

## Householder Application for Planning Permission for works or extension to a dwelling

### Town and Country Planning Act 1990 (as amended)

#### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

### Site Location

**Disclaimer:** We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x)  Northing (y)

Description

## Applicant Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Are you an agent acting on behalf of the applicant?

Yes

No

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Agent Details

### Name/Company

Title

First name

Surname

Company Name

### Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

### Contact Details

Primary number

Secondary number

Fax number

Email address

## Description of Proposed Works

Please describe the proposed works

The proposal is for the construction of a part two storey, part single storey side/rear extension to the detached property at 2 Wellsprings Road.

The single storey element of the proposal is set in 30cm from the existing side wall of the property and is 1.15m wide. It extends 4.2m beyond the rear of the existing building and adjoins the two storey element with a total width of 7.1m. The single storey element will contain a glazed roof light concealed by a parapet wall.

The proposal would feature a hipped roof, with external facing materials matching the existing dwelling.

Has the work already been started without consent?

Yes

No

## Materials

Does the proposed development require any materials to be used externally?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material)

**Type:**

Walls

**Existing materials and finishes:**

Red Brick to lower section of external walls. White Painted Render to upper section of external walls

**Proposed materials and finishes:**

Red Brick to lower section of external walls. White Painted Render to upper section of external walls.

**Type:**

Windows

**Existing materials and finishes:**

UPVC windows

**Proposed materials and finishes:**

UPVC windows to match existing

**Type:**

Roof

**Existing materials and finishes:**

Clay roof tiles

**Proposed materials and finishes:**

Clay roof tiles to match existing

**Type:**

Doors

**Existing materials and finishes:**

UPVC front door UPVC rear french window/door

**Proposed materials and finishes:**

Proposed partially glazed timber door to side of proposed extension. Proposed metal framed bi-fold doors to rear elevation

**Type:**

Vehicle access and hard standing

**Existing materials and finishes:**

gravel parking area to front and side of dwelling

**Proposed materials and finishes:**

gravel parking area to front and side of dwelling - to match existing

**Type:**

Boundary treatments (e.g. fences, walls)

**Existing materials and finishes:**

Dwarf wall with hedging to front of dwelling. Solid timber fence to sides and rear of property

**Proposed materials and finishes:**

Dwarf wall with hedging to front of dwelling. Solid timber fence to sides and rear of property to match existing

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

## Trees and Hedges

Are there any trees or hedges on the property or on adjoining properties which are within falling distance of the proposed development?

- Yes  
 No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.

Architectural drawing P1500

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

- Yes  
 No

## Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

- Yes  
 No

Is a new or altered pedestrian access proposed to or from the public highway?

- Yes  
 No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

- Yes  
 No

## Parking

Will the proposed works affect existing car parking arrangements?

- Yes  
 No

## Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

- Yes  
 No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

- Yes  
 No

## Authority Employee/Member

**With respect to the Authority, is the applicant and/or agent one of the following:**

- (a) a member of staff**  
**(b) an elected member**  
**(c) related to a member of staff**  
**(d) related to an elected member**

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

- Yes  
 No

## Ownership Certificates and Agricultural Land Declaration

### Certificates under Article 14 - Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended)

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of all the land to which this application relates; and has the applicant been the sole owner for more than 21 days?

- Yes  
 No

Is any of the land to which the application relates part of an Agricultural Holding?

- Yes  
 No

### Certificate Of Ownership - Certificate A

**I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\***

**\* "owner" is a person with a freehold interest or leasehold interest with at least 7 years left to run.**

**\*\* "agricultural holding" has the meaning given by reference to the definition of "agricultural tenant" in section 65(8) of the Act.**

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person Role

- The Applicant  
 The Agent

Title

First Name

Surname

Declaration Date

Declaration made

## Declaration

I / We hereby apply for Householder planning permission as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

I / We agree to the outlined declaration

Signed

Date



# Pardini Hall Architecture

## DESIGN AND ACCESS STATEMENT 2 Wellsprings Road, Longlevens, Gloucester, GL2 0NL.



DAS\_Wellsprings\_00

## **Introduction**

This Design and Access Statement is in support of a householder application for planning permission for a rear extension to the property at:

2 Wellsprings Road  
Longlevens,  
Gloucester,  
GL2 0NL,

This statement should be read in conjunction with the drawings enclosed as part of this application.

## **Site Description**

2 Wellsprings Road is a detached 1930's two-storey dwelling which currently benefits from a private rear garden and a driveway. Refer to Appendix 02 & 03.

## **The Proposal**

The proposal is for the construction of a part two storey, part single storey side/rear extension, subservient to the original house. The Proposal has been fully integrated with the design and appearance of the original house so that it appears as part of it.

The proposal will create more internal floor space at ground floor to accommodate the requirement of the owner and will include:

- Bathroom
- Utility room
- Kitchen

For a total additional floor area of approx 33 sqm.

At first floor this will include:

- New master bedroom
- En-suite bathroom

For a total addition floor area of about 27 sqm.

The two storey element of the proposal would extend 1.1m beyond the side elevation of the existing dwelling, and 4.2m beyond the existing rear elevation.

The single storey element of the proposal is set in 30cm from the existing side wall of the property and is 1.15m wide. It extends 4.2m beyond the rear of the existing building and adjoins the two storey element with a total width of 7.1m. The single storey element will contain a glazed roof light concealed by a parapet wall.

The proposal would feature a hipped roof, with external facing materials matching the existing dwelling.

## **Character and Appearance**

The proposal will respect the existing context, character, and appearance. The design respects the architectural features of the existing properties whereby all the construction of internal and external finishes shall match to those of existing/neighbouring works, to sit comfortably in its surroundings and urban context.

The proposal would be visible within the street scene; however, it would be set down and back from the host dwelling, and it will also be constructed using matching materials to the existing dwellings.

Therefore, the proposal would not significantly alter the character of the existing house or surrounding area.

## **Effect on residential amenity of neighbouring dwelling**

The property is the first house on Wellsprings road and is adjacent, to the south, to the rear gardens of Cheltenham Road properties (numbers 47 – 53).

The neighbouring property to the north is no.4 Wellsprings Road. The proposal does not feature any side facing windows; therefore, no significant issues would be raised regarding overlooking.

## **Overshadowing / loss of light**

The proposed extension has been stepped off the boundary by 30cm at ground floor and by 1.4m at first floor level. As a result, when applying the 45-degree rule, both horizontally and vertically, the proposal does not encroach with the splays. Therefore, no significant issues would be raised regarding overshadowing or loss of light. Please refer to diagrams in Appendix 01.

The existing boundary treatment is a closed timber fence.

