

Householder Application for Planning Permission for works or extension to a dwelling.  
Town and Country Planning Act 1990

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Site Address**

Number	16
Suffix	
Property name	
Address line 1	Valerian Close
Address line 2	
Address line 3	
Town/city	Gloucester
Postcode	GL4 5HA

Description of site location must be completed if postcode is not known:

Easting (x)	386401
Northing (y)	217017

Description

**2. Applicant Details**

Title	MR & MRS
First name	MARTIN
Surname	BROADY
Company name	
Address line 1	16, Valerian Close
Address line 2	
Address line 3	
Town/city	Gloucester
Country	

## 2. Applicant Details

Postcode

Are you an agent acting on behalf of the applicant?  Yes  No

Primary number

Secondary number

Fax number

Email address

## 3. Agent Details

Title

First name

Surname

Company name

Address line 1

Address line 2

Address line 3

Town/city

Country

Postcode

Primary number

Secondary number

Fax number

Email

## 4. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without consent?  Yes  No

## 5. Materials

Does the proposed development require any materials to be used externally?  Yes  No

Please provide a description of existing and proposed materials and finishes to be used externally (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	FACING BRICK CAVITY CONSTRUCTION
Description of proposed materials and finishes:	FACING BRICK CAVITY CONSTRUCTION

## 5. Materials

Roof	
Description of existing materials and finishes (optional):	CONCRETE ROOF TILES
Description of proposed materials and finishes:	CONCRETE ROOF TILES

Windows	
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED

Doors	
Description of existing materials and finishes (optional):	UPVC DOUBLE GLAZED
Description of proposed materials and finishes:	UPVC DOUBLE GLAZED

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	WALL/FENCE
Description of proposed materials and finishes:	WALL/FENCE

Vehicle access and hard standing	
Description of existing materials and finishes (optional):	DRIVEWAY
Description of proposed materials and finishes:	NO CHANGE

Lighting	
Description of existing materials and finishes (optional):	240V MAINS
Description of proposed materials and finishes:	NO CHANGE

Are you supplying additional information on submitted plans, drawings or a design and access statement?  Yes  No

If Yes, please state references for the plans, drawings and/or design and access statement

DRAWINGS:  
BROADY-16VC-A-G-001  
BROADY-16VC-A-G-002

## 6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?  Yes  No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?  Yes  No

## 7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?  Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?  Yes  No

## 7. Pedestrian and Vehicle Access, Roads and Rights of Way

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes  No

## 8. Parking

Will the proposed works affect existing car parking arrangements?

Yes  No

## 9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- The agent  
 The applicant  
 Other person

## 10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes  No

## 11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

Yes  No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

## 12. Ownership Certificates and Agricultural Land Declaration

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. \*\* 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

**NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.**

Person role

- The applicant  
 The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

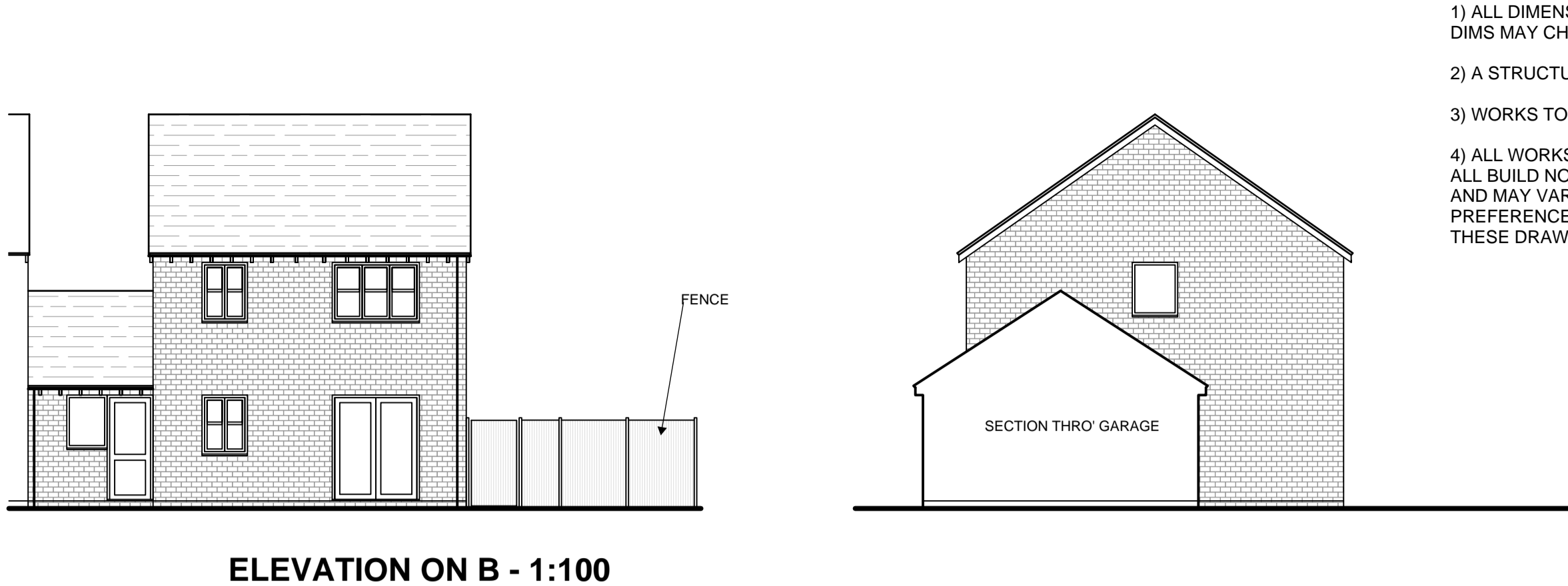
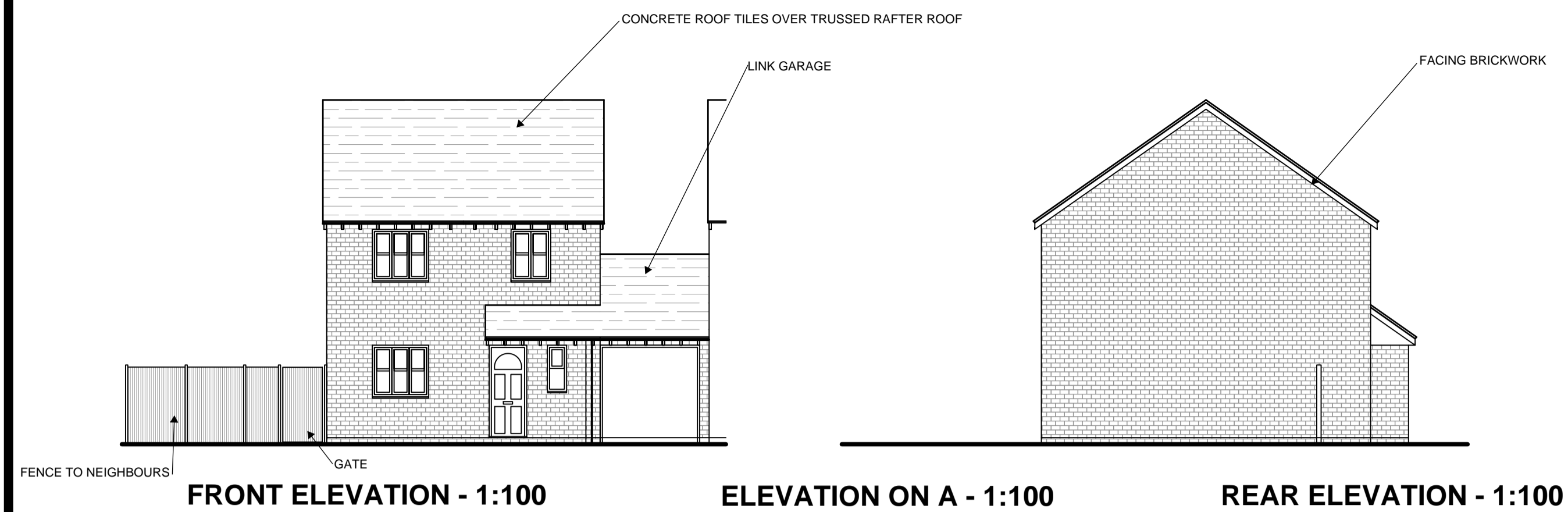
Declaration made

### 13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

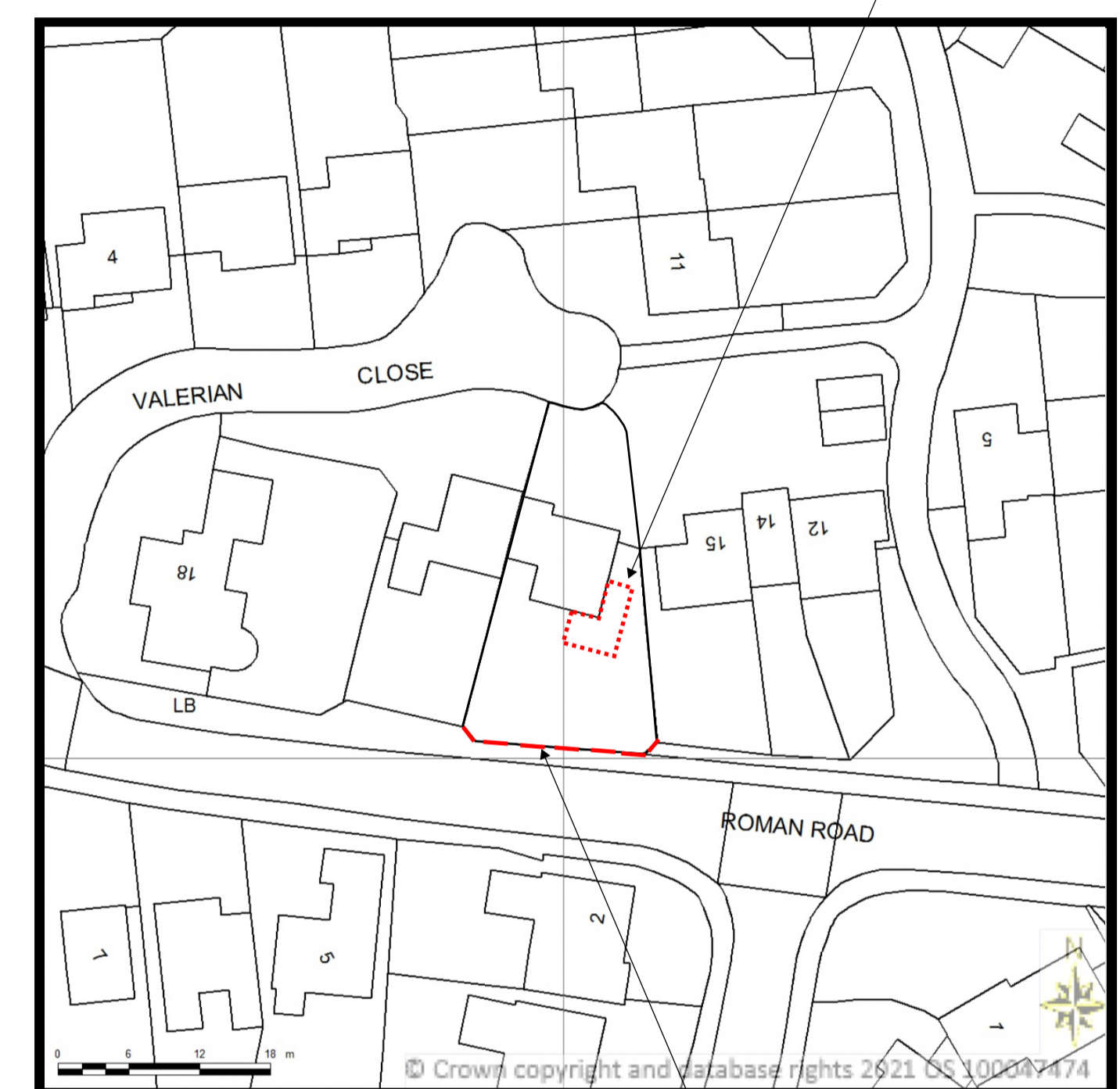
Date (cannot be pre-application)

