

Application for Listed Building Consent for alterations, extension or demolition of a listed building

Planning (Listed Buildings and Conservation Areas Act) 1990 (as amended)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Site Location

Disclaimer: We can only make recommendations based on the answers given in the questions.

If you cannot provide a postcode, the description of site location must be completed. Please provide the most accurate site description you can, to help locate the site - for example "field to the North of the Post Office".

Number

Suffix

Property Name

Address Line 1

Address Line 2

Address Line 3

Town/city

Postcode

Description of site location must be completed if postcode is not known:

Easting (x) Northing (y)

Description

Applicant Details

Name/Company

Title

Mr

First name

Daniel

Surname

Sturdy

Company Name

International Village Education Ltd

Address

Address line 1

Wotton House Horton Road

Address line 2

Address line 3

Gloucestershire

Town/City

Gloucester

Country

Postcode

GL1 3PR

Are you an agent acting on behalf of the applicant?

Yes

No

Contact Details

Primary number

***** REDACTED *****

Secondary number

Fax number

Email address

Agent Details

Name/Company

Title

First name

Surname

Company Name

Address

Address line 1

Address line 2

Address line 3

Town/City

Country

Postcode

Contact Details

Primary number

Secondary number

Fax number

Email address

Description of Proposed Works

Please describe the proposals to alter, extend or demolish the listed building(s)

Has the development or work already been started without consent?

- Yes
 No

Listed Building Grading

What is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

- Don't know
 Grade I
 Grade II*
 Grade II

Is it an ecclesiastical building?

- Don't know
 Yes
 No

Demolition of Listed Building

Does the proposal include the partial or total demolition of a listed building?

- Yes
 No

Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

- Yes
 No

Immunity from Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

Yes

No

Listed Building Alterations

Do the proposed works include alterations to a listed building?

Yes

No

If Yes, do the proposed works include

a) works to the interior of the building?

Yes

No

b) works to the exterior of the building?

Yes

No

c) works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally?

Yes

No

d) stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?

Yes

No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed. Also include the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

Demolition of existing partition wall (not part of original building), Blocking up of existing opening, Replacement of existing carpet, Replacement of existing gridded ceiling, Forming of new opening in existing wall.

Materials

Does the proposed development require any materials to be used?

Yes

No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material) demolition excluded

Type:

Ceilings

Existing materials and finishes:

Existing Gridded Ceiling

Proposed materials and finishes:

Proposed Gridded Ceiling - to match existing character

Type:

Floors

Existing materials and finishes:

Existing Carpet

Proposed materials and finishes:

Proposed Carpet - to match existing character

Are you supplying additional information on submitted plans, drawings or a design and access statement?

Yes

No

If Yes, please state references for the plans, drawings and/or design and access statement

6846-F-001 Site Location Plan
6846-F-100 Existing Site Block Plan
6846-F-200 Existing Ground Floor Plan
6846-F-210 Proposed Ground Floor Plan
6846-F-4001 Wotton House Heritage Statement

Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

Yes

No

Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

The agent

The applicant

Other person

Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes

No

Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

(a) a member of staff

(b) an elected member

(c) related to a member of staff

(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

Yes

No

Ownership Certificates

Certificates under Regulation 6 - Planning (Listed Buildings and Conservation Areas) Regulations 1990

Please answer the following questions to determine which Certificate of Ownership you need to complete: A, B, C or D.

Is the applicant the sole owner of **all** the land to which this application relates; **and** has the applicant been the sole owner for more than 21 days?

Yes

No

Certificate Of Ownership - Certificate A

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Person Role

The Applicant

The Agent

Title

First Name

Surname

Declaration Date

25/07/2022

Declaration made

Declaration

I / We hereby apply for Listed building consent as described in this form and accompanying plans/drawings and additional information. I / We confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine options of the persons giving them. I / We also accept that: Once submitted, this information will be transmitted to the Local Planning Authority and, once validated by them, be made available as part of a public register and on the authority's website; our system will automatically generate and send you emails in regard to the submission of this application.

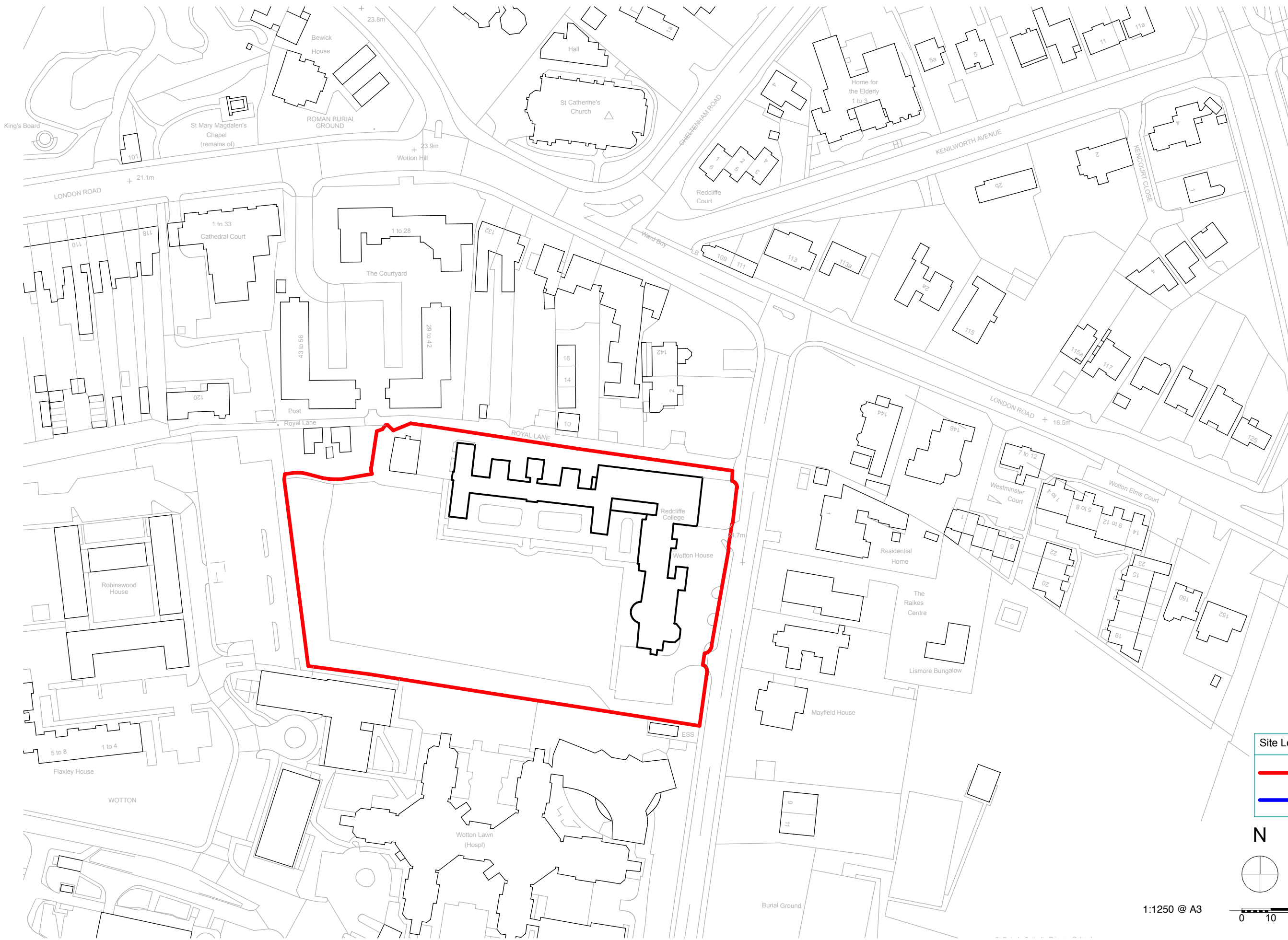
I / We agree to the outlined declaration