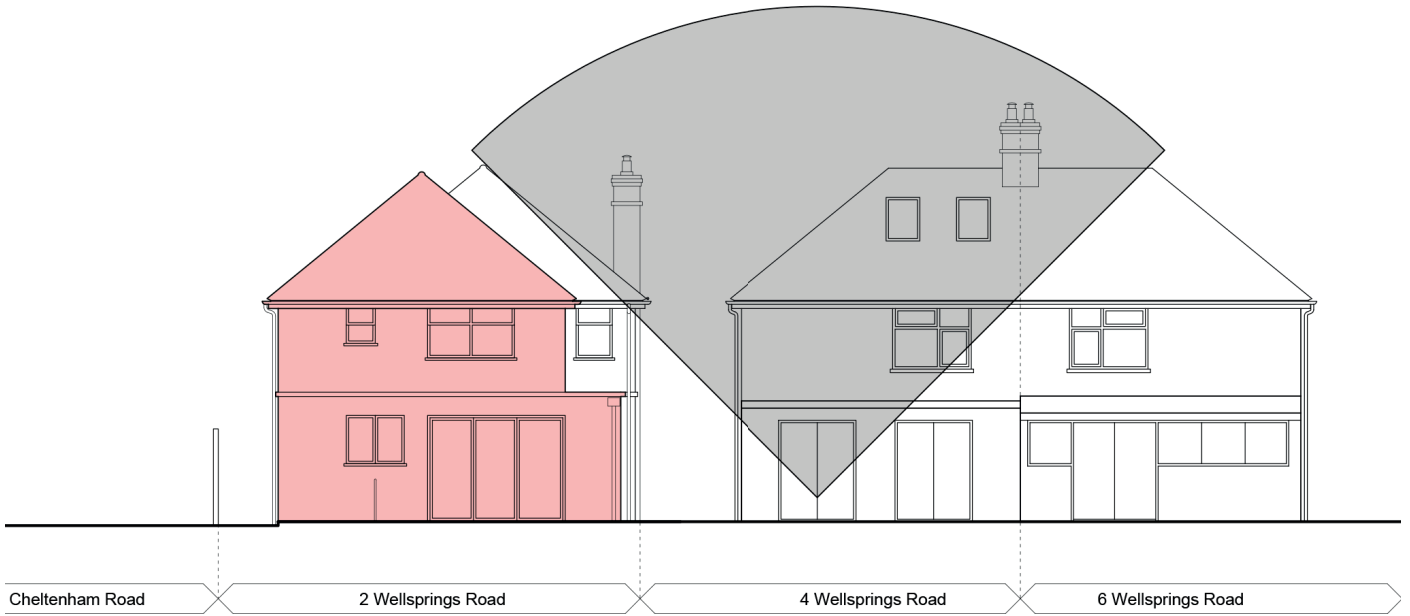
## **Access**

Remains unchanged from the existing with direct access from Wellsprings Road.

## **Sustainability**

The extension will have high insulation levels, and all proposed glazing will be double-glazed. Energy efficient features and sustainable materials will be employed wherever possible and practical.