24/01/2022



- NOTES**
- 1) ALL DIMENSIONS TO BE CHECKED ONSITE PRIOR TO CONSTRUCTION. (INTERNAL DIMS MAY CHANGE DEPENDING ON EXTERNAL WALL CONSTRUCTION METHOD)
  - 2) A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL STRUCTURAL WORKS
  - 3) WORKS TO BE CARRIED OUT BY COMPETENT, QUALIFIED CONTRACTORS
  - 4) ALL WORKS TO BE CARRIED OUT UNDER A LOCAL AUTHORITY BUILDING NOTICE. ALL BUILD NOTES ARE GIVEN BASED ON STANDARD BUILDING REGULATIONS DETAILS AND MAY VARY. CONSTRUCTION METHODS MAY VARY ACCORDING TO BUILDERS PREFERENCE AND BUILDING CONTROL OFFICER REQUIREMENTS. THESE DRAWINGS ARE PRODUCED FOR PLANNING ONLY.

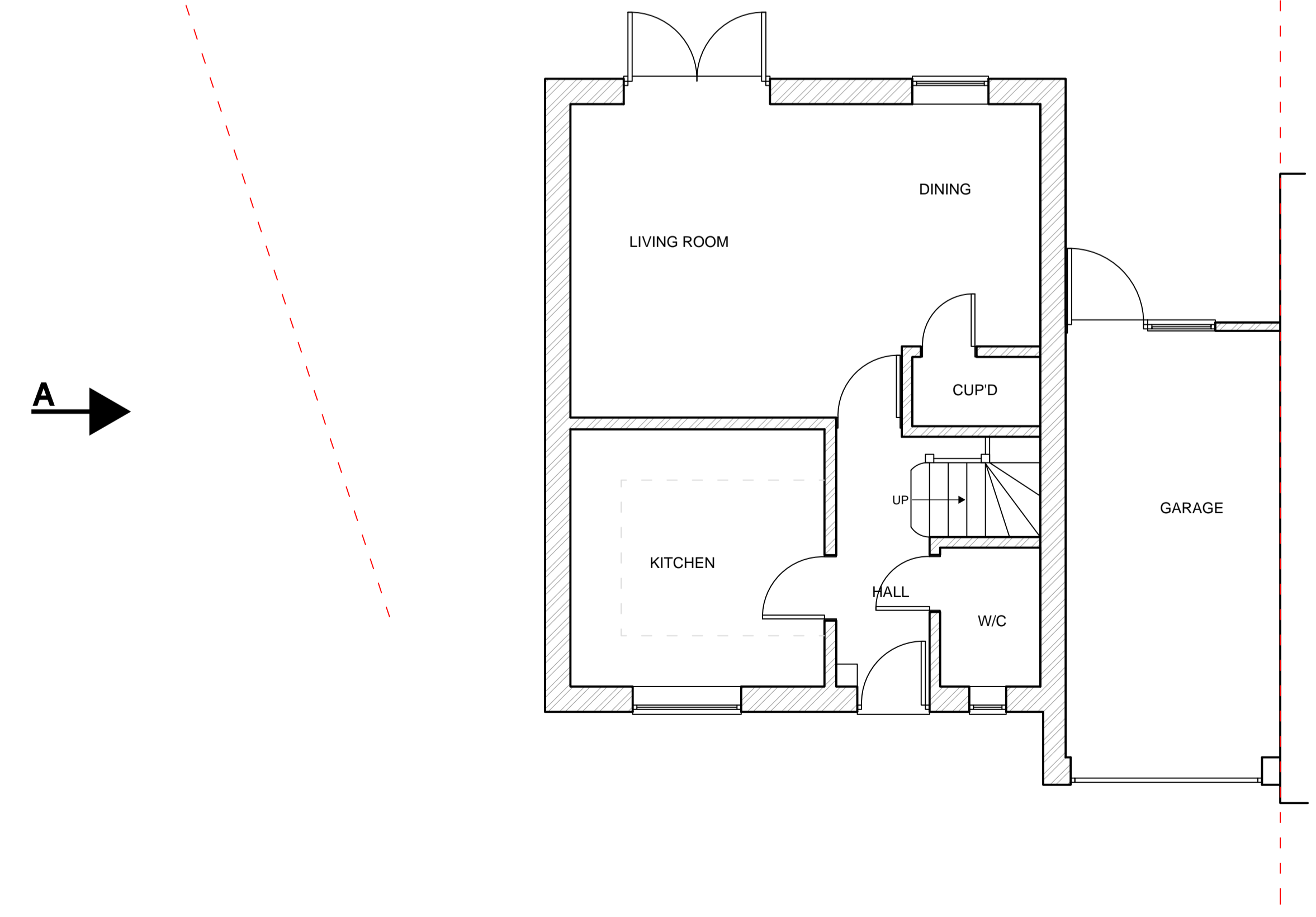
0 1 2 3 4 5  
THIS BAR SHOULD SCALE 5M @ 1:100



