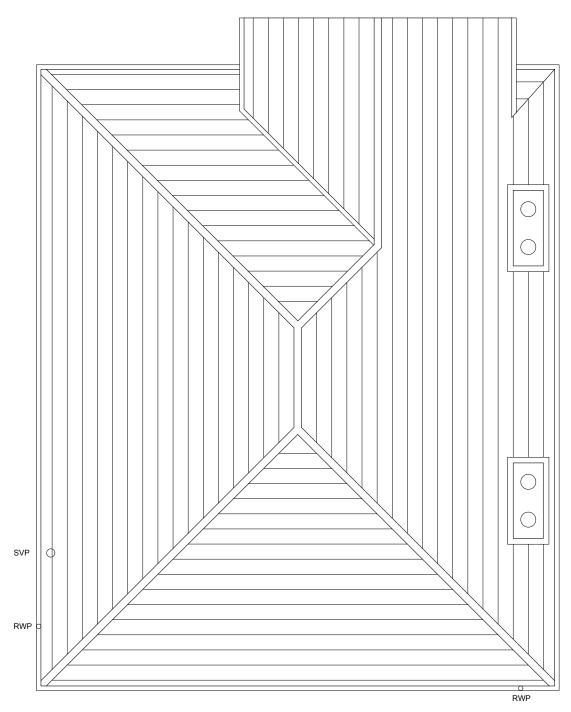
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P1004

EXISTINGSide Elevation (south)

21.01.22 RH

Revision 00



01 GA - Existing, Roof Plan

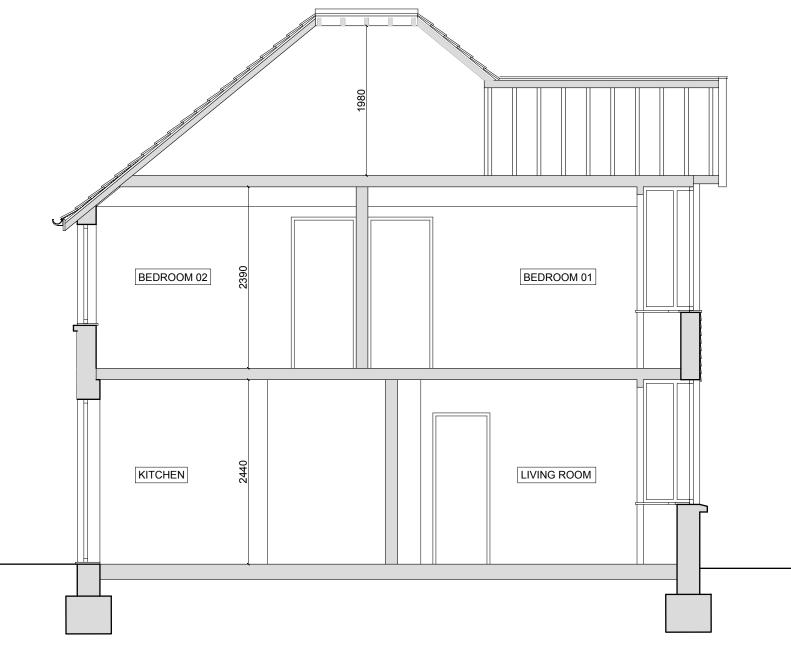
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2 Wellsprings Road Gloucester