# Appendix 01 - 45 Degree Rule



## 45 Degree Rule - Rear Elevation



## 45 Degree Rule - Plan

## Appendix 02 - Aerial Photos



**Aerial photo (no.2 Wellsprings Road bound in Red)**



**Rear Aerial photo (no.2 Wellsprings Road bound in Red)**

# Appendix 03 - Site Photos



**Front Elevation**



**Rear Elevation**

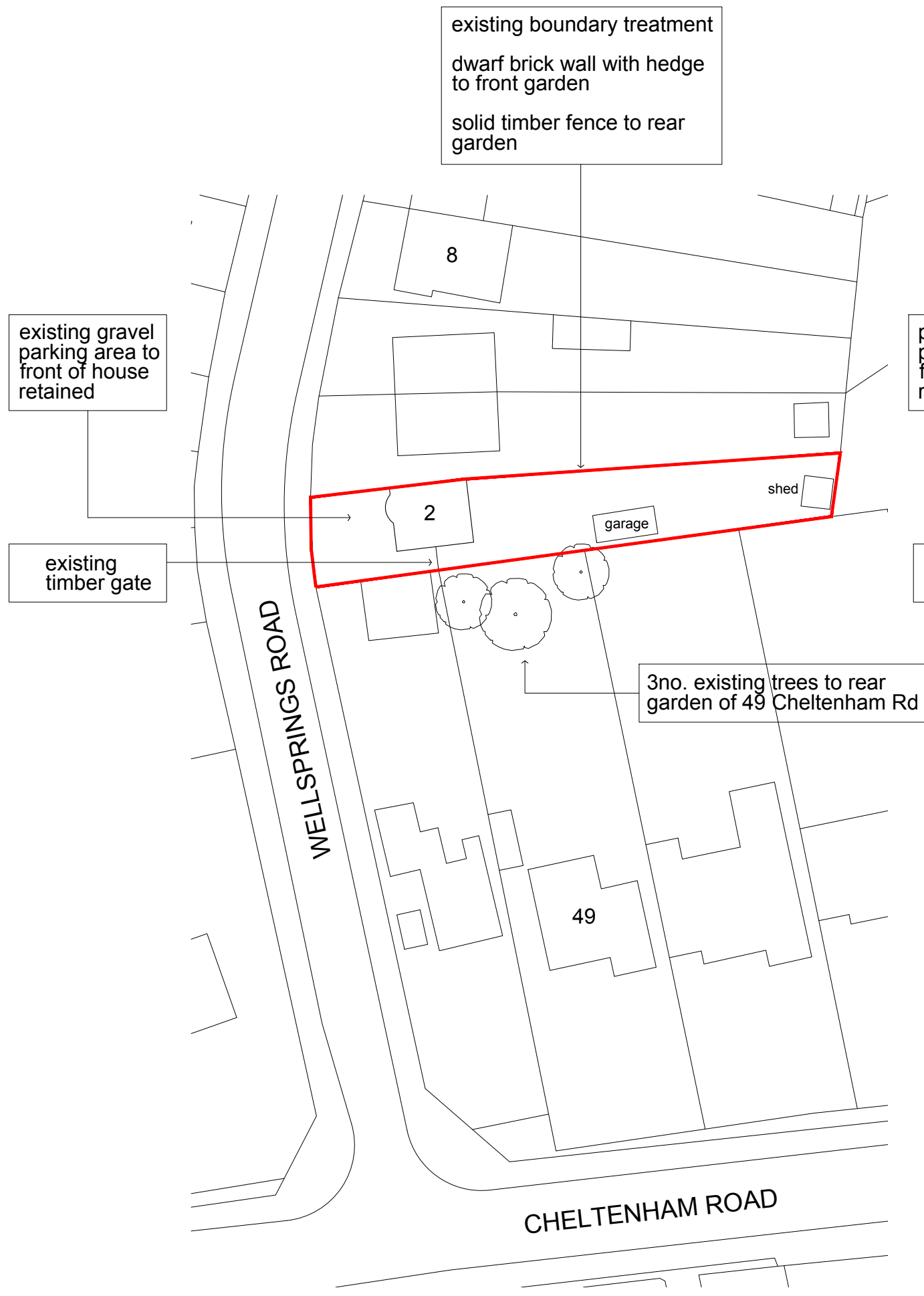


**image of Side and Rear**

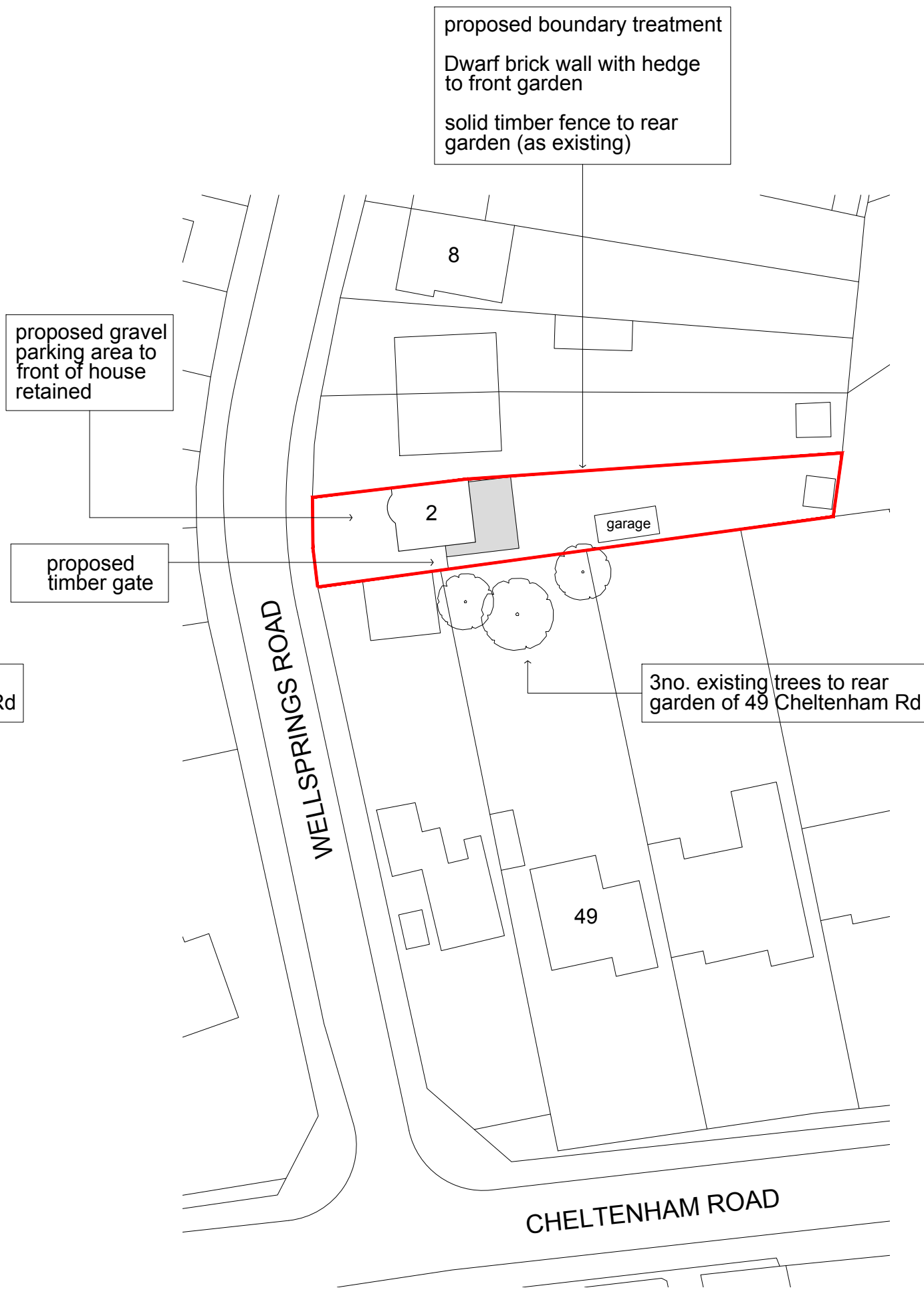


**Image of side Elevation**





**01** Existing Block Plan  
Scale 1:500 @ A3



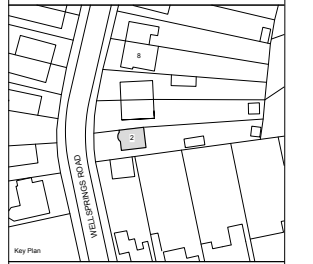
**02** Proposed Block Plan  
Scale 1:500 @ A3

**General Notes**  
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 4. Pardini Hall Architecture shall be notified in writing of any discrepancies.  
 5. Any areas indicated on this sheet are approximate and indicative only.

**IMPORTANT NOTE**  
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 TO BE READ IN CONJUNCTION WITH THE TECHNICAL REFERENCE SHEET (TRS) AND SPECIFICATION.

Rev	Date	Reason For Issue
00	11.02.22	Planning Application

Rev	Date	Reason For Issue
00	11.02.22	Planning Application



**Architect**  
Pardini Hall Architecture Ltd

**Client**  
Byrne

**Project**  
2 Wellsprings Road  
Gloucester

**Title**  
Existing & Proposed  
Block Plan

Project No.	Scale @ A3	Date	Drawn By
A167	1:500	01.02.22	RH
Number	Revision		
P1500	00		



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**Architect**  
Pardini Hall Architecture Ltd