**BLOCK PLAN EXISTING 1:500**

**BLOCK PLAN PROPOSED 1:500**

REMOVE COPING STONE TO WALL. RAISE BY 3No BRICK COURSES AND RE-INSTATE TO AID PRIVACY TO GARDEN FROM ROMAN ROAD. HEIGHT EXISTING = 1700MM, PROPOSED = 1925MM



**SITE LOCATION PLAN 1:1250**

0 1 2 3 4 5  
THIS BAR SHOULD SCALE 5M @ 1:50

**AS EXISTING GROUND FLOOR PLAN - 1:50**

**FOR PLANNING ONLY**

REV A: FEB 2022 BLOCK PLANS ALTERED



**HOMEPLAN**  
DRAFTING SERVICES

ARCHITECTURE    PLANNING    DESIGN

07956283576    brony@homeplanservices.co.uk    glenn@homeplanservices.co.uk

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**CLIENT/PROJECT:**  
MR & MRS M BROADY

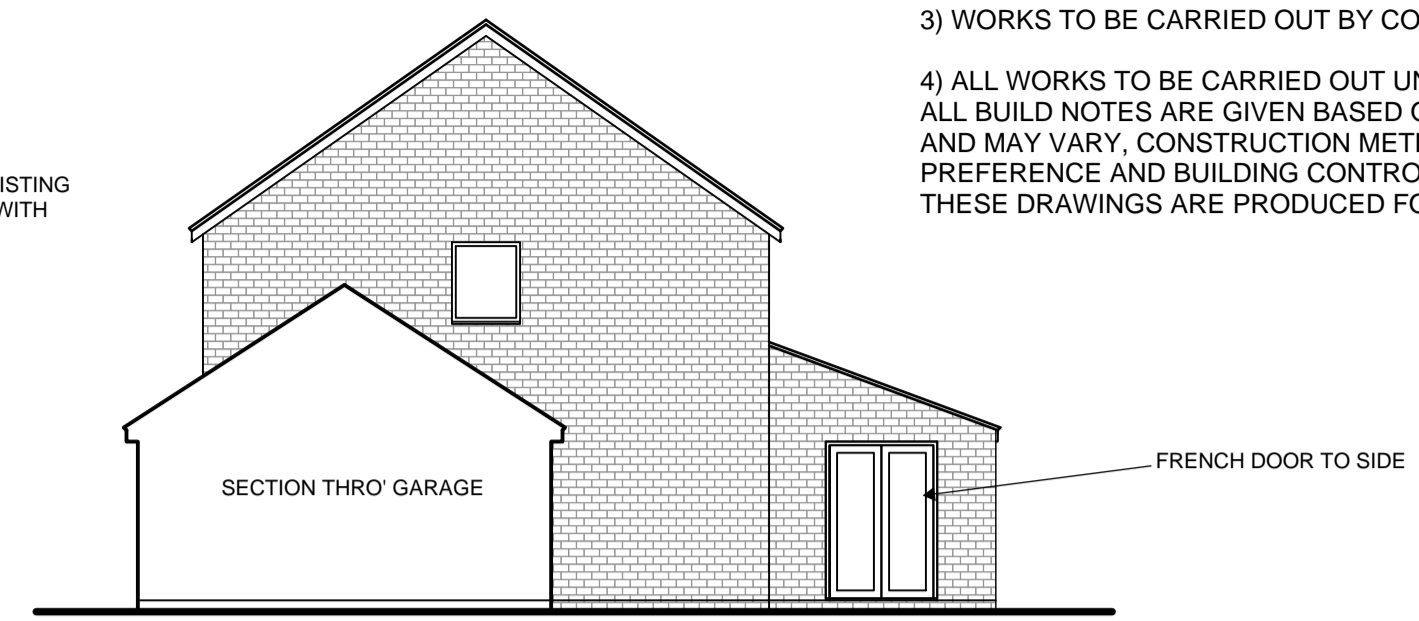
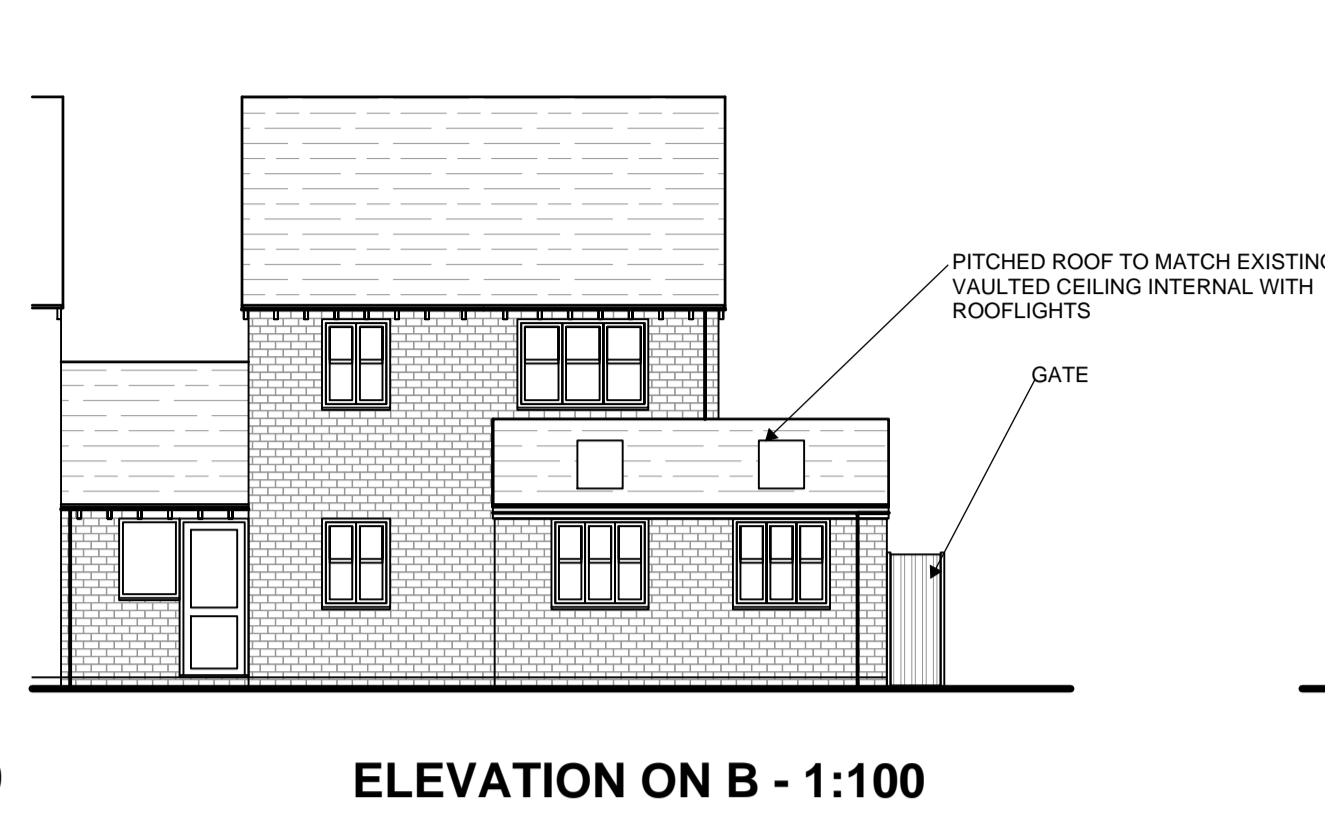
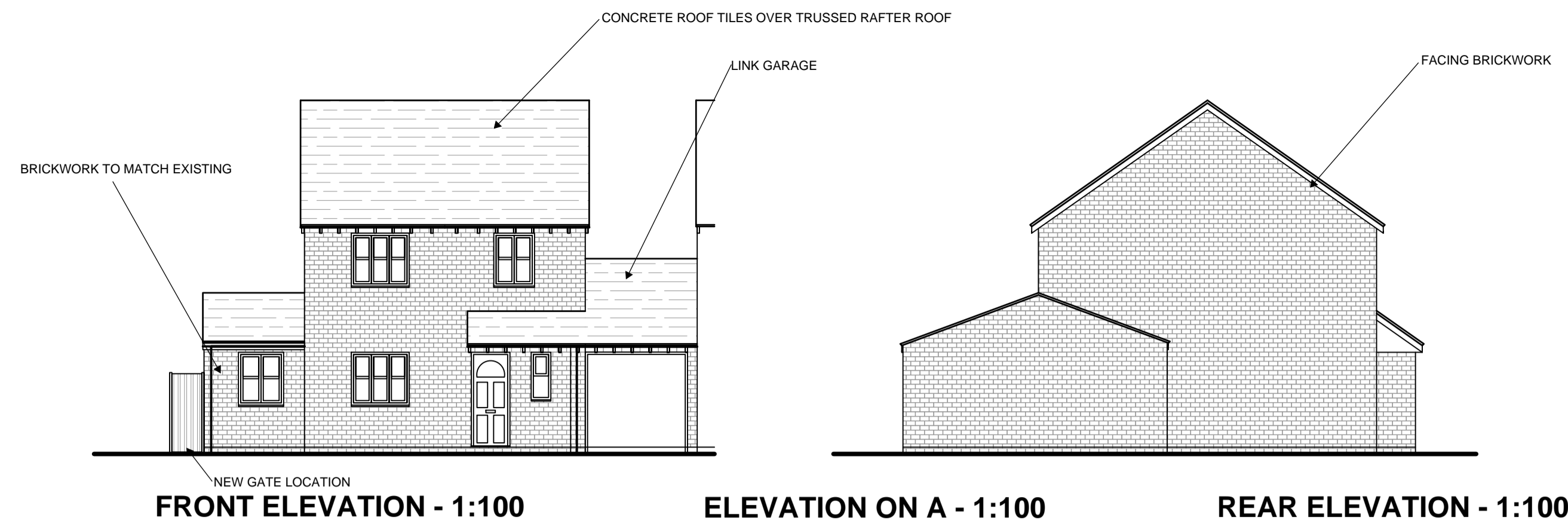
**PROPOSED EXTENSION TO PROPERTY**  
16 VALERIAN CLOSE, ABBEYMEAD, GLOS GL4 5HA