Signed

Quattro Design Architects Ltd

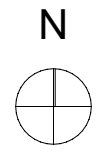
Date

25/07/2022



Site Location Plan Key

- Site Boundary
- Land Ownership



1:1250 @ A3

NOTES

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PROJECT

Wotton House School

SCALE

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CLIENT

Wotton House School

DATE

July 2022

DRAWING TITLE

Site Location Plan

DRAWING NO.

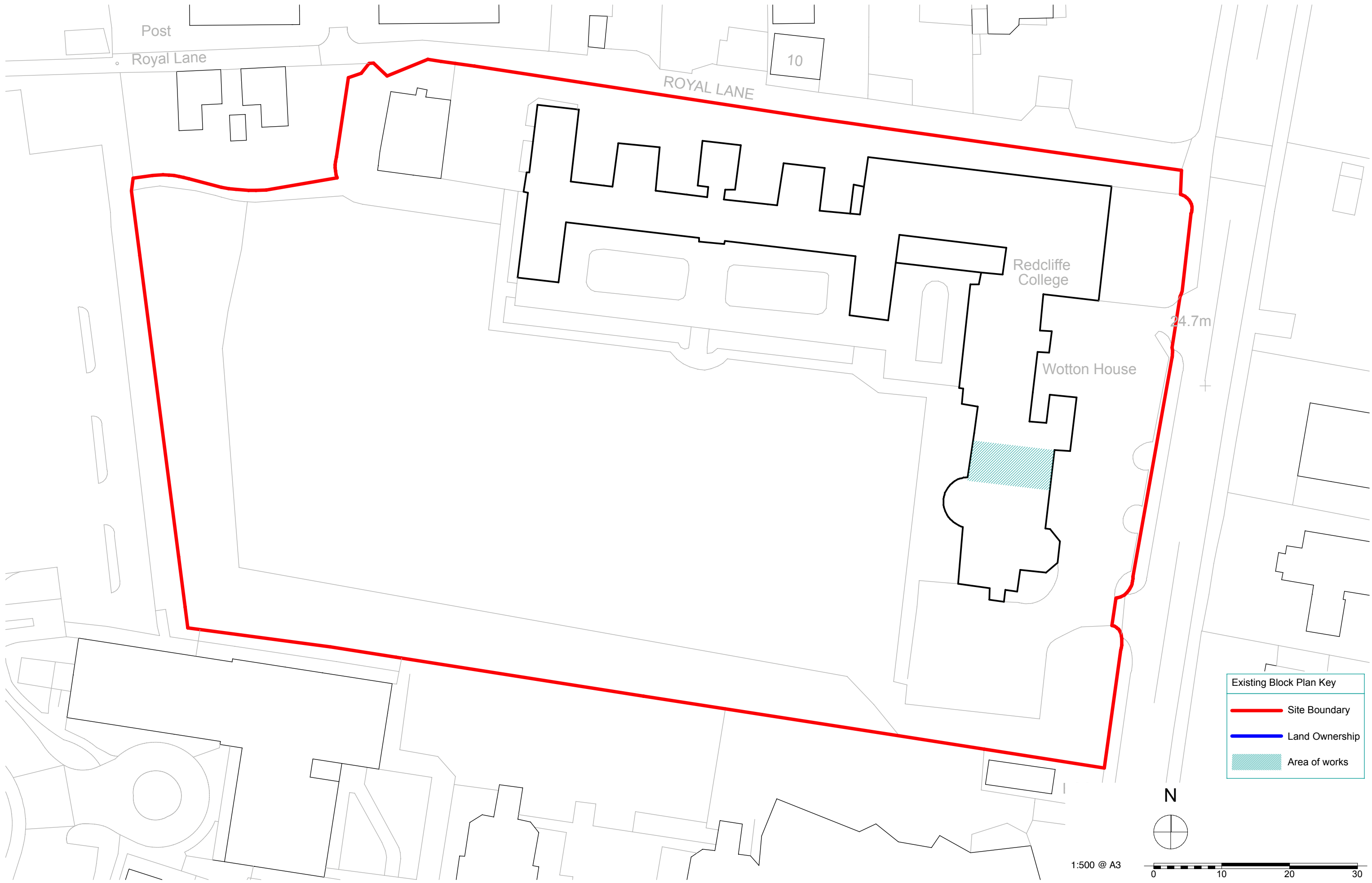
6846-F-001

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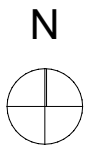
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Existing Block Plan Key

- Site Boundary
- Land Ownership
- Area of works



1:500 @ A3



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PROJECT

Wotton House School

CLIENT

Wotton House School

DRAWING TITLE

Existing Block Plan

DRAWING NO.