Revision 00

P1005





01 GA - Existing Section

Scale 1:50 @ A3

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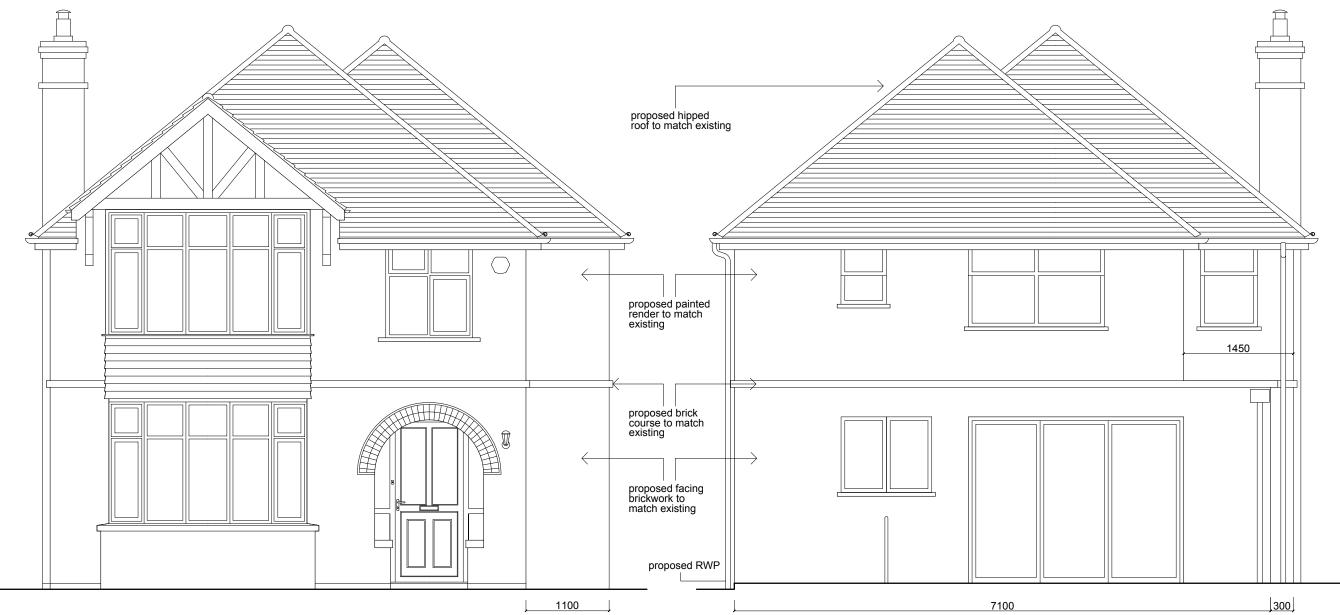
EXISTING SECTION

Project No. Scale @ A3 1:50

P1007

21.01.22 Prawn By RH





01 GA - Proposed, Front Elevation

02 GA - Proposed, Rear Elevation

General Notes

1. Do not scale drawings. Dimensions govern.

2. All dimensions are in millimetres unless noted otherwise.

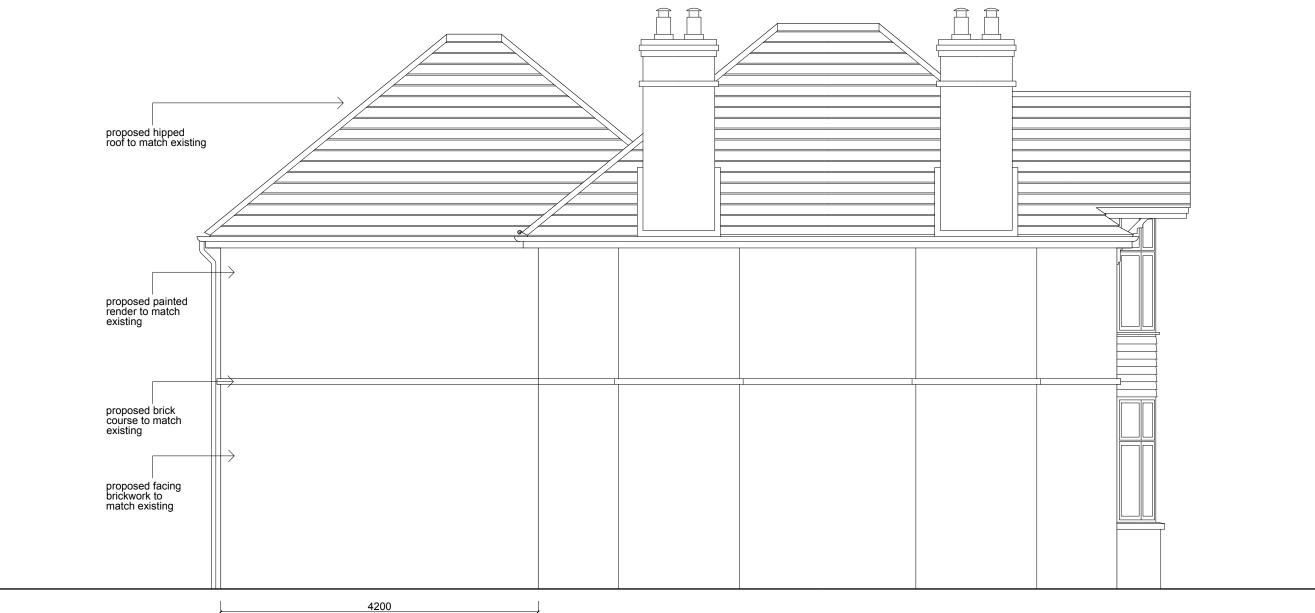
3. All dimensions shall be verified on site before proceeding with the work.