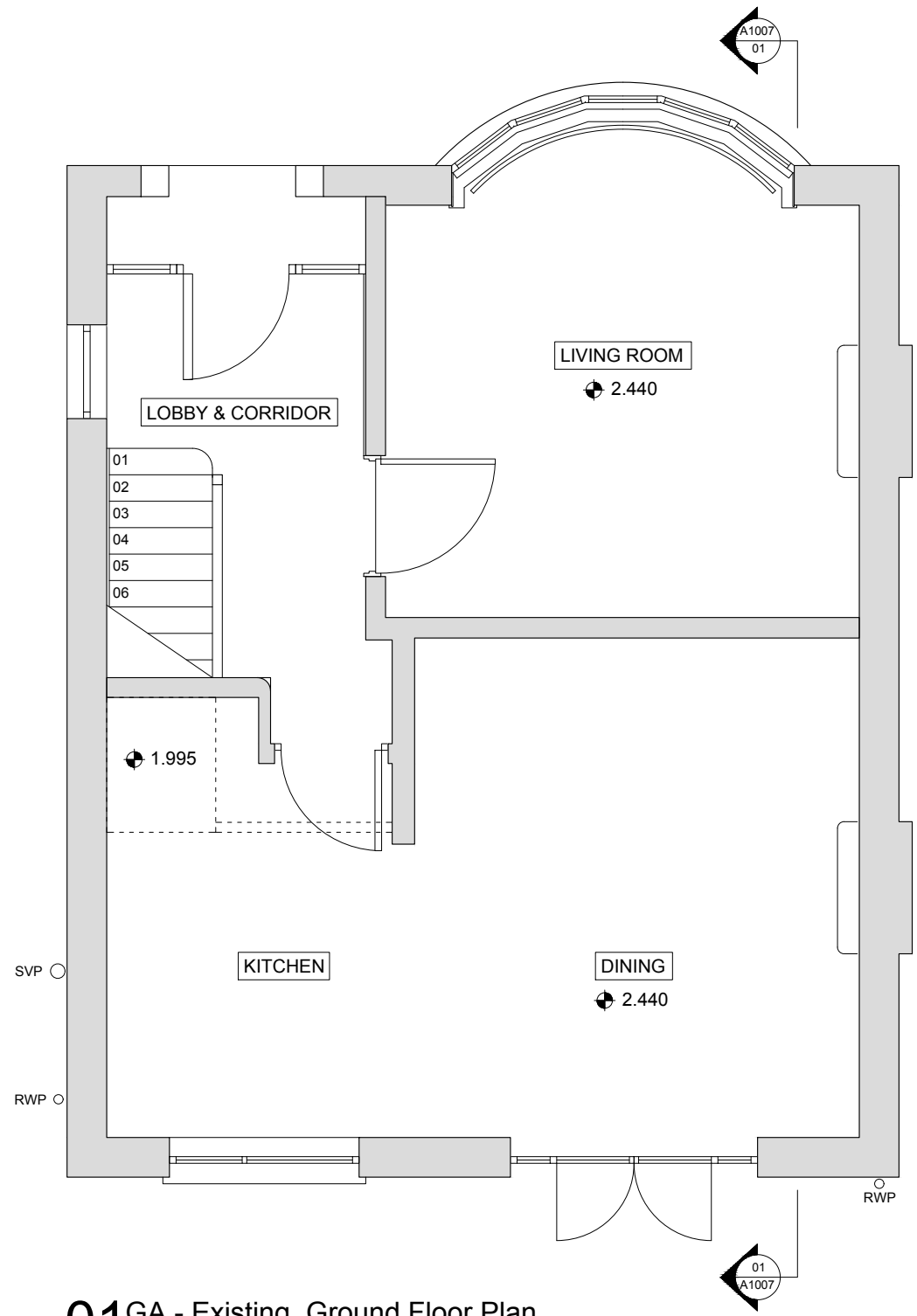
Client  
**Byrne**

Project  
**2 Wellsprings Road Gloucester**

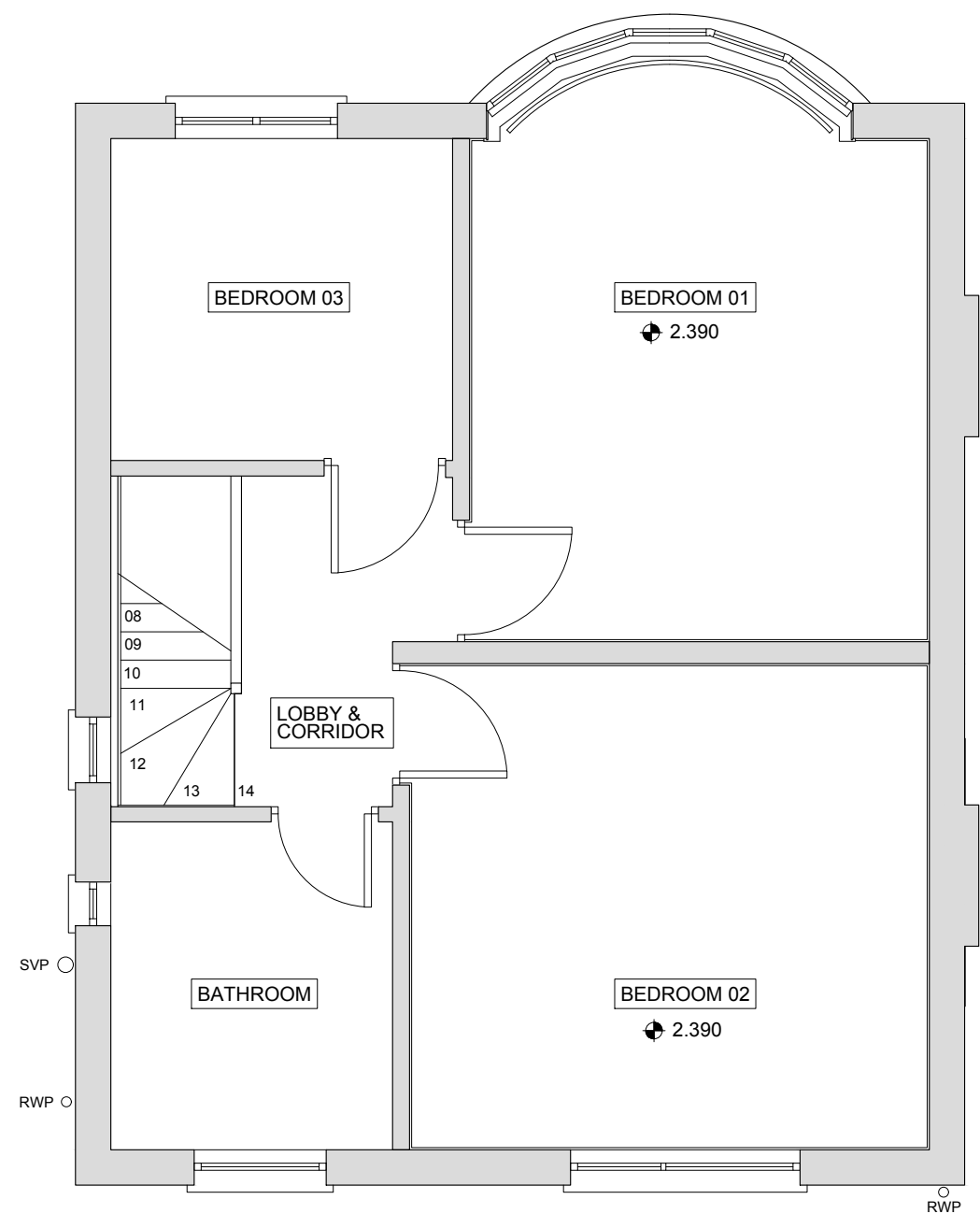
Title  
**EXISTING GROUND FLOOR FIRST FLOOR**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1001</b>	Revision <b>00</b>		

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**01GA - Existing, Ground Floor Plan**  
Scale 1:50 @ A3



**02GA - Existing, First Floor Plan**  
Scale 1:50 @ A3





**01GA - Existing, Front Elevation**  
Scale 1:50 @ A3

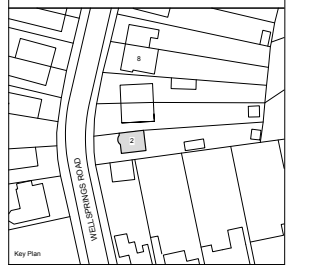


**02GA - Existing, Rear Elevation**  
Scale 1:50 @ A3

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**Architect**  
Pardini Hall Architecture Ltd

**Client**  
Byrne

**Project**  
2 Wellsprings Road  
Gloucester

**Title**  
**EXISTING**  
Front Elevation  
Rear Elevation

Project No. A167	Scale @ A3 1:50	Date 21.01.22	Drawn By RH
Number P1002	Revision 00		

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**01 GA - Existing, Side Elevation (north)**  
 Scale 1:50 @ A3

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00	11.02.22	Planning Application
Rev	Date	Reason For Issue

Key Plan

**Architect**  
 Pardini Hall Architecture Ltd

Client  
**Byrne**

Project  
**2 Wellsprings Road  
 Gloucester**

Title  
**EXISTING  
 Side Elevation (north)**

Project No.	Scale @ A3	Date	Drawn By
A167	1:50	21.01.22	RH
Number	Revision		
P1003	00		

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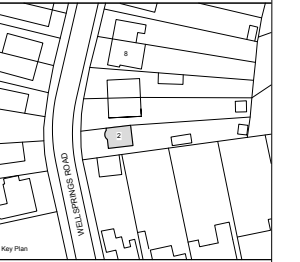


**01GA - Existing, Side Elevation (south)**  
Scale 1:50 @ A3

- General Notes**
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**Architect**  
Pardini Hall Architecture Ltd

**Client**  
Byrne

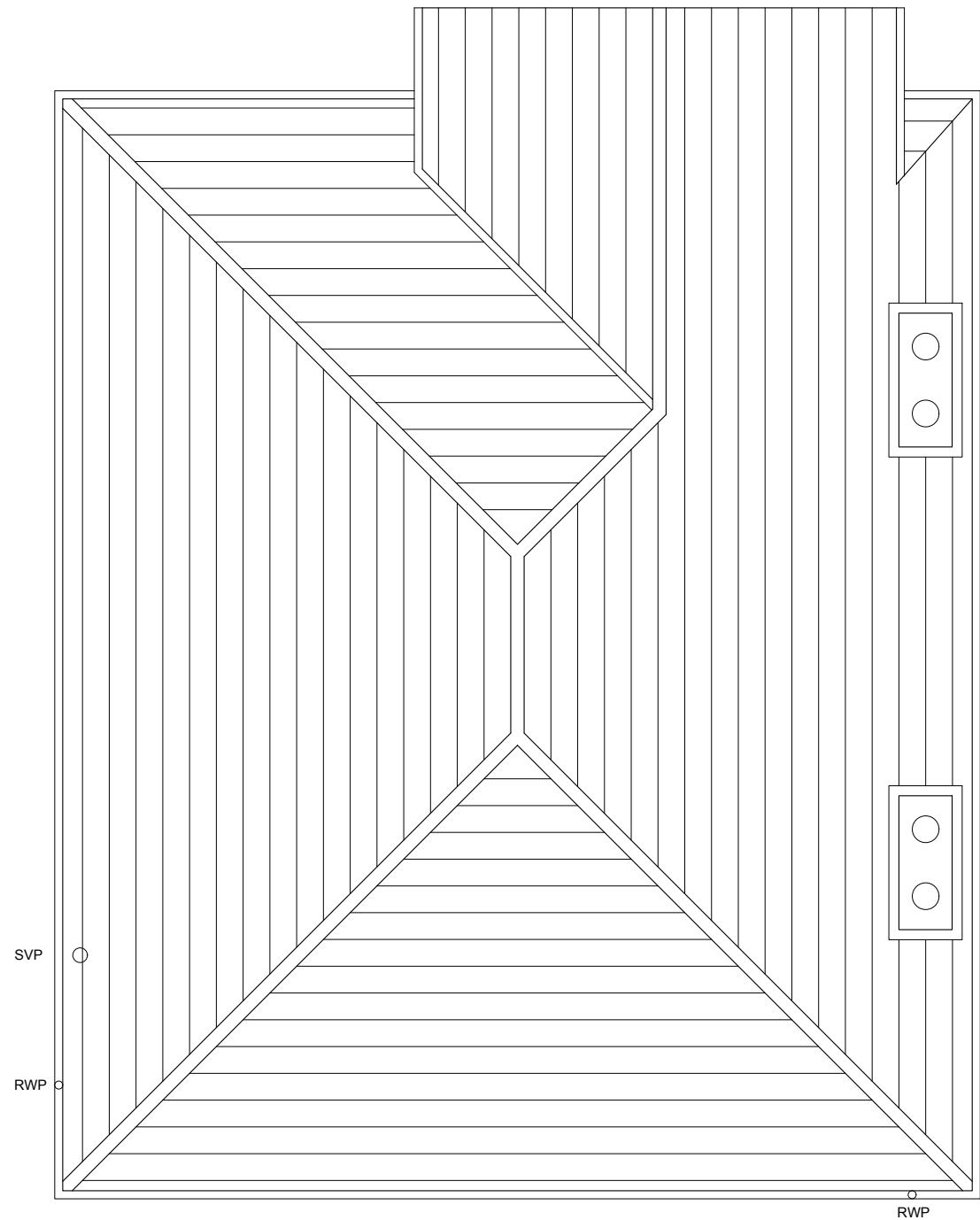
**Project**  
2 Wellsprings Road  
Gloucester