6846-F-100

REV

-

SCALE

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Heritage Statement

**Wotton House Independent School
Internal Reconfiguration**



Reference:

6846-P-4001

Revision:

-

Author:

Grant Morris

Date of Creation:

July 2022



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01 Introduction

Quattro Design Architects have been appointed by Wotton House International School to design the internal re configuration of a small area of the existing building as part of a wider Premises Development Plan.

This Heritage Statement sets out the context of the site and the proposed re configuration works and is produced to support an Application for Listed Building Consent for these works.

Site Location and Description

The site is located within Area 9 (London Road) of the Gloucester conservation areas map, as highlighted in Fig. 1. The main school building is the only listed building on the site, being Grade II Listed.

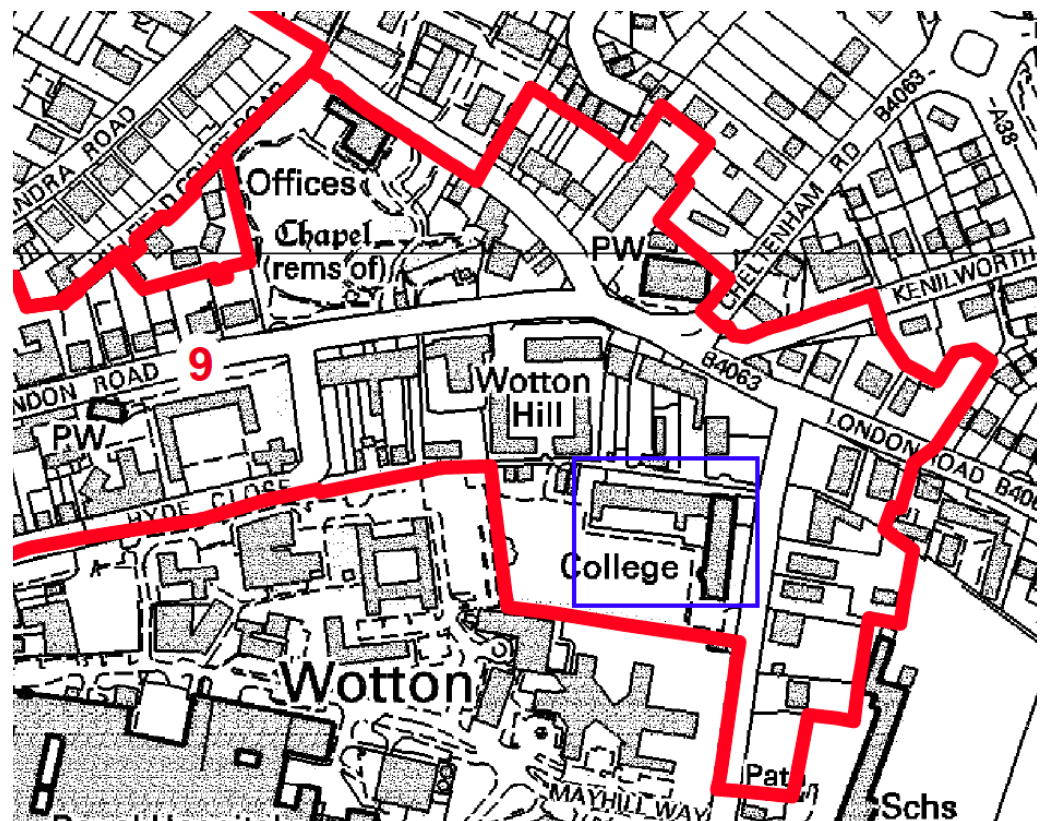


Fig 1 - Heritage Outline Plan: Site area denoted via blue rectangle.

The proposed re configuration is concentrated within the north region of the building within the Grade II listed building.

Design Summary

Wotton House Independent School are seeking to reconfigure the existing building to rationalise and sympathetically return a series of spaces back to the intended space as originally intended.

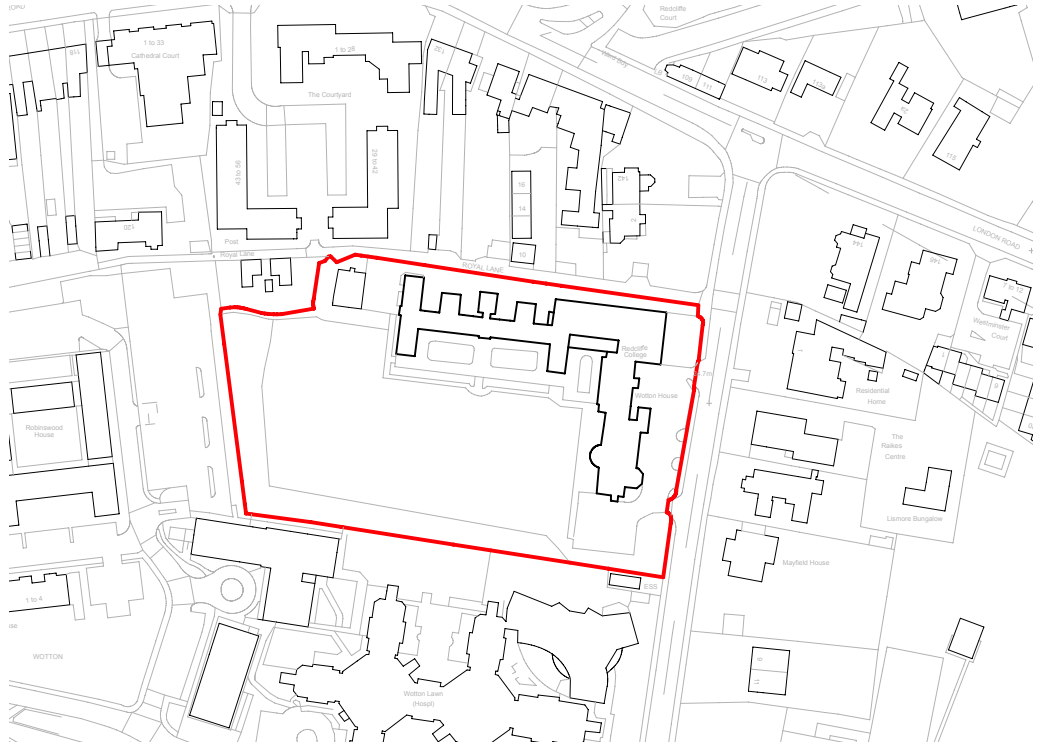


Fig 2 - Site Location Plan: Denoted via Red line Boundary.