4. Pardini Hall Architecture shall be notified in writing of any discrepancies.

5. Any areas indicated on this sheet are approximate and indicative only. 00 11.02.22 Planning Application

Rev Date Reason For Issue Architect Pardini Hall Architecture Ltd Byrne 2 Wellsprings Road Gloucester **PROPOSED**Front Elevation
Rear Elevation Project No. Scale @ A3 1:50 21.01.22 RH Revision 00 P1012

0 1m 2m 3m



O1 GA - Proposed, Side Elevation (north)

General Notes 1. Do not scale drawings. Dimensions govern. 2. All dimensions are in millimetres unless noted otherwise. 3. All dimensions shall be verified on site before proceeding with the work. 4. Pardin I stall Architecture shall be notified in writing of any discrepancies. 5. Any areas indicated on this sheet are approximate and indicative only. IMPORTANT NOTE TO BE READ IN CONJUNCTION WITH THE TECHNICA REFERENCE SHEET (TRS) AND SPECIFICATION. 00 11.02.22 Planning Application Rev Date Reason For Issue Architect Pardini Hall Architecture Ltd Byrne

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Project No. Scale @ A3 1:50

P1013

2 Wellsprings Road Gloucester

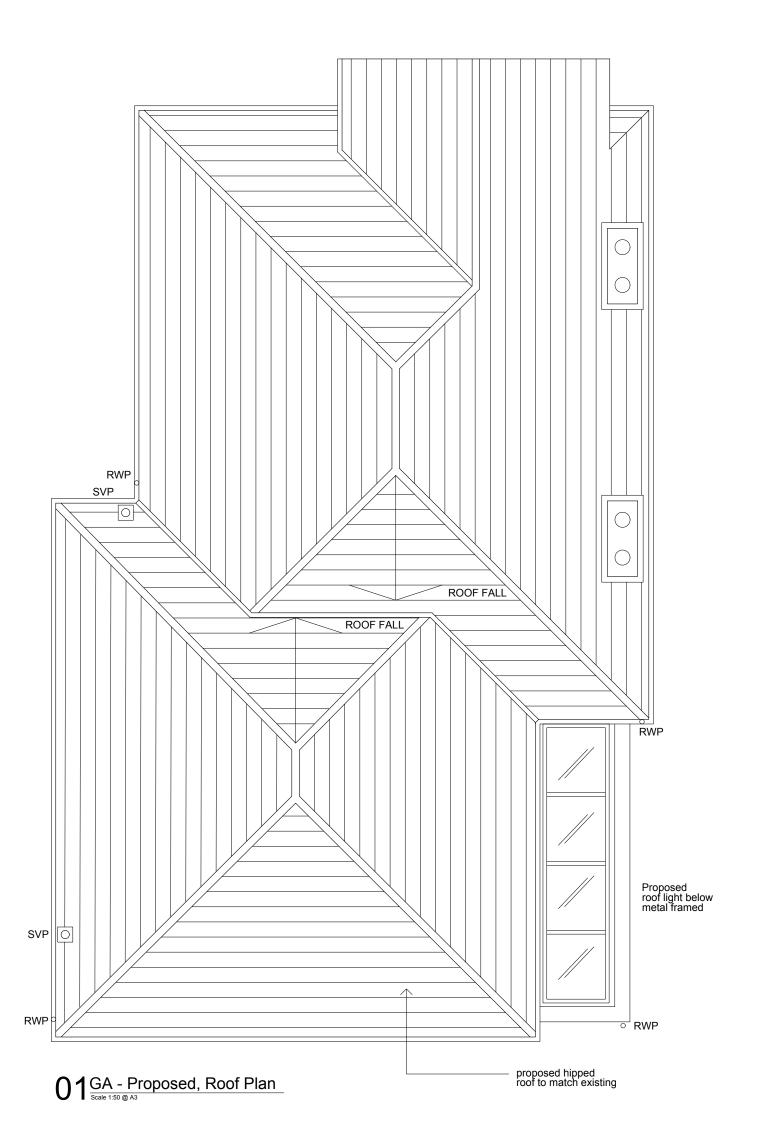
PROPOSEDSide Elevation (north)