**Title**  
**EXISTING**  
Side Elevation (south)

Project No. A167	Scale @ A3 1:50	Date 21.01.22	Drawn By RH
Number P1004	Revision 00		

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**01GA - Existing, Roof Plan**

Scale 1:50 @ A3

**General Notes**

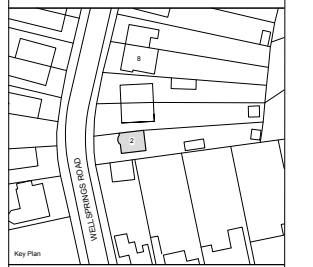
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**Architect**  
Pardini Hall Architecture Ltd

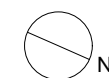
**Client**  
Byrne

**Project**  
2 Wellsprings Road  
Gloucester

**Title**  
**EXISTING  
ROOF PLAN**

Project No.	Scale @ A3	Date	Drawn By
A167	1:50	21.01.22	RH
Number	Revision		
P1005	00		

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Architect  
Pardini Hall Architecture Ltd

Client  
**Byrne**

Project  
**2 Wellsprings Road  
Gloucester**

Title  
**EXISTING  
SECTION**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1007</b>	Revision <b>00</b>		

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**01GA - Existing Section**  
Scale 1:50 @ A3



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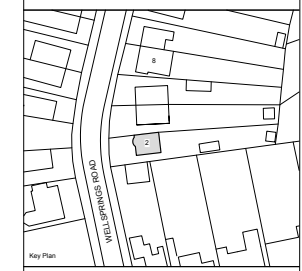
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Pardini Hall Architecture Ltd

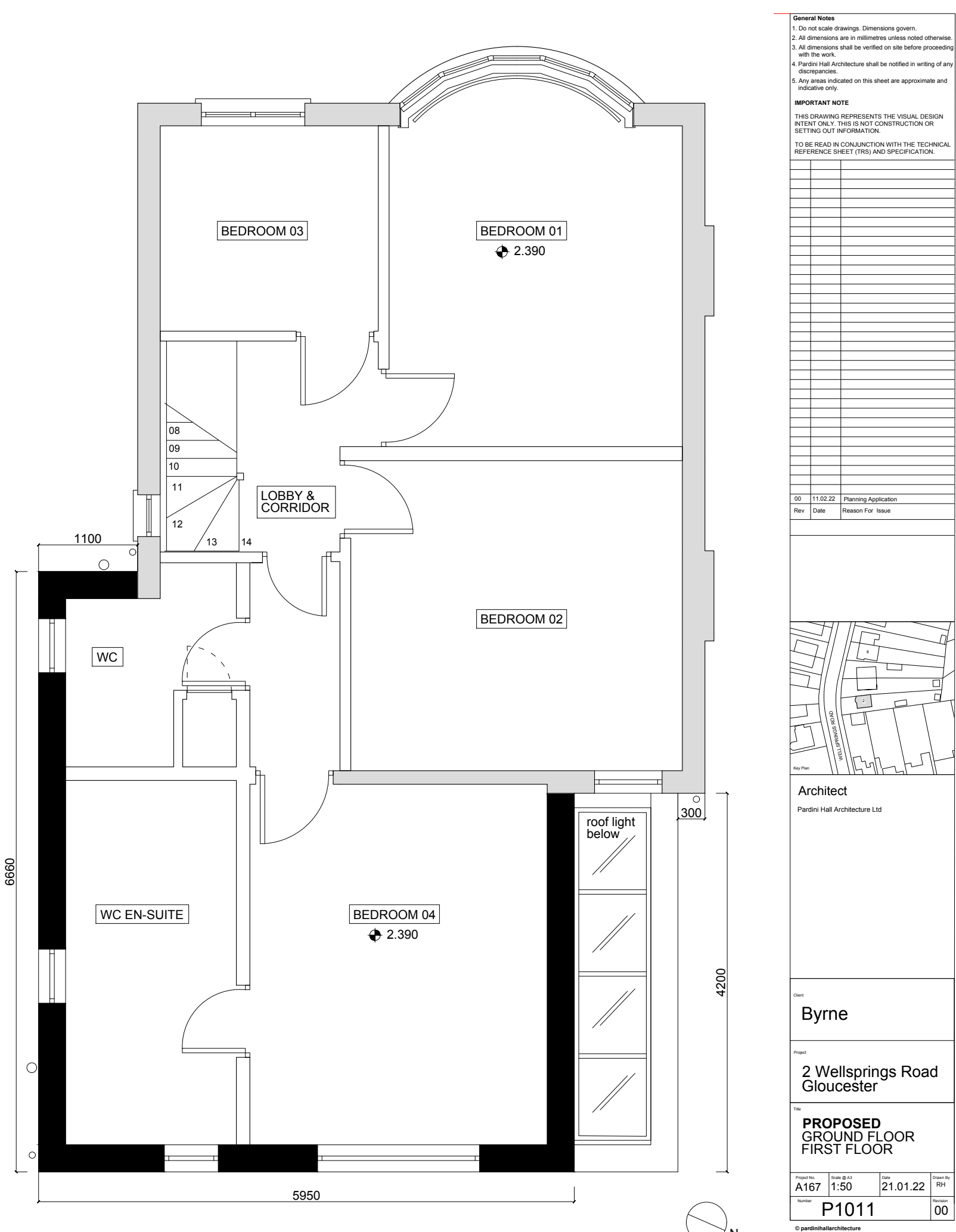
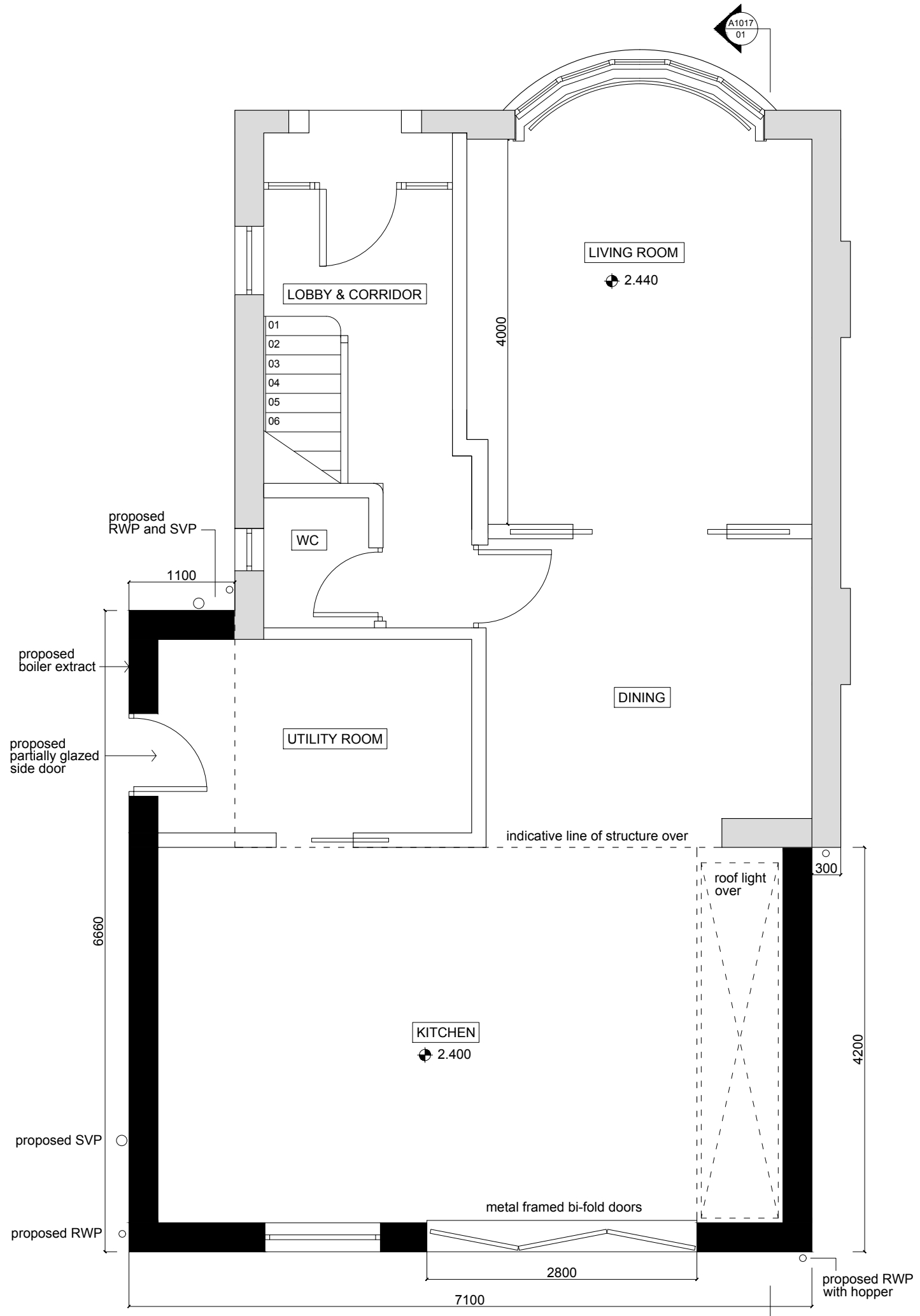
Client  
**Byrne**