It is the intention of this re configuration project to complete the consolidation of a series of ancillary spaces back to the original singular space, and will more specifically comprise the sensitive conversion of 2no. existing spaces (Accountant and Bursar), to a new single space.

The proposal follows a 'light-touch' approach to internal refurbishment of the listed building, ensuring the historical significance is preserved and that the works are not detrimental to character or setting.

02 Heritage Context

Wotton House Independent School is situated on a rectangular site which nestles in the area of Barnwood, with the principal London Road to the North, and Horton Road directly adjacent to the East, as shown in Figure. 2.



Conservation Area

The site is located within Area 9 - London Road conservation area which was designated in 1984. Surrounding the site from a southbound perspective are a range of public sector units, included the Gloucestershire Royal Hospital, to the North of the site lie large residential dwellings ranging in age from the Edwardian period to the 1930's. The streets are lined with trees at frequent intervals.

Listed Building

The Grade II listed building was a Large house, now an educational facility, built for Thomas Horton in early C18. The Exterior of the building consists of one main block of two storeys and attic. Symmetrical front of seven bays altered by the addition of the canted bay replacing the first and second windows from the left on the ground floor; brick offset plinth, raised brick band at first-floor level and timber crowning modillion cornice. On the ground floor the entrance doorway in the central bay is framed by a shallow stone porch with two fluted Corinthian columns supporting a richly moulded entablature with dossierets at either end and in the centre and a segmental pediment above.

Historic England List Entry Summary



Fig 3 - Photograph depicting Wotton House School c. 1930s.



Other than the Grade II listed main school building, there are no other listed buildings in the immediate surrounding area. The closest listed building is 0.4 miles away and is not visible from the site.

List Entry Summary

Name: Wotton House
List entry number: 1271681
Location: Gloucester
Grade: II
Date first listed: 23-Jan-1952

Impact on Historic Setting

The proposal seeks to conserve and protect the historic assets of the area in which the site is located, in line with the Gloucester Local Plan, the Gloucester, Cheltenham and Tewkesbury Joint Core Strategy and the Gloucester City Plan.

The National Planning Policy Framework (para 132) states ‘when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting.’ It goes on to state in para 134 ‘where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

The following section in this report demonstrates how the proposed internal refurbishment clearly has less than significant harm and is intended to preserve the historic importance of the asset. This impact must also be balanced with the clear long term benefits to the school and its pupils as a result of the works creating a coherent and sustainable teaching facility for now and future generations. The proposal supports the NPPF (para 5) to create *‘living environments for people of all ages which supports social interaction. It meets the needs of children and young people to grow and develop.’*

04 Internal Re configuration

The school have invested in a Premises Development Plan to pursue ways in which the existing building can be de-cluttered and better organised, which in turn will improve the setting of the historic environment and conservation area greatly.