21.01.22 Prawn B

Revision 00



2 Wellsprings Road Gloucester **PROPOSED**Side Elevation (south) Project No. Scale @ A3 1:50 21.01.22 Prawn B Revision 00 P1014



- General Notes

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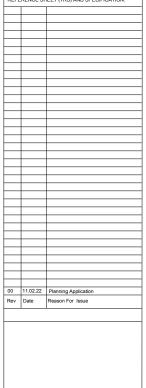
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 5. Any areas indicated on this sheet are approximate and indicative only.

IMPORTANT NOTE

TO BE READ IN CONJUNCTION WITH THE TECHNICAL REFERENCE SHEET (TRS) AND SPECIFICATION.



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Architect Pardini Hall Architecture Ltd

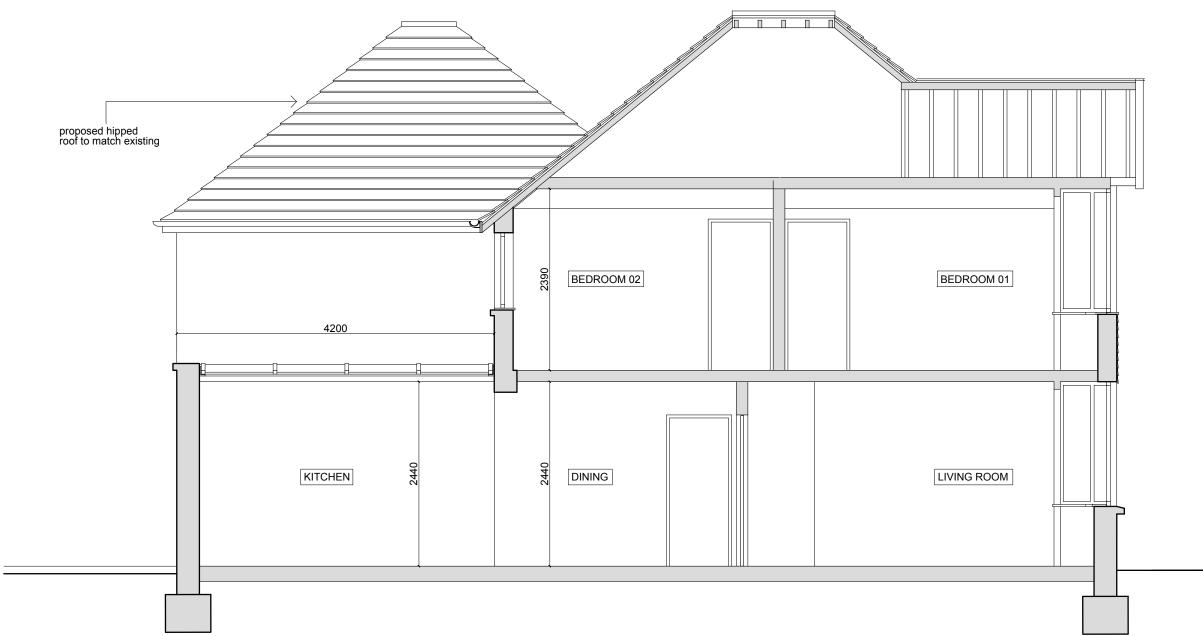
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2 Wellsprings Road Gloucester

PROPOSED ROOF PLAN

21.01.22 RH Project No. Scale @ A3 1:50 Revision 00 P1015





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PROPOSED SECTION