Project  
**2 Wellsprings Road Gloucester**

Title  
**PROPOSED GROUND FLOOR FIRST FLOOR**

Project No. A167	Scale @ A3 1:50	Date 21.01.22	Drawn By RH
Number <b>P1011</b>	Revision 00		

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**01GA - Proposed, Ground Floor Plan**  
Scale 1:50 @ A3

**02GA - Proposed, First Floor Plan**  
Scale 1:50 @ A3

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Architect  
Pardini Hall Architecture Ltd

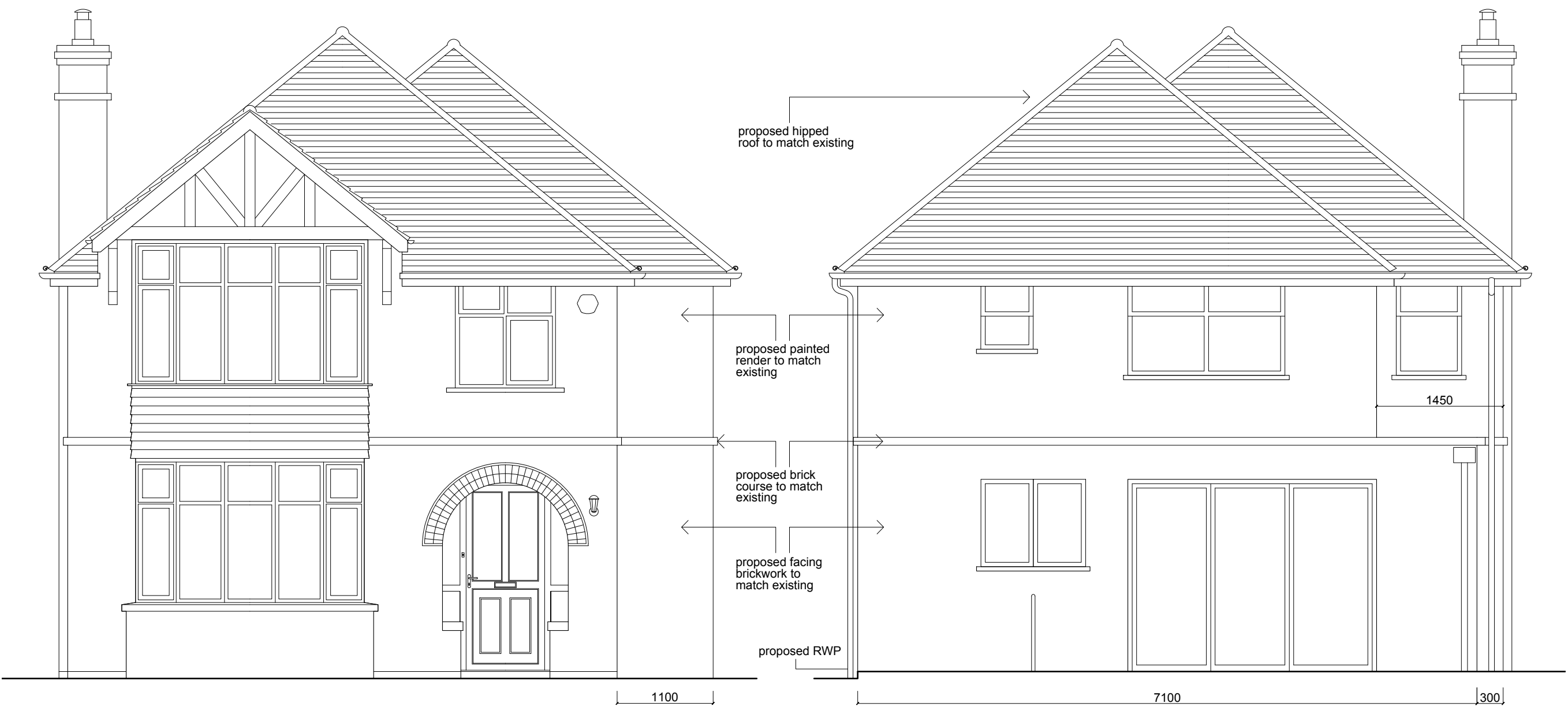
Client  
**Byrne**

Project  
**2 Wellsprings Road  
Gloucester**

Title  
**PROPOSED  
Front Elevation  
Rear Elevation**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1012</b>			Revision <b>00</b>