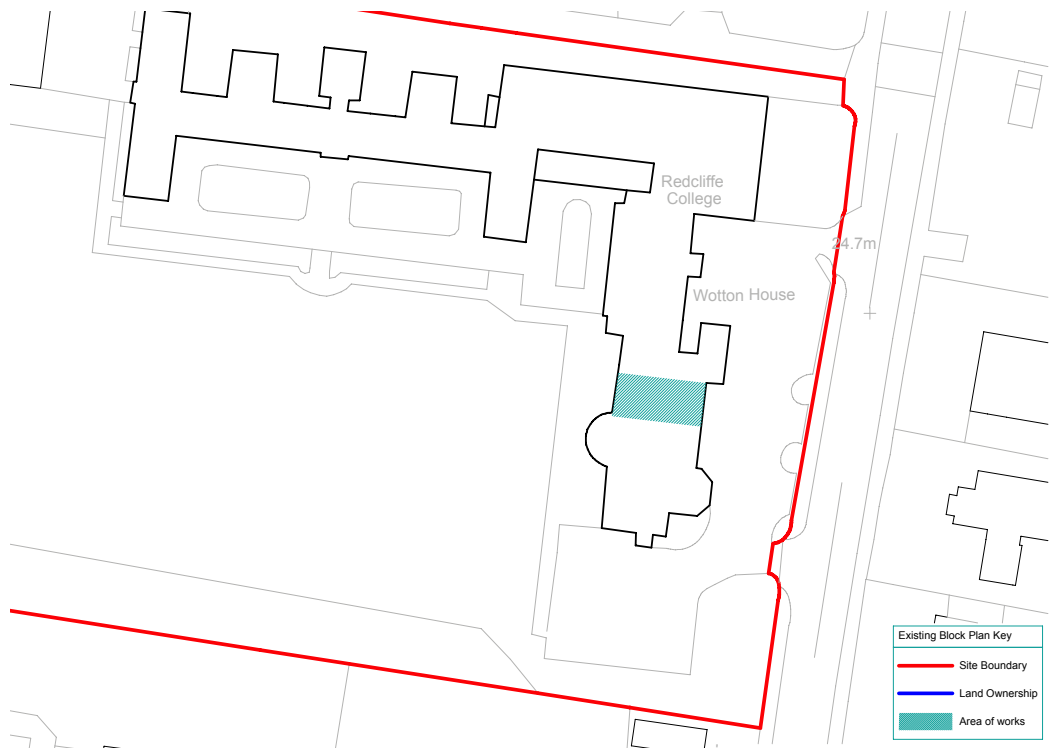


Fig 4 - Existing Block Plan

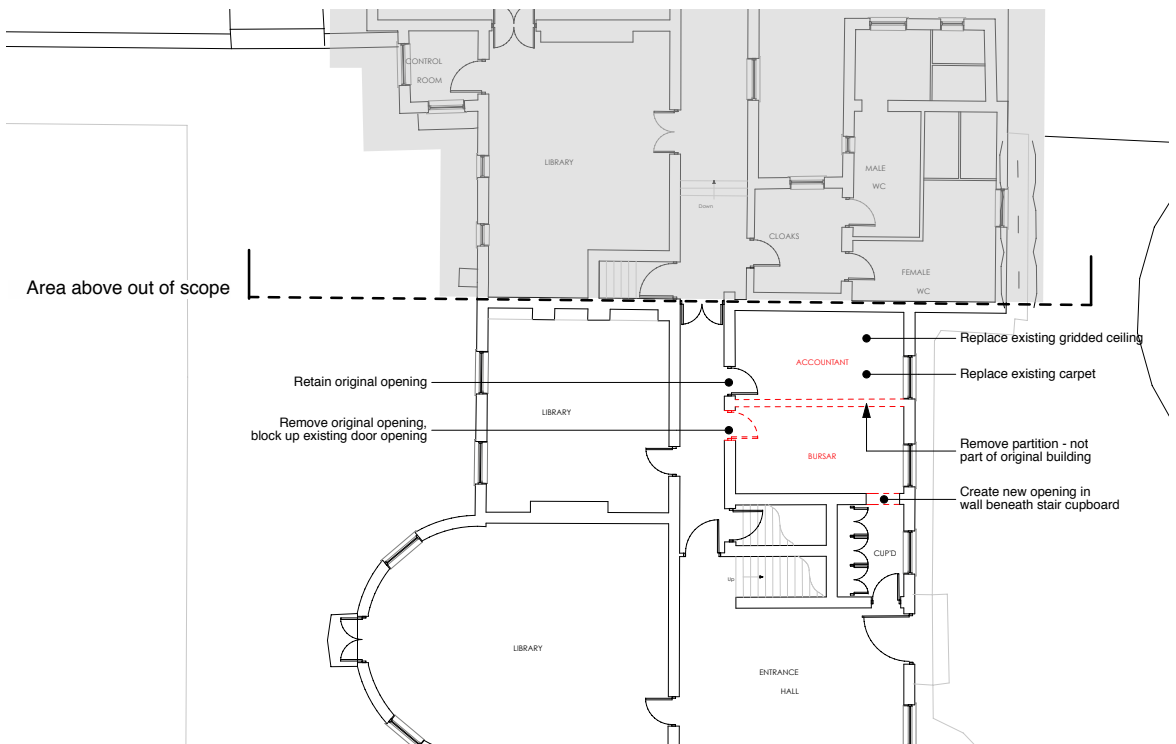


Fig 5 - Existing Ground Floor Plan



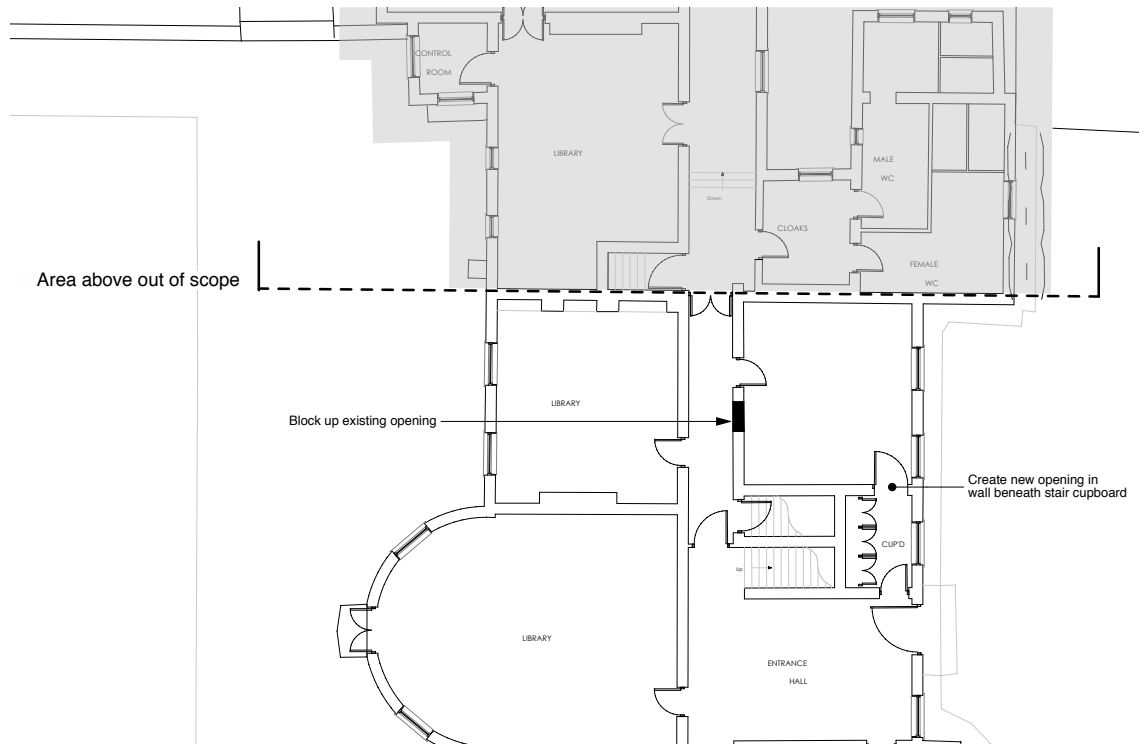


Fig 6 - Proposed Ground Floor Plan

The works as highlighted above are concerned with the refurbishment of the remaining existing spaces within the Grade II Listed building.

A set of detailed plans have been provided with this application clearly outlining the proposed refurbishment works;

The proposed works have been carefully planned to limit any potential impact on the heritage asset by localising the majority of changes to the 1960's extensions and undertaking light refurbishment works only.