**TITLE:**  
AS EXISTING PLANS AND ELEVATIONS INCLUDING SITE LOCATION AND BLOCK PLAN

**SCALE:**  
1:1250, 1:500, 1:100 AND 1:50 @ A1

**DATE:**  
JANUARY 2022

BROADY-16VC-A-G-001A



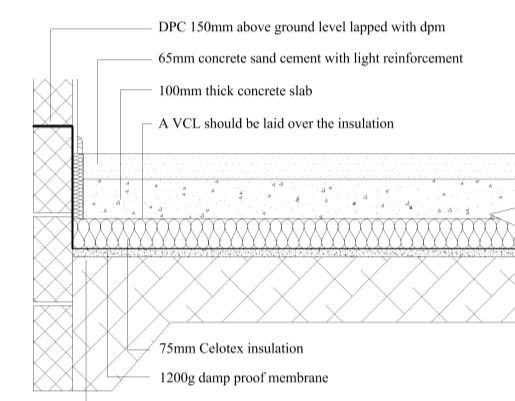
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**TRENCH FOUNDATION**  
Provide 750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8004-2. All foundations to be a minimum of 1000mm below ground level, exact depth to be agreed on site with Building Control Officer to suit site conditions. All construction in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Sulphate resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

**WALLS BELOW GROUND**  
All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1:4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix brickfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

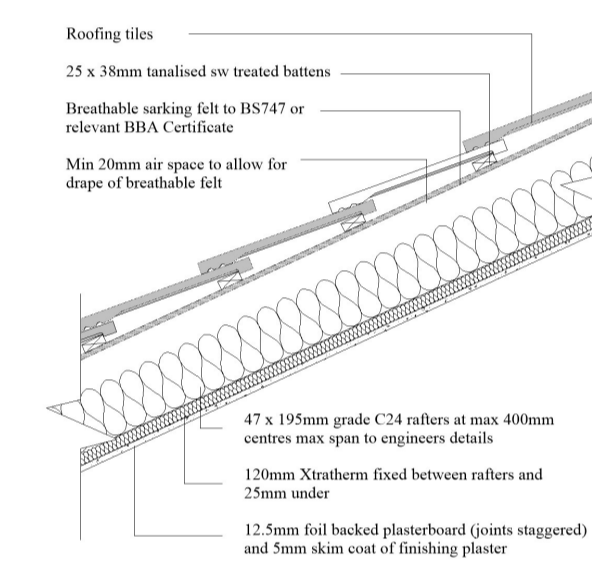
**PIPEWORK THROUGH WALLS**  
Where new pipework passes through external walls form rocker joints either side wall face of max length 600mm with flexible joints with short length of pipe bedded in wall. Alternatively provide 75mm deep pre-cast concrete plank lintels over drain to form opening in wall to give 50mm space all round pipe, mask opening both sides with rigid sheet material and compressible sealant to prevent entry of fill or vermin.