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**01GA - Proposed, Front Elevation**  
Scale 1:50 @ A3

**02GA - Proposed, Rear Elevation**  
Scale 1:50 @ A3





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**Architect**  
Pardini Hall Architecture Ltd

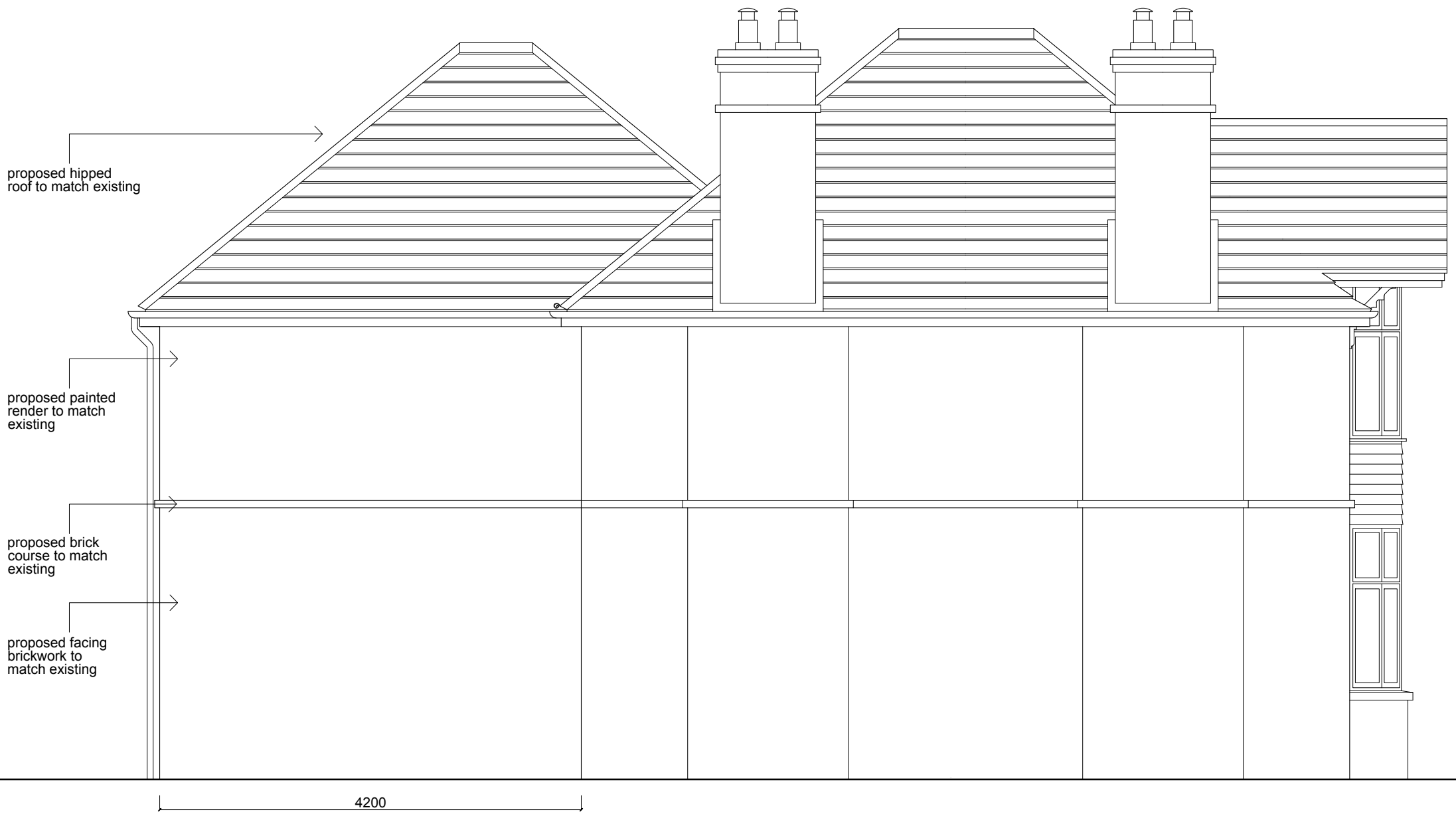
Client  
**Byrne**

Project  
**2 Wellsprings Road  
Gloucester**

Title  
**PROPOSED  
Side Elevation (north)**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1013</b>	Revision <b>00</b>		

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**01 GA - Proposed, Side Elevation (north)**  
Scale 1:50 @ A3



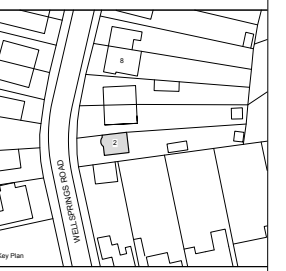
**01GA - Proposed, Side Elevation (south)**  
Scale 1:50 @ A3

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00	11.02.22	Planning Application

Rev	Date	Reason For Issue
00	11.02.22	Planning Application



Key Plan

**Architect**  
 Pardini Hall Architecture Ltd

Client  
**Byrne**

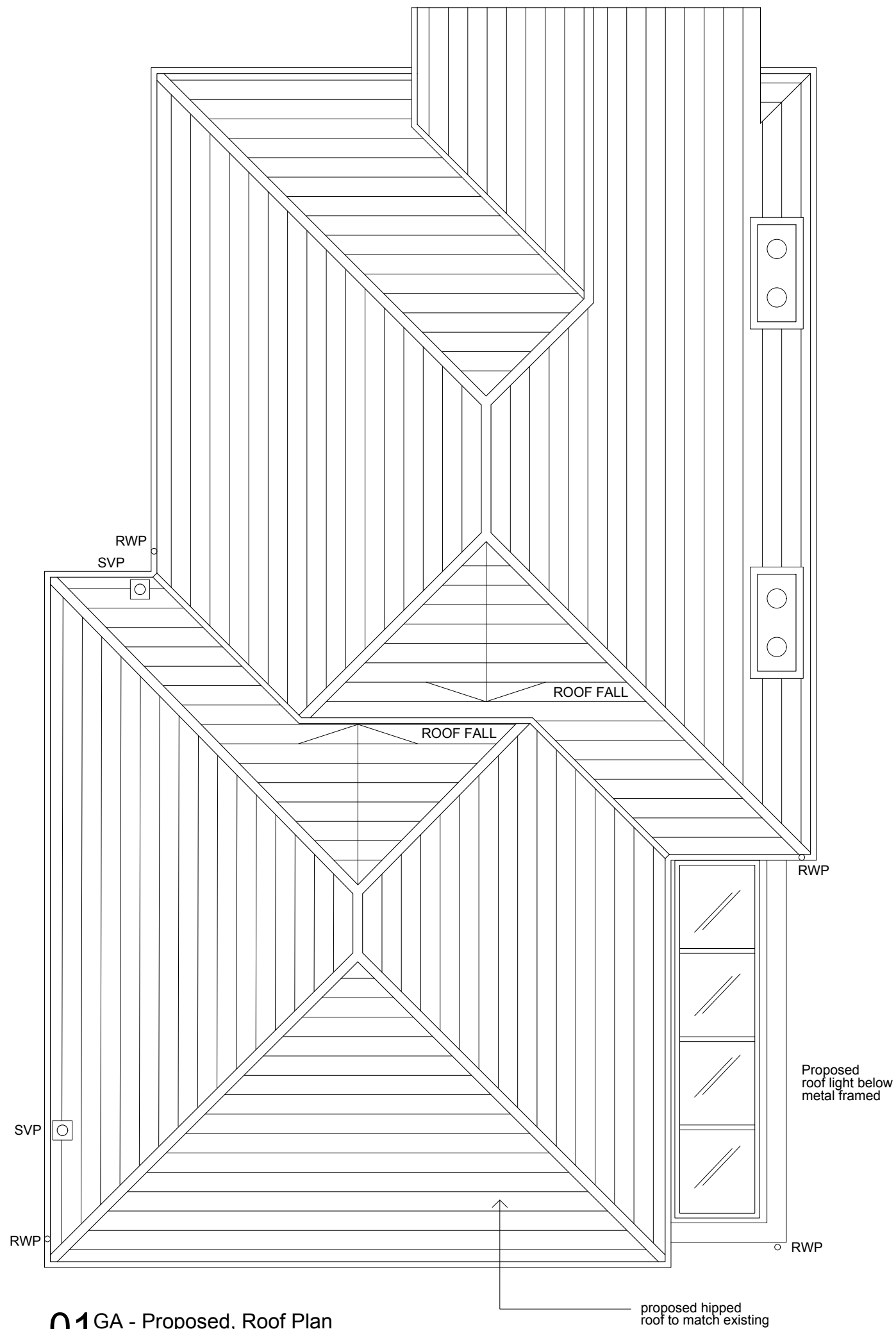
Project  
**2 Wellsprings Road  
 Gloucester**