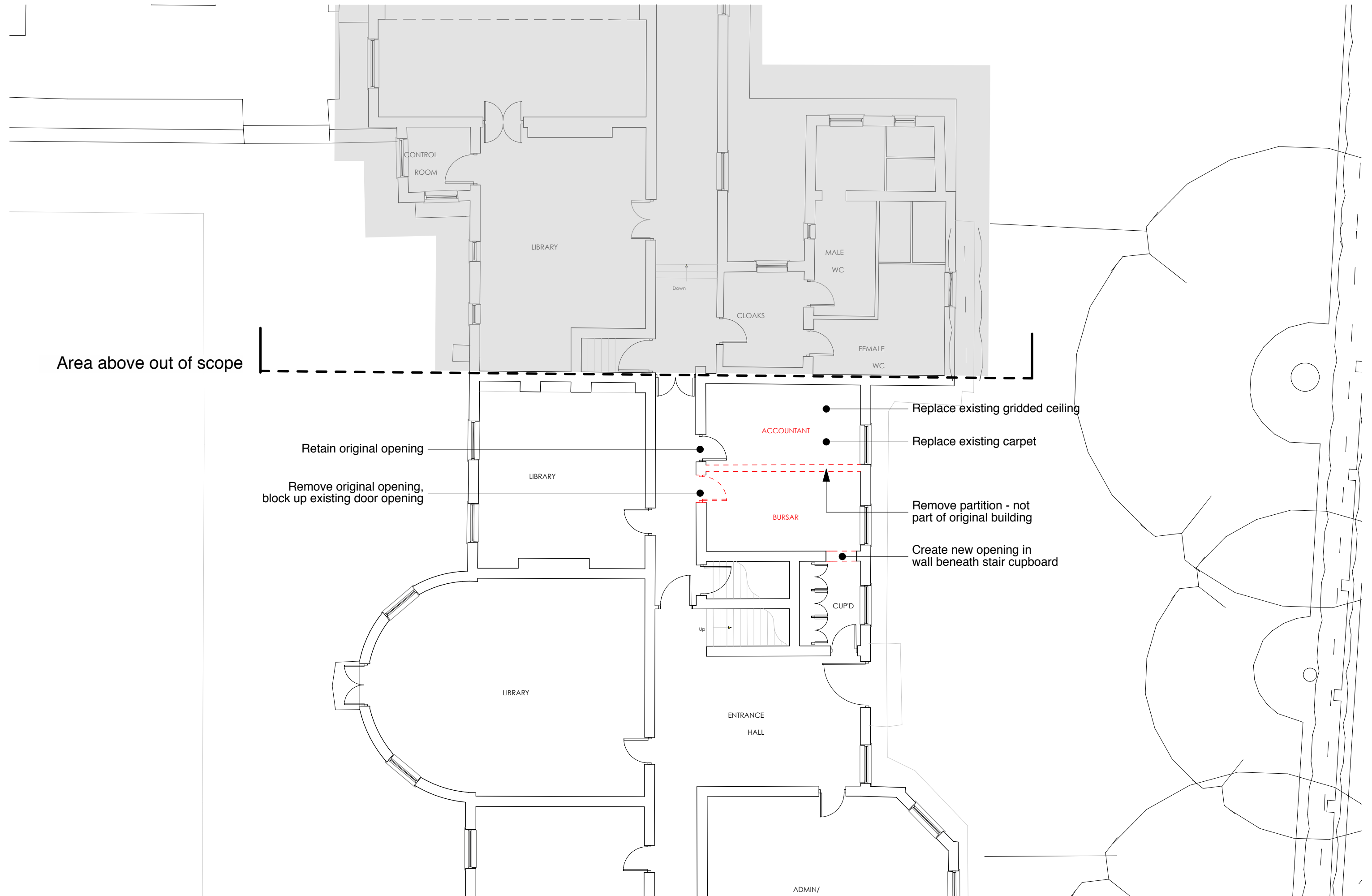
It is considered that the proposal will lead to 'less than substantial harm to the significance of a designated heritage asset and the public benefits of the project outweigh any potential harm to the setting.

04 Conclusion

By following a 'light-touch' approach to refurbishment the proposal will have minimal impact on its setting and will not be detrimental to the historical significance of the listed building or the wider conservation area. The benefits of the proposal outweigh any minimal harm caused to the historic setting. It also supports the NPPF policy of meeting the needs of young people to grow and develop.

As a result it is considered that the proposals are in line with the policies of the relevant planning and conservation documents.





Area above out of scope

Retain original opening

Remove original opening,
block up existing door opening

Replace existing gridded ceiling

Replace existing carpet

Remove partition - not
part of original building

Create new opening in
wall beneath stair cupboard

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PROJECT

Wotton House School

CLIENT

Wotton House School

DRAWING TITLE

Existing Ground Floor Plan

DRAWING NO.

6846-F-200

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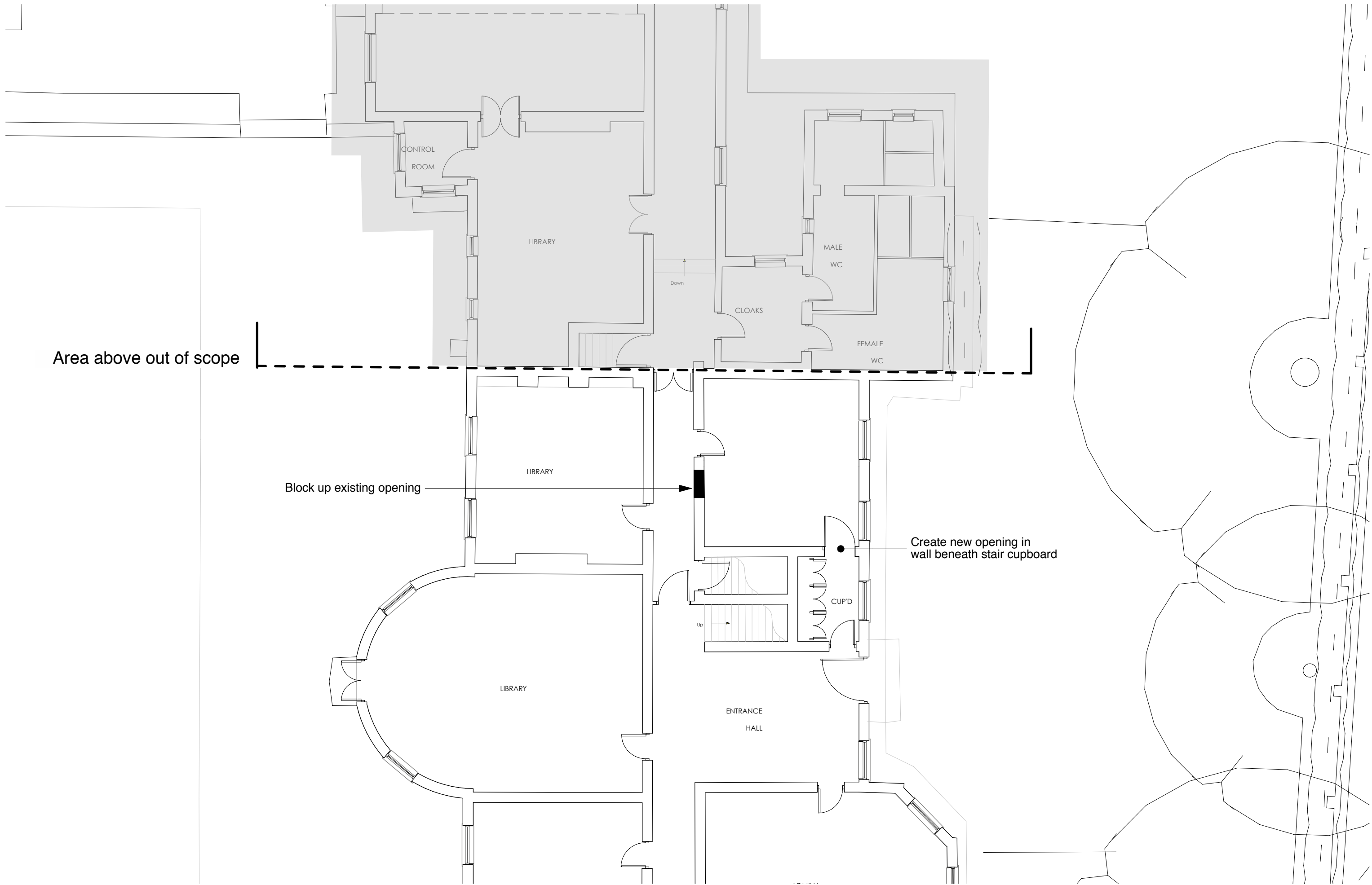
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PROJECT