**SOLID GROUND FLOOR**

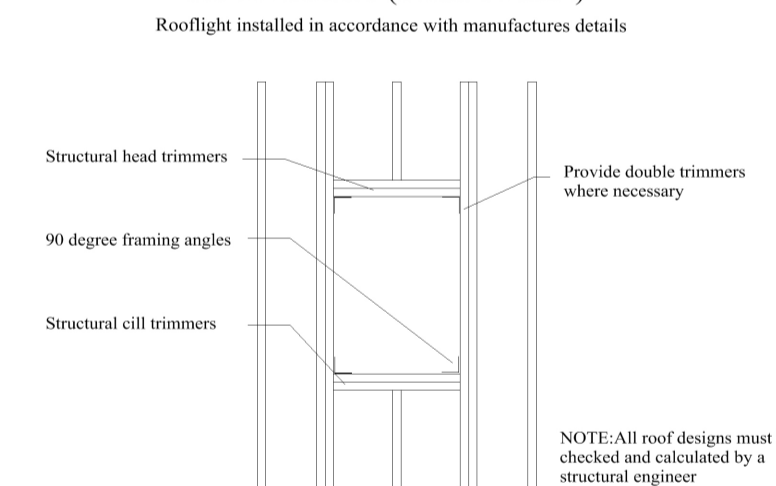


**UNVENTED PITCHED ROOF**  
Pitch 22-45°  
To achieve U-value 0.18 W/m²K  
Timber roof structures to be designed by an Engineer in accordance with NHBC Technical Requirement R5 Structural Design. Calculations to be based on BS EN 1995-1-1. Roofing tiles to match existing on 25 x 38mm tanalised sw treated battens on breathable sarking felt to relevant BBA Certificate. Supported on 47 x 195mm grade C24 rafters at max 400mm centres span to engineer's details. Rafters supported on 100 x 50mm treated sw wall plates. Allow min 20mm air space to allow for drape of breathable felt. Insulation to be 150mm Kingspan Kooltherm between rafters & Kingspan insulated dry-lining board comprising 12.5mm plasterboard and 25mm of insulation under rafters. 5mm skim coat of finishing plaster to the underside of all ceilings. Restraint strapping - Ceiling joists tied to rafters (if raised collar roof consult structural engineer). 100mm x 50mm wall plate strapped down to walls. Ceiling joists and rafters to be strapped to walls and gable walls, straps built into cavity, across at least 3 timbers with nogging. All straps to be 1000 x 30 x 5mm galvanized straps or other approved to BSEN 845-1 at 2m centres. THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

**PITCHED ROOF**



**ROOFLIGHTS (STRUCTURE)**



**FULL-FILL CAVITY WALL**  
To achieve minimum U Value of 0.28W/m²K  
New cavity wall to comprise of 105mm facing brick to match existing. Full fill the cavity with Ditherm32 cavity insulation as manufacturer's details. Inner leaf to be 100mm lightweight block. K value 0.16. (Airocrete, Celcor solar, Topblock typolite standard). Internal finish to be 12.5mm plasterboard on dabs. Walls to be built with 1:1:6 cement mortar.

**WALL TIES**  
All walls constructed using stainless steel vertical twist type retaining wall ties built in at 750mm ctrs horizontally, 450mm vertically and 225mm ctrs at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5628-6.1: 1996 and BS EN 845-1: 2003

**CAVITIES**  
Provide cavity trays over openings. All cavities to be closed at eaves and around openings using Thermabate or similar non combustible insulated cavity closers. Provide vertical DPCs around openings and abutments. All cavity trays must have 150mm upstands and suitable cavity weep holes (min 2) at max 900mm centres.

**NEW AND REPLACEMENT WINDOWS**  
New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.

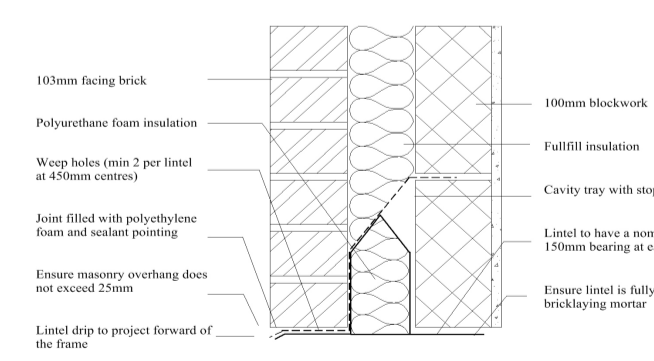
**NEW AND REPLACEMENT DOORS**  
New and replacement doors to achieve a U-Value of 1.80W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

**SAFETY GLAZING**  
All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

**ESCAPE WINDOWS**  
Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed openable area of 450mm high x 450mm wide, minimum 0.33m sq. The bottom of the openable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.

**LINTELS**  
- For uniformly distributed loads and standard 2 storey domestic loadings only  
Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 900mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 50 or 40 N/mm² and incorporating steel strands to BS 5896 to support loadings assessed to BS 5977 Part 1. For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufacturers standard tables. Stop ends, DPC trays and weep holes to be provided above all externally located lintels.

**LINTEL AND CAVITY TRAY**



**INTERNAL STUD PARTITIONS**  
100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal nogging at 1/3 height or 450mm. Provide min 10kg/m³ density acoustic soundproof quilt tightly packed (eg. 100mm Rockwool or Isovol mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide nogging where at right angles, or built off DPC on thickened concrete slab if solid ground floor. Walls faced throughout with 12.5mm plaster board with skim plaster finish. Taped and jointed complete with beads and stops.

**RAINWATER DRAINAGE**  
New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to existing mains drains where possible, if no suitable drains then to a new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.