Title  
**PROPOSED  
 Side Elevation (south)**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1014</b>	Revision <b>00</b>		

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**01GA - Proposed, Roof Plan**  
Scale 1:50 @ A3

**General Notes**  
 1. Do not scale drawings. Dimensions govern.  
 2. All dimensions are in millimetres unless noted otherwise.  
 3. All dimensions shall be verified on site before proceeding with the work.  
 4. Pardini Hall Architecture shall be notified in writing of any discrepancies.  
 5. Any areas indicated on this sheet are approximate and indicative only.

**IMPORTANT NOTE**  
 THIS DRAWING REPRESENTS THE VISUAL DESIGN INTENT ONLY. THIS IS NOT CONSTRUCTION OR SETTING OUT INFORMATION.  
 TO BE READ IN CONJUNCTION WITH THE TECHNICAL REFERENCE SHEET (TRS) AND SPECIFICATION.

Rev	Date	Reason For Issue
00	11.02.22	Planning Application



**Architect**  
Pardini Hall Architecture Ltd

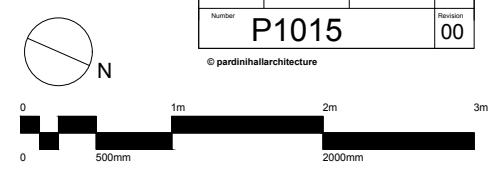
Client  
**Byrne**

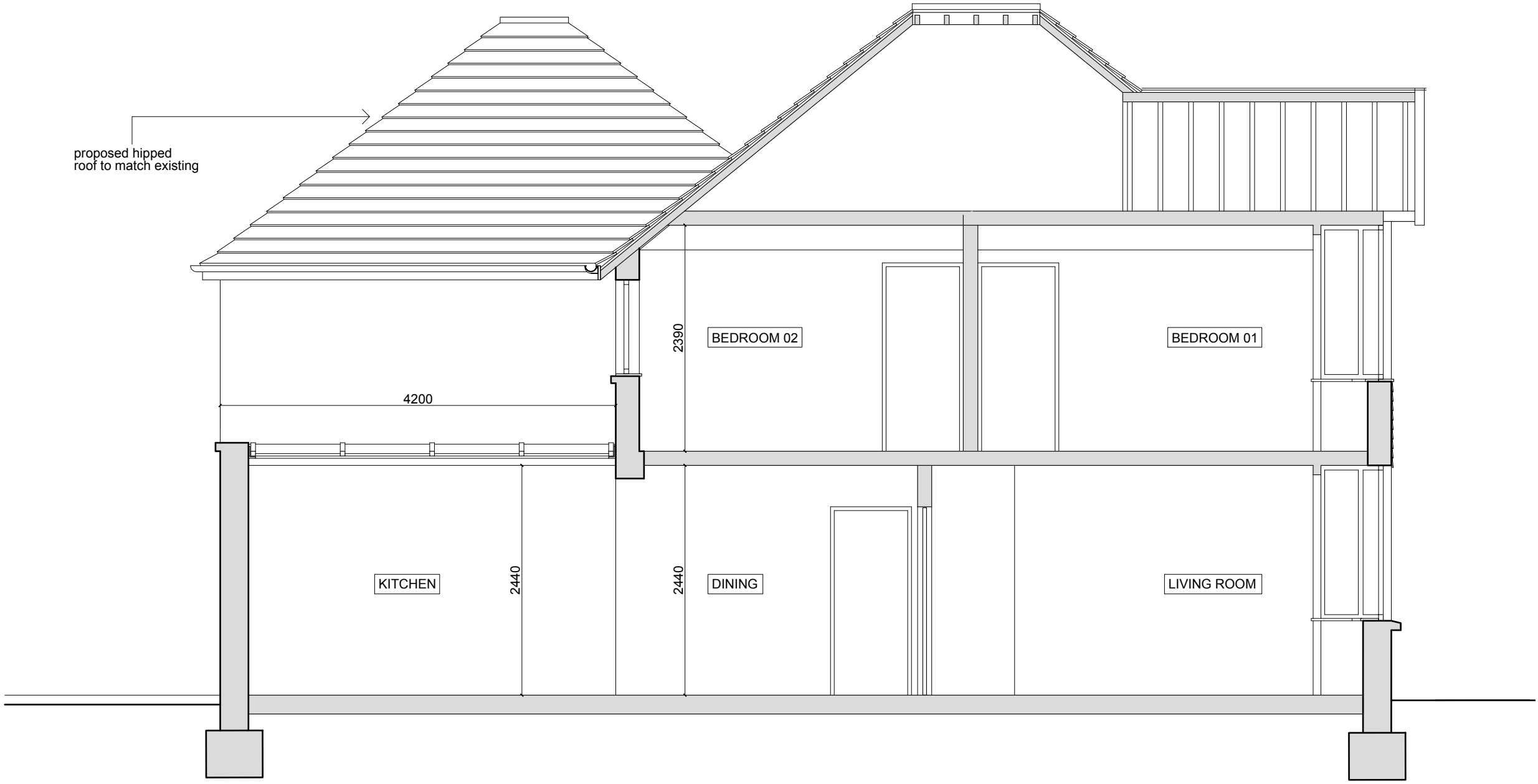
Project  
**2 Wellsprings Road Gloucester**

Title  
**PROPOSED ROOF PLAN**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1015</b>	Revision <b>00</b>		

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**01GA - Proposed Section**  
Scale 1:50 @ A3

**General Notes**

1. Do not scale drawings. Dimensions govern.
2. All dimensions are in millimetres unless noted otherwise.
3. All dimensions shall be verified on site before proceeding with the work.
4. Pardini Hall Architecture shall be notified in writing of any discrepancies.
5. Any areas indicated on this sheet are approximate and indicative only.

**IMPORTANT NOTE**

THIS DRAWING REPRESENTS THE VISUAL DESIGN INTENT ONLY. THIS IS NOT CONSTRUCTION OR SETTING OUT INFORMATION.

TO BE READ IN CONJUNCTION WITH THE TECHNICAL REFERENCE SHEET (TRS) AND SPECIFICATION.

Rev	Date	Reason For Issue
00	11.02.22	Planning Application



**Architect**  
Pardini Hall Architecture Ltd

Client  
**Byrne**

Project  
**2 Wellsprings Road  
Gloucester**

Title  
**PROPOSED  
SECTION**

Project No. <b>A167</b>	Scale @ A3 <b>1:50</b>	Date <b>21.01.22</b>	Drawn By <b>RH</b>
Number <b>P1017</b>	Revision <b>00</b>		

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