Wotton House School

CLIENT

Wotton House School

DRAWING TITLE

Proposed Ground Floor Plan

DRAWING NO.

6846-F-210

REV

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SCALE

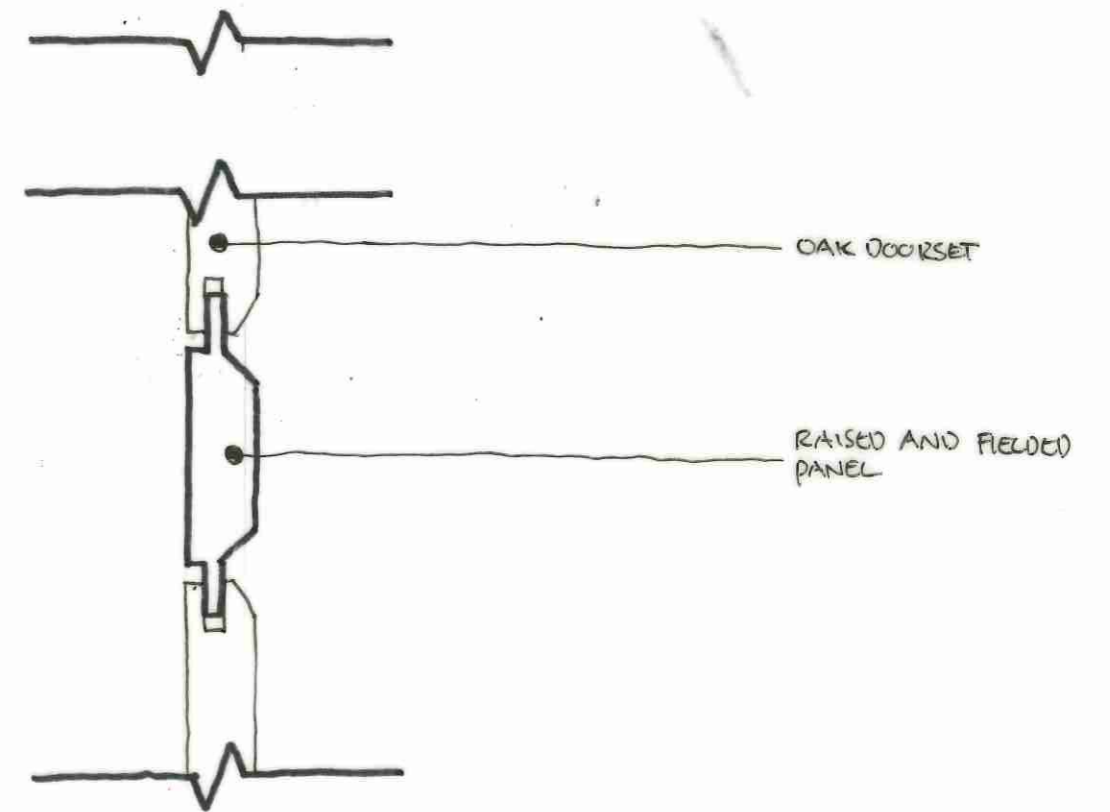
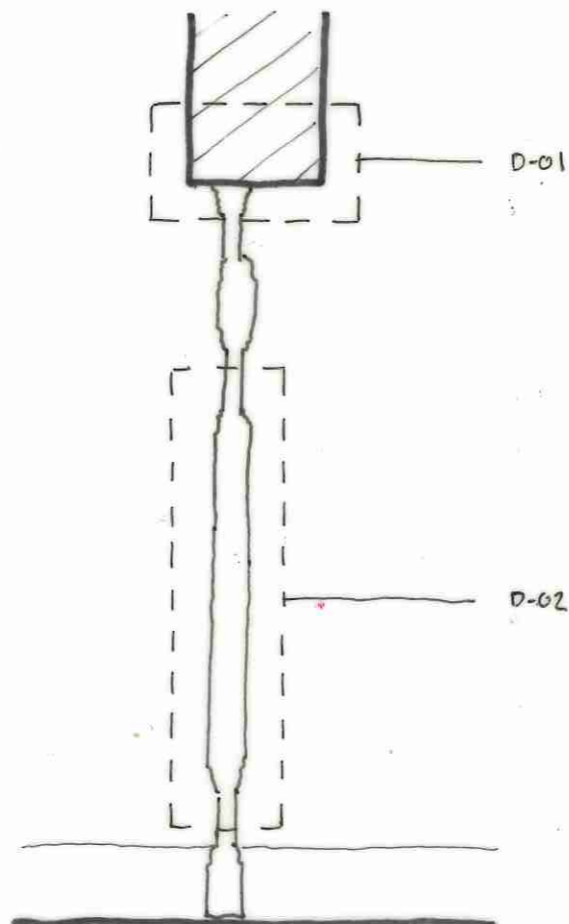