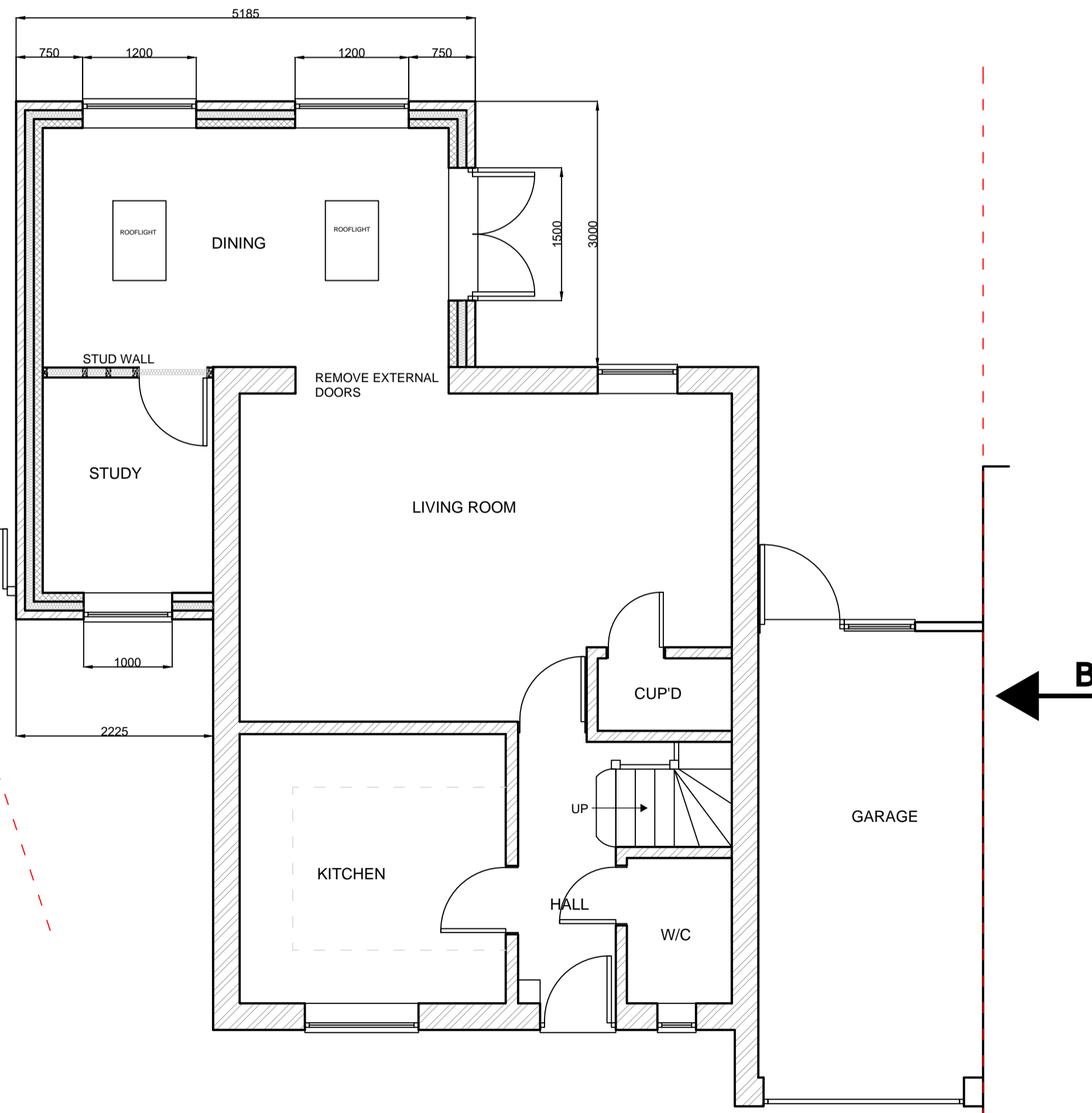
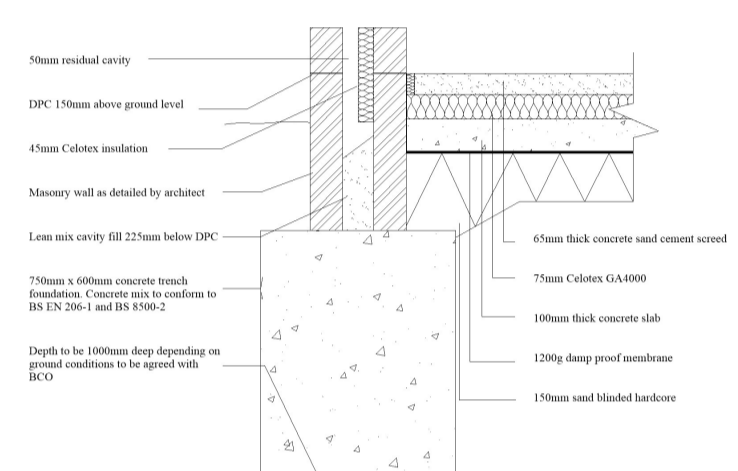
**BACKGROUND AND PURGE VENTILATION**  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm², and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm²  
Purge ventilation - New Windows/rooftlights to have openable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°  
Internal doors should be provided with a 10mm gap below the door to aid air circulation.  
Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

**ELECTRICAL**  
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BSI, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

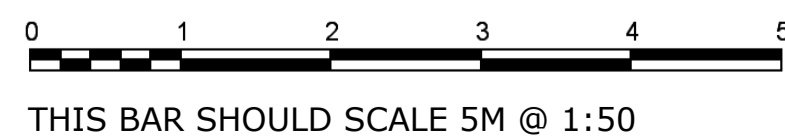
**INTERNAL LIGHTING**  
Install low energy light fittings that only take lamps having a luminous efficacy greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part P of the current Building Regulations and the Domestic Building Services Compliance Guide.

**HEATING**  
Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

**TRENCH FOUNDATION**



**AS PROPOSED GROUND FLOOR PLAN - 1:50**



FOR PLANNING ONLY

**HOMEPLAN**  
ARCHITECTURE DRAFTING SERVICES DESIGN  
PLANNING

CLIENT/PROJECT:  
MR & MRS M BROADY  
PROPOSED EXTENSION TO PROPERTY  
16 VALERIAN CLOSE, ABBEYMEAD, GLOS GL4 5HA

TITLE:  
AS PROPOSED PLANS AND ELEVATIONS

SCALE:  
1:100 AND 1:50 @ A1

DATE:  
JANUARY 2022 BROADY-16VC-A-G-002