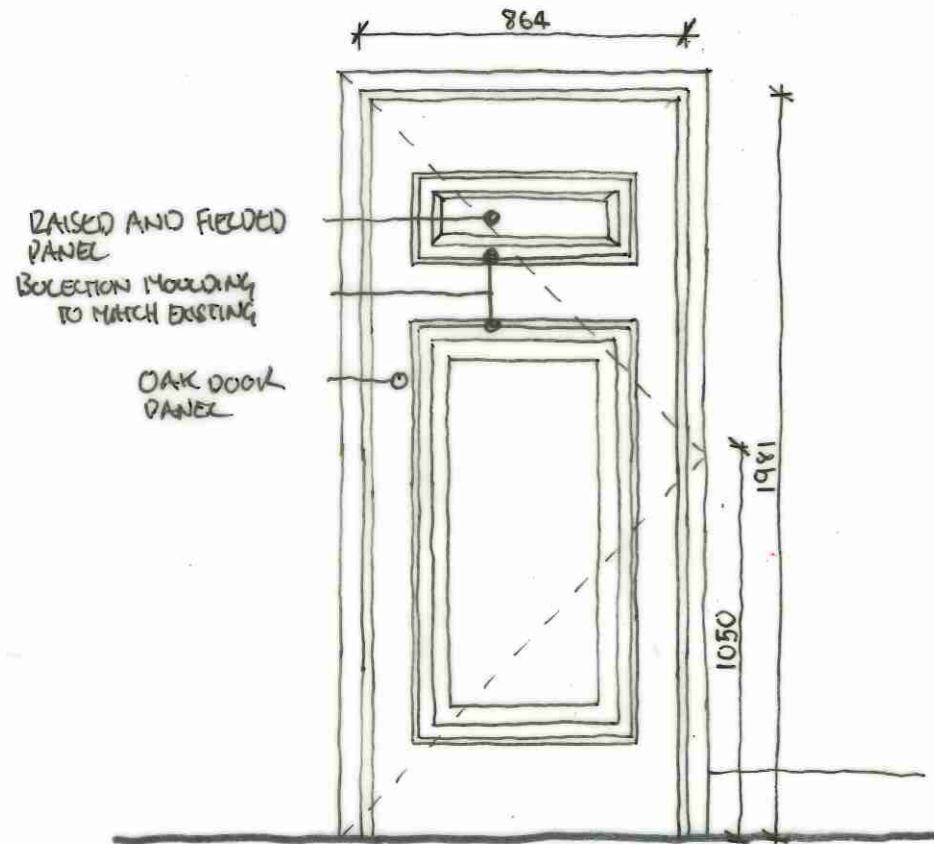
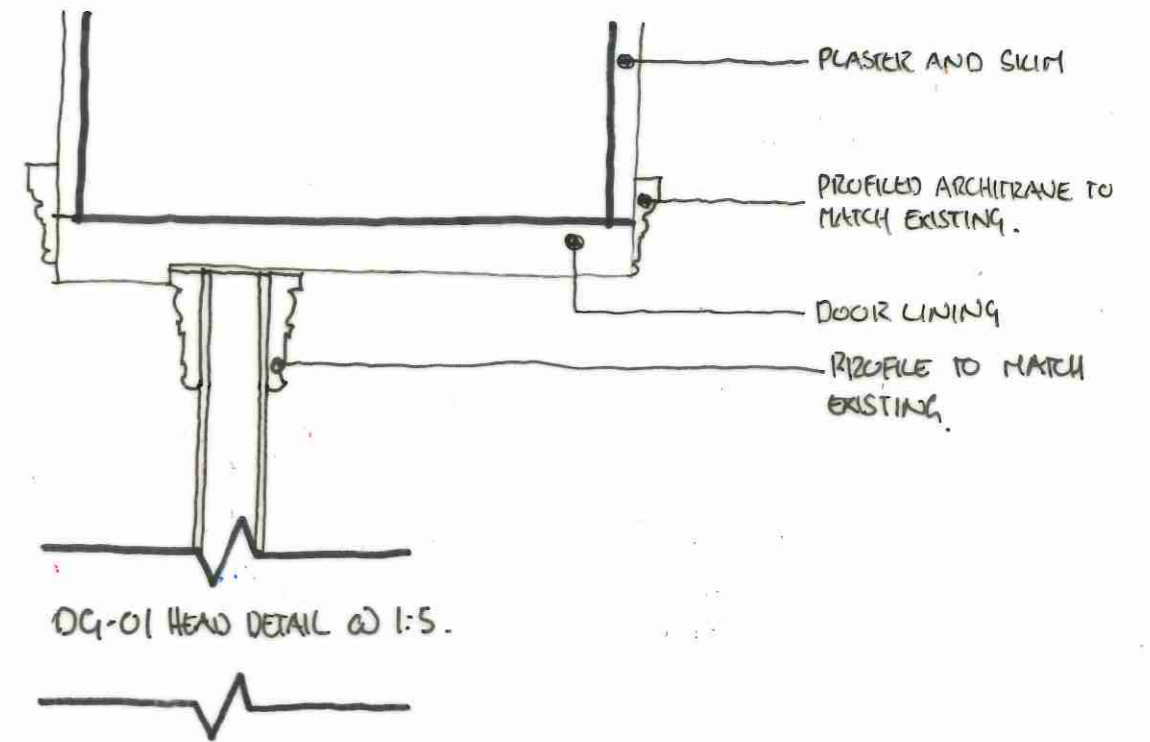
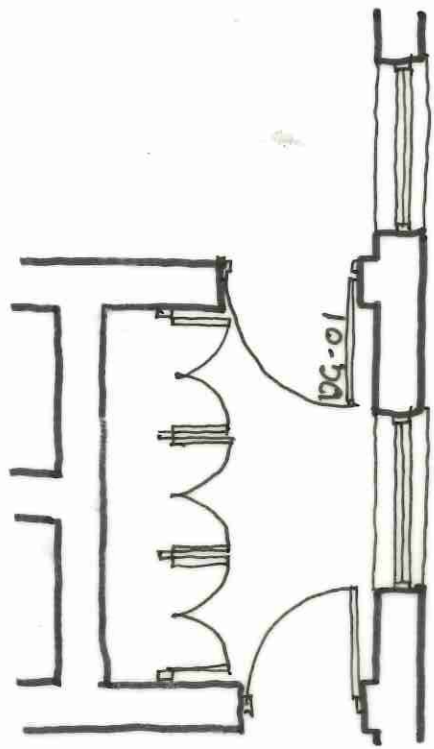
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DG-01 DOOR ELEVATION @ 1:20

DG-01 DOOR SECTION @ 1:20

D-02 RAISED PANEL @ 1:5